

AGENDA
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
October 29, 2019
6:00 P.M.

CALL TO ORDER

OPEN FORUM

CONSENT AGENDA

1. Approval of Minutes for the September 10, 2019 Planning and Zoning Commission meeting.
2. Approval of Minutes for the September 24, 2019 Planning and Zoning Commission meeting.
3. **P2019-039 (David)**
Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Julia McKinney for the approval of a replat for Lot 8, Block A, Ellis Centre Phase 2 Addition being a 1.21-acre parcel of land identified as Lot 4, Block A, Ellis Centre Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.
4. **P2019-041 (Korey)**
Consider a request by David Raines for the approval of a replat for Lot 35, Block A, Chandler's Landing, Phase 18, Section 2 being a 0.19-acre tract of land identified as Lot 12, Block A, Chandler's Landing, Phase 18, Section 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 8 (PD-8) District for single family land uses, addressed as 5808 Constellation Circle, and take any action necessary.

APPOINTMENTS

5. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

PUBLIC HEARINGS

6. Hold a public hearing to discuss and consider imposing a moratorium on accepting and reviewing subdivision plats for commercial and residential property situated within the City's Extraterritorial Jurisdiction (ETJ), and take any action necessary.

DISCUSSION ITEMS

7. **MIS2019-014 (Ryan)**
Hold a public hearing to discuss and consider an amendment to the OURHometown Vision 2040 Comprehensive Plan for the purpose of updating the water and wastewater master plans, and take any action necessary.
8. **P2019-040 (Korey)**
Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.
9. **SP2019-037 (David)**
Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740], and take any action necessary.

10. SP2019-040 (David)

Discuss and consider a request by Matthew Gardner and Halff Associates on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive, and take any action necessary.

11. SP2019-041 (Korey)

Discuss and consider a request by LeeAnn Latimer on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for a medical office building on a 1.36-acre tract of land identified as Lot 2, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

12. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).

- ✓ MIS2019-001: Impact Fee Update (*1st Reading*) [*Approved*]
- ✓ Z2019-021: Amendment to Planned Development District 79 (PD-79) (*1st Reading*) [*Approved*]
- ✓ Z2019-022: SUP for an Accessory Building at 2340 Saddlebrook Lane (*1st Reading*) [*Postponed to November 4, 2019*]
- ✓ Z2019-024: Amendment to Planned Development District 70 (PD-70) (*1st Reading*) [*Approved*]

ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (*Consultation with City Attorney*) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 25th day of October 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
October 29, 2019
5:00 PM

CALL TO ORDER

OPEN FORUM

ACTION ITEMS

1. SP2019-037 (David)

Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740], and take any action necessary.

2. SP2019-039 (David)

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of an amended site plan for a multi-tenant retail building on a 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

3. SP2019-040 (David)

Discuss and consider a request by Matthew Gardner and Halff Associates on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive, and take any action necessary.

4. SP2019-041 (Korey)

Discuss and consider a request by LeeAnn Latimer on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for a medical office building on a 1.36-acre tract of land identified as Lot 2, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

ADJOURNMENT

The City of Rockwall Architecture Review Board (ARB) reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (*Consultation with City Attorney*) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 25th day of October 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
September 10, 2019
6:00 P.M.

I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:00 p.m. The Commissioners present at the meeting were, Jerry Welch, Annie Fishman, John Womble, Tracey Logan, and Sedrick Thomas. Absent from the meeting was Mark Moeller. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planner, Korey Brooks, Planning Coordinator, Laura Morales, City Engineer, Amy Williams, and Civil Engineers, Jeremy White and Sarah Johnston.

II. OPEN FORUM

Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time.

Melba Jeffus
1903 S. FM 549
Rockwall, TX

Ms. Jeffus came forward and expressed her strong concern and opposition to a proposed RV park that is being proposed in the County that she feels will greatly negatively impact her property.

Barbara Lee
668 Cornelius Rd.
Rockwall, TX

Mr. Lee came forward and expressed concern and opposition to the proposed RV park that is being proposed in the County.

Steve Curtis
2130 FM1141
Rockwall, TX

Mr. Curtis came forward and expressed concern and opposition to the proposed RV park for the county's proposal.

Allen Stevenson
427 Clem Road
Rockwall, TX

Mr. Stevenson came forward and expressed concern and strong opposition to the proposed RV park that is being proposed by the Count.

Chairman Chodun asked if anyone else wished to speak to come forward and do so, there being no one indicating such; Chairman Chodun closed the open forum.

III. CONSENT AGENDA

1. Approval of Minutes for the August 13, 2019 Planning and Zoning Commission meeting.

2. P2019-017

Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of Suresh Shridharani of Harlan Properties, Inc. for the approval of a preliminary plat for the Emerson Farms Subdivision containing 107 single-family residential lots on a 138.756-acre tract of land identified as Tract 1 of the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 76 (PD-

63 76) for Single Family 1 (SF-1) District land uses, generally located on the east side of Dowell Road south
64 of the intersection of SH-276 and Dowell Road, and take any action necessary.

65
66 3. P2019-031

67 Consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of the owner Jeff
68 Kennemer of the Saddle Star Land Development, LLC for the approval of a final plat for Phase 1 of the
69 Saddle Star South Subdivision containing 66 single-family residential lots on a 26.411-acre tract of land
70 identified as a portion of a larger 44.292-acre tract of land identified as Tract 2-03 of the P. B. Harrison
71 Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District
72 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay
73 (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of
74 Featherstone Drive John King Boulevard, and take any action necessary.

75
76 4. P2019-033

77 Consider a request by Bill Bricker of Columbia Development Company, LLC on behalf of David and Laura
78 Cline for the approval of a replat for Lot 47, Block D, Park Place West Phase II Addition being a 0.184-
79 acre parcel of land being currently identified as Lot 20, Block D, Park Place West Phase II Addition, City
80 of Rockwall, Rockwall County, Texas, zoned Planned Development District 59 (PD-59) for Single-Family
81 7 (SF-7) District land uses, addressed as 408 Jordan Farm Circle, and take any action necessary.

82 **Commissioner Welch made a motion to approve the consent agenda. Commissioner Womble**
83 **seconded the motion which passed with a vote of 6-0 with Commissioner Moeller absent.**

84
85
86 IV. APPOINTMENTS

87
88 5. Appointment with Architectural Review Board representative to receive the Board's recommendations
89 and comments for items on the agenda requiring architectural review.

90
91 **Architectural Review representative gave a brief explanation concerning agenda items that were**
92 **discussed at the Architectural Review Board meeting.**

93
94 V. PUBLIC HEARING ITEMS

95
96 6. Z2019-017

97 Hold a public hearing to discuss and consider a request by Lance Tyler of Marc Development, LLC for
98 the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for
99 Two-Family (2F) District land uses to allow townhomes on a 1.27-acre tract of land identified as Tract 29
100 & 29-1 of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned
101 Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District,
102 addressed as 1451 FM-1141, and take any action necessary.

103
104 **Senior Planner, Korey Brooks, provided an explanation and background of the request. The**
105 **subject property was annexed in 1961 by Ordinance No. 60-01 and at the time of annexation, the**
106 **subject property was zoned Agricultural District. Currently situated on the subject property is a**
107 **2,176 square foot single-family home, which according to the Rockwall Central Appraisal District**
108 **was constructed in 1971. The applicant is requesting to change the zoning of the subject property**
109 **from an Agricultural District to a Planned Development District for Residential-Office District land**
110 **uses for the purpose of constructing townhomes. The proposed development will consist of 12**
111 **townhomes laid out as two groups of six homes and a private park/open space. The development**
112 **will incorporate approximately 64% open space, and will have a density of 9.45 units per gross**
113 **acre. The proposed townhomes will be constructed utilizing a Neo-Traditional architecture style**
114 **and utilize a combination of brick and cementitious lap siding being Hardy Board. The homes will**
115 **incorporate front porches, rear facing garages, and utilize extended driveways with a minimum of**
116 **40-feet in length to accommodate guest parking. The applicant has stated that the purposed 40-**
117 **foot long driveway can accommodate up to four vehicles and that with the garage parking each**
118 **unit will have a total of six parking spaces for vehicles. The garages will be accessible via an**
119 **existing 20-foot public right-of-way that is accessible through Phase 6 of the Caruth Lakes**
120 **Subdivision, and that serves as an alleyway for seven single-family homes. According to the**
121 **applicant, each home will be a maximum of two stories in height and be a minimum of 2,000 square**
122 **feet in size. The front and rear building elevations will not repeat without at least two intervening**
123 **homes of differing appearance such as front encroachment layout, primary materials, roof type**
124 **and layout, or articulation of the front façade.**
125

126 Mr. Brooks went on to share that according to the concept plan submitted by the applicant the
127 private park will include amenities such as benches, bike racks, and a trail that will meander
128 through the development and connect to the existing sidewalk adjacent to John King Boulevard.
129 The private park will be maintained by the Homeowner's Association, will be located in the front
130 of the homes, and will include a pedestrian rest area that connects to FM-1141. This area will
131 include a wrought iron fence that will be four feet in height and an emergency access lane will be
132 accessible from FM-1141 and will utilize bollards to prohibit motor-vehicle access. This area will
133 incorporate upgraded pavement and decorative brick pavers. In addition, the private park area
134 will be directly adjacent to a property owned by the Caruth Ridge Estates Homeowner's
135 Association and which is undevelopable. This means that the townhomes will be setback a
136 minimum of 120-feet from John King Boulevard. The proposed Planned Development District will
137 be subject to the land uses and requirements stipulated for the Residential-Office District unless
138 specifically called out in the Planned Development District ordinance. In order to develop the
139 subject property as shown on the concept plan, the applicant will be required to provide drainage
140 and detention on the property to prevent increasing the stormwater run-off in the Squabble Creek
141 Watershed. Additionally, an eight inch water line will be required to be installed along the entire
142 length of the property line adjacent to FM-1141 and each home will be required to have an
143 individual water meter. With regard to sanitary sewer, the applicant will need to perform an
144 Infrastructure Study and decide if the sanitary sewer will connect to the existing subdivision
145 through the alleyway, or [2] down FM-1141 to Waters Edge Drive. Regardless, the sanitary sewer
146 line will need to be a minimum of an eight inch pipe and meet all applicable City standards.
147

148 Mr. Brooks further noted that according to the Unified Development Code, the Residential Office
149 District is a zoning district intended to recognize the existence of older residential areas of the
150 city where larger houses have been or can be converted from single-family uses to low-intensity
151 office uses in order to extend the economic life of these structures. The UDC goes on the state
152 that a Residential Office District should have principle access to major or secondary
153 thoroughfares and serves as a transition between high intensity, non-residential areas to lower
154 intensity residential areas. In this case, the applicant is proposing a new townhome development,
155 which according to the Unified Development Code is a land use that is only permitted in the
156 Residential-Office, Multi-Family 14 and Downtown Districts. Based on this limitation staff tied the
157 Planned Development District ordinance to the Residential-Office District as this district is the
158 most restrictive and most appropriate district considering the subject property's adjacencies.
159 Additionally, this development does seem to serve as a transition from the proposed higher
160 intensity general retail land uses to the south and east of the subject property to the lower intensity
161 single-family residential land uses to the north and west of the subject property.
162

163 Mr. Brooks further noted that On August 31, 2019, staff sent 75 notices to property owners and
164 occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes
165 Homeowner's Association, which is the only HOA/Neighborhood Association within 1,500-feet of
166 the subject property and participating in the Neighborhood Notification Program. At the time this
167 report was written, staff had received 21 notices in opposition and one notice in favor of the
168 request.
169

170 Mr. Brooks advised the Commission that the applicant was present and available for questions as
171 well as staff.
172

173 Chairman Chodun asked for questions from the Commission for staff.
174

175 Commissioner Fishman asked in regards to how the Residential Office use would be restricted.
176 Mr. Brooks explained that should any changes be requested aside from the townhome use, there
177 would have to be a request to change the Planned Development which would be a zoning change
178 that would require notifications be sent out to surrounding properties.
179

180 Chairman Chodun asked the applicant to come forward and speak.
181

182 Lance Tyler
183 1501
184 Rockwall, TX
185

186 Mr. Tyler came forward and provided additional details pertaining to the request. He indicated he
187 was available for questions.

188 Chairman Chodun asked for questions from the Commission for the applicant.
189
190 Commissioner Logan expressed concern with the limited space that the driveways provide. Mr.
191 Tyler shared that with providing a 40 foot driveway they feel that would provide sufficient parking.
192
193 Chairman Chodun opened up the public hearing and asked if anyone wished to speak to come
194 forward and do so.
195
196 Aaron McGrew
197 1160 Crystal Lake
198 Rockwall, TX
199
200 Mr. McGrew came forward and generally expressed the opposition of the request. His property
201 backs up to the proposed site and he shared he feels it will greatly impact his home.
202
203 Colleen Gauvin
204 1421 Whitewater Lane
205 Rockwall, TX
206
207 Ms. Gauvin came forward and expressed her strong opposition to the request.
208
209 Patrick Mallowney
210 1409 Whitewater Lane
211 Rockwall, TX
212
213 Mr. Mallowney came forward and expressed his strong opposition to the request.
214
215 John Lahair
216 1174 Crystal Lake Drive.
217 Rockwall, TX
218
219 Mr. Lahair came forward and expressed being in opposition of the request for townhomes in this
220 area.
221
222 Bob Wacker
223 Rockwall, TX
224
225 Mr. Wacker came forward and shared his opposition to the request.
226
227 Rosie Cox
228 1800 E. Quail Run Road
229 Rockwall, TX
230
231 Mrs. Cox came forward and shared she feels townhomes are needed.
232
233 Glen Cox
234 1800 E. Quail Run Road
235 Rockwall, TX
236
237 Mr. Cox came forward and expressed the need and inevitable growth and shared being in favor of
238 the proposal.
239
240 Austin Rylaarsdam
241 1035 Hampton Bay Drive
242 Rockwall, TX
243
244 Mr. Rylaarsdam came forward and expressed opposition to the request.
245
246 Jim Turner
247 1691 E. Quail Run Road
248 Rockwall, TX
249

250 Mr. Turner came forward and shared his opposition for the request.

251
252 Donna Dorman
253 1093 Shady Grove
254 Rockwall, TX

255
256 Ms. Dorman came forward and expressed opposition of the request.

257
258 Steve Curtis
259 2130 FM 1141
260 Rockwall, TX

261
262 Mr. Curtis came forward and expressed his opposition to the request.

263
264 Melba Jeffus
265 1903 S. FM 549
266 Rockwall, TX

267
268 Ms. Jeffus came forward and shared concern over the limited space alleyways would provide. He
269 expressed his opposition of the request.

270
271 Lori McGary
272 1327 Crescent Cove
273 Rockwall, TX

274
275 Mr. McGary came forward and generally expressed being in opposition of the request.

276
277 Tim Baker
278 1386 Whitewater
279 Rockwall, TX

280
281 Mr. Baker came forward and shared his opposition to the request for the townhomes being
282 proposed.

283
284 Chairman Chodun asked if anyone else wished to speak to come forward and do so, there being
285 no one indicating such; Chairman Chodun closed the public hearing.

286
287 Chairman Chodun brought the item back to the Commission for discussion or action.

288
289 Commissioner Womble generally expressed not being in favor of the development in this area
290 although townhomes are a product the city could use, this not being the ideal area. Commissioner
291 Fishman and Commissioner Logan expressed not being in favor of the proposal due to the area it
292 is being proposed.

293
294 After discussion from the Commission generally expressing not being in favor of the request,
295 Commissioner Welch made a motion to deny Z2019-017. Commissioner Fishman seconded the
296 motion which passed by a vote of 6-0 with Commissioner Moeller absent.

297
298
299 7. Z2019-018

300 Hold a public hearing to discuss and consider a request by Rob Whittle for the approval of an amendment
301 to Planned Development District 5 (PD-5) to change the garage setback requirements for an 11.003-acre
302 tract of land identified as Lots 1-40, Block A, the Highlands Addition, City of Rockwall, Rockwall County,
303 Texas, zoned Planned Development District 5 (PD-5) for Zero Lot Line (ZL-5) District land uses, situated
304 within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at the northwest corner of the
305 intersection of SH-66 and FM-1114, and take any action necessary.

306
307 Planning Director, Ryan Miller, provided an explanation and background of the request a request
308 by Rob Whittle for the approval of an amendment to Planned Development District 5 to change the
309 garage setback requirements for an 11.003-acre tract of land. The subject property was annexed
310 in 1959 by Ordinance No. 60-01 zoned to Planned Development District 5 in 1973 by Ordinance No.
311 73-31. This ordinance included a concept plan that showed that the subject property was

312 designated for a Neighborhood Shopping Center and Garden Apartments. Planned Development
313 District 5 was amended in 1987 by Ordinance No. 87-23. This zoning amendment incorporated a
314 new concept plan and development standards designating the property for Multifamily land uses.
315 In 1996, at the request of the City of Rockwall, the City Council approved Ordinance No. 96-25
316 amending Planned Development District 5 and changing the designation of the subject property
317 to Zero Lot Line land uses. On May 15, 2017, a preliminary plat for the Highlands Subdivision
318 consisting of 53 single-family homes on a 13.376-acre tract of land was approved. As part of this
319 case, the applicant proposed a five foot side yard building setback in lieu of the zero ten foot side
320 yard setback permitted in the Zero Lot Line District. This preliminary plat was later amended
321 decreasing the number of lots and land area to 43 single-family residential lots on the 11.003-acre
322 subject property. On January 16, 2018, the City Council approved the final plat for the Highlands
323 Subdivision, which consisted of 36 single family residential lots and four open space lots on the
324 subject property.

325
326 Mr. Miller further noted that the applicant is requesting to change the garage setback requirements
327 which currently require a J-Swing or Traditional Swing garage orientation, or recessed front entry
328 with a minimum of 20-feet behind the front façade of the primary structure to allow 100% recessed
329 front entry garages that are setback a minimum of five feet from the primary structure. As a
330 compensatory measure for this request, the applicant has proposed incorporating a 25-foot front
331 yard building setback in lieu of the current 20-foot front yard building setback. This will create a
332 30-foot driveway for the proposed housing product as opposed to the 40-foot driveway created by
333 the recessed front entry required by the Unified Development Code, and set the house back an
334 addition five feet off of public right-of-way. As staff has been done with past amendments to
335 existing planned development districts that consist of several regulating ordinances, staff has
336 taken this opportunity to consolidate the regulating ordinances of Planned Development District
337 5 into one ordinance; however, no changes with regard to the requirements, intent or permitted
338 land uses have been made to any other portion of the planned development district with the
339 exception of changing the garage requirements for the subject property.

340
341 Mr. Miller went on to share that the applicant is proposing to set the primary structure a minimum
342 of 25-feet from the front property line. This coupled with the proposed five foot recessed garage
343 would create a minimum of a 30-foot driveway or ten feet less than the 40-foot driveway created
344 by meeting the current requirements. The only part of the applicant's request that is not in
345 conformance with the OURHometown Vision 2040 Comprehensive Plan is the applicant's request
346 to incorporate 100% flat front entry. The applicant has stated that the reason for this request is
347 due to the inability to incorporate a J-Swing or Traditional Swing garage orientation with a 50-foot
348 wide lot.

349
350 Mr. Miller advised the Commission that staff also emailed notices to the Caruth Lakes/Caruth
351 Ridge Estates, Lakeview Summit, the Preserve, Stone Creek, and Quail Run Valley Homeowner's
352 Associations (HOA), which are the only HOA's located within 1,500 feet of the subject property.
353 Additionally, staff posted a sign on the subject property, and advertised the public hearings in the
354 Rockwall Herald Banner as required by the Unified Development Code notices returned.

355
356 Chairman Chodun asked the applicant to come forward.

357
358 Rob Whittle
359 P.O. Box 369
360 Rockwall, TX

361
362 Mr. Whittle came forward and provided additional details pertaining to the request and indicated
363 he was available for questions.

364
365 Chairman Chodun opened up the public hearing and asked if anyone wished to speak to come
366 forward and do so. There being no one indicating such, Chairman Chodun closed the public
367 hearing and brought the item back to the Commission for discussion or action.

368
369 Commissioner Logan made a motion to approve Z2019-018 with staff recommendations.
370 Commissioner Welch seconded the motion which passed by a vote of 6-0 with Commissioner
371 Moeller absent.

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8. Z2019-019

Hold a public hearing to discuss and consider a request by Doug Henderson of Crafton Communications, Inc. for the approval of a Specific Use Permit (SUP) allowing a *Freestanding Commercial Antenna* on a 0.0055-acre portion of a larger 1.24-acre parcel of land, identified as Lot 9, Block A, Horizon Ridge Center Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 920 Rockwall Parkway, and take any action necessary.

Senior Planner, Korey Brooks, provided an explanation of the request for the approval of a Specific Use Permit allowing a Freestanding Commercial Antenna. According to the applicant, the proposed communications tower will be approximately 110-feet in height and will be situated behind the main structure which is Fire Station No. 2. Currently, there is an existing telecommunications tower that is approximately 200-feet in height and will remain in order to serve the needs of the fire station and other emergency responders. The proposed tower will be a freestanding tower and include a ground-mounted equipment cabinet that will be approximately 560 square feet and approximately nine feet in height. The applicant is proposing to screen the existing ground-mounted telecommunications equipment and the new equipment with a combination of a wrought iron fence that will be six feet height and mature landscaping. The proposed landscaping will be Leland Cypress trees that are a minimum of six feet in height and planted between five to six feet on-center. Mr. Brooks went on to share that there is a single-family residential subdivision located immediately across Summer Lee Drive and, if approved, there will be a second tower on the subject property. The proposed tower will be approximately one-half the height of the existing tower. Due to the design of the tower it appears that the tower will occupy a smaller footprint since no guy-wires will be necessary. Given that there is an existing telecommunications tower located adjacent to the proposed monopole tower coupled with the proposed landscape screening of the existing and proposed equipment, approval of this request to allow a second telecommunications tower on the subject property does not appear to negatively impact the subject property or the surrounding properties. Additionally according to the Unified Development Code, a freestanding commercial antenna shall not exceed 125-feet in height. The Unified Development Code also stipulates that any necessary equipment building shall be enclosed by a decorative iron fence surrounded by a screening hedge, which will achieve a height of at least six feet at maturity. In this case, the proposed freestanding antenna will be 110-feet in height and the applicant is proposing to provide a wrought iron fence with mature landscaping to screen the equipment cabinet. Due to the proposed tower being lower than the maximum allowable height and the applicant will be providing the decorative fence with landscaping, and therefore appears to conform to the requirements of the Unified Development Code. If the request should be approved the applicant would be required to submit a site plan to be reviewed by Planning and Zoning Commission.

Mr. Brooks further noted that on August 30, 2019, staff notified 61 property owners and occupants within 500-feet of the subject property and also notified the Foxchase Homeowner's Association. At the time the meeting was held staff received 16 notices in opposition and 3 in favor of the request.

Mr. Brooks advised the Commission that the applicant was present and available for questions as well as staff.

Chairman Chodun asked the applicant to come forward.

David

Chairman Chodun opened up the public hearing and asked if anyone wished to speak to come forward and do so.

Mr. Maze came forward and expressed concern with the height of the tower.

Chris Sipple
1145 Skylar
Rockwall, TX

Mr. Sipple came forward and expressed his opposition to the request.

436 Carol Gemmell
437 1157 Skylar Drive
438 Rockwall, TX
439

440 Ms. Gemmell came forward and expressed her strong opposition to the request.
441

442 Kyle Cavendar
443 1169 Skylar
444 Rockwall, TX
445

446 Mr. Cavendar came forward and expressed his opposition to the request.
447

448 Mike Richard
449 1163 Skylar
450 Rockwall, TX
451

452 Mr. Richard came forward and expressed his opposition to the request. He feels it will lower the
453 value of his home.
454

455 Jennifer Sipple
456 1169 Skylar
457 Rockwall, TX
458

459 Ms. Sipple came forward and expressed her opposition to the request.
460

461 Tony Gemmell
462 1157 Skylar Drive
463 Rockwall, TX
464

465 Mr. Gemmell came forward and expressed his opposition to the request. He shared concerns with
466 the safety issues such towers so close to his home would result in.
467

468 Larry Warren
469 921 Hunters Glen
470 Rockwall, TX
471

472 Mr. Warren came forward and expressed his opposition to the request.
473

474 Chairman Chodun asked if anyone else wished to speak to come forward and do so, there being
475 no one indicating such; Chairman Chodun closed the public hearing and asked the applicant to
476 come forward for any rebuttal.
477

478 Chairman Chodun brought the item back to the Commission for discussion or action.
479

480 Extensive discussion took place between the Commission shared generally not being in favor of
481 the request.
482

483 Commissioner Fishman made a motion to deny Z2019-019. Commissioner Womble seconded the
484 motion which passed by a vote of 5-0 with Commissioner Logan dissenting and Commissioner
485 Moeller absent.
486

487
488 9. Z2019-020

489 Hold a public hearing to discuss and consider a request by Todd Panzner for the approval of a zoning
490 change from an Agricultural (AG) District to a Commercial (C) District for a 11.85-acre tract of land
491 identified as Tract 1-1 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County,
492 Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, generally
493 located south of the intersection of Green Circle and SH-276, and take any action necessary.

494 **Planning Manager, David Gonzales, provided a brief explanation and background of the request**
495 **for the approval of a zoning change from an Agricultural District to a Commercial District. The**
496 **applicant is requesting to rezone the subject property from an Agricultural District to a**
497 **Commercial District for the purpose of facilitating the sale or future development of the property.**

498 Currently, the subject property is vacant, and consists of 11.85-acres. The majority of this tract
499 of land is situated within the 100-year floodplain, which will limit the development this property in
500 the future. When development occurs on this property adequate public services, infrastructure,
501 necessary to serve the property will be required and all proposed infrastructure improvements
502 must meet the Engineering Department's Standards of Design and Construction.
503

504 On August 28, 2019, staff mailed 16 notices to property owners and residents within 500-feet of
505 the subject property. Staff did not send a neighborhood notification as there are no Homeowners
506 Associations within 1,500-feet of the subject property. No responses were received for or against.
507

508 Chairman Chodun asked the applicant to come forward.

509
510 Todd Panzner
511 1600 Eldridge Parkway
512 Houston, TX
513

514 Mr. Panzner came forward and provided additional information in regards to the request and
515 indicated he was available for questions.
516

517 Chairman Chodun opened up the public hearing and asked if anyone wished to speak to come
518 forward and do so. There being no one indicating such, Chairman Chodun closed the public
519 hearing and brought the item back to the Commission for discussion or action.
520

521 Commissioner Welch made a motion to approve Z2019-020 with staff recommendations.
522 Commissioner Womble seconded the motion which passed by a vote of 6-0 with Commissioner
523 Moeller absent.
524

525 VI. ACTION ITEMS
526

527 10. MIS2019-010

528 Discuss and consider a request by Tim Lyssy of the Rockwall Independent School District (RISD) for the
529 approval of an exception to the minimum masonry requirements for a property in the IH-30 Overlay (IH-
530 30 OV) District for the purpose of constructing an accessory building on a 35.295-acre parcel of land
531 identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas,
532 zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901
533 W. Yellow Jacket Lane, and take any action necessary.
534

535 Senior Planner, Korey Brook, provided a brief explanation of the request. The applicant is
536 requesting approval of an exception to the minimum masonry requirements as stipulated in the
537 Unified Development Code. The purpose of the exception is to allow the construction of a metal
538 accessory building on the subject property. The proposed building will be 12' x 18', utilize a
539 shingled pitched roof system, and be clad with cementitious lap siding that will match the existing
540 accessory buildings. The proposed structure will be located adjacent to the existing accessory
541 buildings and the applicant has stated that the structure will be screened from public view by the
542 retaining wall, the existing building, and existing landscaping. According to the applicant, the
543 new building will be approximately 40% smaller than the existing accessory buildings and will be
544 utilized as additional storage for the school's athletics department. The Unified Development
545 Code stipulates that each exterior wall or a building consist of 90% primary materials with
546 cementitious materials being limited to 50% of the overall primary material being utilized. In this
547 case, since the applicant is requesting to utilize 100% cementitious materials, an exception to the
548 materials and masonry composition standards is required to be approved by the Planning and
549 Zoning Commission. Additionally, after the accessory building is constructed there will be a total
550 of three accessory buildings on the site. In this case, the proposed accessory building is
551 considered to be a commercial structure that is allowed by-right and the Planning and Zoning
552 Commission is tasked with reviewing the masonry exception to determine if approval of the
553 exception will negatively impact the subject property or other properties within the IH-30 Overlay
554 District. The applicant has submitted a site plan and building elevations for the proposed
555 accessory building.

556 Mr. Brooks advised the Commission that the applicant was present and available for questions as
557 well as staff.
558

559 Chairman Chodun asked the applicant to come forward.

560 Tim Lissy
561 1051 Williams Drive
562 Rockwall, TX
563

564 Mr. Lissy came forward and provided additional information pertaining to the request and
565 indicated he was available for questions.
566

567 Chairman Chodun brought the item back to the Commission for discussion or action.
568

569 Commissioner Fishman made a motion to approve MIS2019-010 with staff recommendations.
570 Commissioner Thomas seconded the motion which passed by a vote of 6-0 with Commissioner
571 Moeller absent.
572

573 11. SP2019-030

574 Discuss and consider a request by David A. Morales of Pross Design Group, Inc. on behalf of Carolina
575 Molina of Alvaplast US (SPR Packaging) for the approval of a site plan for an expansion of an existing
576 office/warehouse/manufacturing facility on a 10.1893-acre tract of land identified Lot 2, Block A, SPR
577 Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District,
578 addressed as 1480 Justin Road, and take any action necessary.
579

580 Planning Manager, David Gonzales, provided a brief explanation and background of the request.
581 The applicant is requesting approval of an amended site plan for the purpose of constructing an
582 approximately 22,564 square foot, two story office addition to their existing
583 office/warehouse/manufacturing facility being SPR Packing. Additionally, the site will incorporate
584 a 7,046 square foot one story ink/locker room that is located on the south facing façade. The office
585 addition will be composed of a curtain wall system, canopies finished with aluminum composite
586 materials ACM paneling, and EIFS. The applicant is requesting variances to allow for the ACM
587 paneling and EIFS. The ink/locker room addition will be composed of tilt-up wall construction,
588 matching their existing building and be located on the southern portion of the existing facility.
589 The site is subject to the requirements and land uses stipulated for the Light Industrial District as
590 stated by the Unified Development Code. Additionally according the Unified Development Code,
591 a warehouse facility is a permitted by-right land use in a Light Industrial District. Other than the
592 variances being requested, the submitted site plan, landscape plan, treescape plan, photometric
593 plan, and building elevations generally conform to the technical requirements contained within
594 the UDC for a property located within a Light Industrial District.
595

596 Mr. Brooks further noted that the treescape plan provided by the applicant indicates there are
597 existing trees totaling 762-caliper inches on site, with six trees totaling 51-caliper inches being
598 removed due to the proposed expansion. Of the caliper inches being removed, 12-inches will
599 require mitigation. The applicant is providing a total of 24-caliper inches on site and according to
600 the UDC, the Planning and Zoning Commission will review and approve or disapprove the
601 treescape plan. Mr. Brooks went on to explain the variances the applicant is seeking which the
602 Architectural Review Board reviewed the proposed building elevations and variances to the stone,
603 secondary material, and articulation requirements, and approved a motion to recommend
604 approval of the building elevations and variances being requested. Variances are discretionary
605 decisions for the Planning and Zoning Commission and will require approval by a ¾ majority vote.
606 In the event that the exception is denied, the applicant has the ability to appeal the Planning and
607 Zoning Commission's decision to the City Council by filing a written request with the Planning
608 and Zoning Department.
609

610 Mr. Brooks advised the Commission that the applicant was present and available for questions as
611 well as staff.
612

613 Chairman Chodun asked the applicant to come forward.
614

615 Bobby Pross
616 4050 Wayne's Brick Road
617 Dallas, TX
618

619 Mr. Pross came forward and provided additional comments in regards to the request and indicated
620 he was available for questions.
621

622 Chairman Chodun brought the item back to the Commission for discussion or action.
623
624 Commissioner Thomas made a motion to approve building materials. Commissioner Womble
625 seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.
626
627 Commissioner Thomas made a motion to approve the articulation. Commissioner Womble
628 seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.
629
630 Commissioner Thomas made a motion to approve parking. Commissioner Fishman seconded the
631 motion which passed by a vote 6-0 with Commissioner Moeller absent.
632
633 Commissioner Logan made a motion to approve the dumpster enclosure. Commissioner Thomas
634 seconded the motion which passed by a vote of 6-0 with Moeller absent.
635
636 Commissioner Thomas made a motion to approve the site plan with staff recommendations.
637 Commissioner Womble seconded the motion which passed by a vote of 6-0 with Commissioner
638 Moeller absent.
639
640 12. SP2019-031
641 Discuss and consider a request by Ryan Moorman of R. D. Moorman, Inc. for the approval of a site plan
642 for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City or
643 Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and
644 take any action necessary.
645
646 Senior Planner, Korey Brooks, provided a brief explanation and background pertaining to the
647 request. The applicant is requesting to construct a metal office building in conjunction with and
648 adjacent to the existing office building. The subject property is a 1.244-acre parcel of land that is
649 zoned Commercial District and according to the applicant, the purpose of the building is to provide
650 additional office space and storage. The proposed office building will be approximately 4,950
651 square feet, 16-feet in height, and be situated adjacent to the north façade of the existing office
652 building. The structure will be constructed of metal and utilize a four foot brick wainscot,
653 storefront glass, and a roll-up door on the front façade. According to the applicant, the existing
654 metal accessory building will be removed. The applicant is proposing to screen the loading dock
655 by providing additional landscaping directly in front of the roll-up door to limit visibility from
656 Ranch Trail. Additionally, the landscape buffer adjacent to Ranch Trail will also provide screening
657 from the street. Staff should note, although screening is being provided, it is possible that the
658 roll-up door will still have limited visibility from Ranch Trail. Additionally, most of the surrounding
659 buildings are metal and this office building will be located directly in front of a proposed mini-
660 warehouse facility that will consist of 575 units within 19 metal buildings.
661
662 Mr. Brooks further noted that according to the Unified Development Code, an office building is
663 permitted by-right in a Commercial District and no additional approvals are necessary with regard
664 to the proposed land use and with the exception of the variances being requested the submitted
665 site plan, landscape plan, treescape plan, and building elevations generally conform to the
666 technical requirements contained within the UDC for a property located within a Commercial
667 District. Mr. Brooks went over the exceptions being requested by the applicant and the
668 Architectural Review Board reviewed the proposed building elevations and passed a motion to
669 recommend approval of the site plan and approval is discretionary to the Planning and Zoning
670 Commission.
671
672 Mr. Brooks indicated the applicant was present and available for questions as well as staff.
673
674 Chairman Chodun asked the applicant to come forward.
675
676 Ryan Moorman
677 417 Windermere
678 Heath, TX
679
680 Mr. Moorman came forward and did not add any additional comments.
681
682
683 Chairman Chodun brought the item back to the Commission for discussion or action.

684 Commissioner Thomas made a motion to approve SP2019-031 the variance and the site plan with
685 staff recommendations. Commissioner Fishman seconded the motion. Approval of the site plan
686 passed by a vote of 4-2 with Commissioners Womble and Welch dissenting and Commissioner
687 Moeller absent; however, since the vote was not a supermajority, approval of the exception failed.
688

689 13. SP2019-033

690 Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Dan
691 Bobst of J-BR2, LLC for the approval of a site plan for a strip retail center and restaurant on a 2.893-acre
692 parcel of land identified as Lot 1, Block B, Harbor District Addition, City of Rockwall, Rockwall County,
693 Texas, situated within the Hillside Sub-District of Planned Development District 32 (PD-32), located within
694 the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of the IH-30
695 frontage road and Sunset Ridge Drive, and take any action necessary.
696

697 Planning Director, Ryan Miller, provided a brief explanation and background of the request. The
698 applicant is requesting approval of a site plan for a strip retail center and restaurant. On September
699 20, 2010, the City Council passed Ordinance No. 10-21, PD-32, which established a concept plan
700 and development standards for the approximate 78.89-acre tract of land commonly referred to as
701 PD-32 or the Harbor District. Within the approved concept plan, PD-32 was divided into ten
702 subdistricts that contained individual development and land use standards. On November 17,
703 2014, the City Council adopted Ordinance No. 14-51, which contained a PD Development Plan for
704 a 2.893-acre tract of land located in the subject property. This PD Development Plan showed a
705 series of buildings would be constructed along Harbor Heights Drive in conformance to the
706 requirements of Ordinance No. 10-21. With the approval of Ordinance No. 14-51, the City Council
707 also approved waivers to the building placement requirements and pedestrian access
708 requirements to allow retaining walls ranging from seven to nine feet in height to be established
709 along Harbor Heights Drive. The approval of these walls were tied to building elevations submitted
710 by the applicant and which were tied down as a part of the City Council's approval. On May 1,
711 2017, the City Council adopted Ordinance No. 17-22, which amended Ordinance No. 10-21 to
712 update various exhibits in the ordinance; however, no changes were made to the requirements of
713 the Hillside Subdistrict or for the subject property. The applicant is requesting to amend
714 Ordinance No. 14-51 to change the PD Development Plan approved for the subject property. The
715 new PD Development Plan showed additional buildings being added along Sunset Ridge Drive
716 and a central green space being incorporated adjacent to Harbor Heights Drive the request was
717 approved on July 1, 2019 by Ordinance No. 19-25. Additionally, the subject property does not
718 currently have any trees on it, and as a result the Treescape Plan requirement was waived for this
719 case. Mr. Miller went over the variance and exceptions being requested by the applicant. On
720 August 27, 2019, the applicant met with the Architectural Review Board to discuss the proposed
721 building elevations. At this meeting the applicant introduced two (2) different design schemes.
722 Based on the proposed design schemes, the ARB requested that the applicant utilize the
723 contrasting building material scheme, the scheme that proposed elements that contrasted with
724 the colors and materials used on the Trend Tower elevations. In addition, the ARB requested that
725 the applicant better conform to the vertical articulation requirements and revise the tower element
726 on the building at the corner of the intersection of Sunset Ridge Drive and Harbor Heights Drive.
727 The ARB also requested a material sample board for the purpose of reviewing the proposed stone
728 veneer and providing a recommendation to the Planning and Zoning Commission. The applicant
729 has since submitted building elevations conforming with the majority of the ARB's
730 recommendations; however, the applicant is requesting a variance to the articulation
731 requirements.
732

733 Mr. Miller advised the Commission that the applicant was present and available for questions.
734

735 Chairman Chodun asked the applicant to come forward.
736

737 Jimmy Strohmeier
738 2701 Sunset Ridge
739 Rockwall, TX
740

741 Mr. Strohmeier came forward and provided additional comments pertaining to the request and
742 indicated he was available for questions
743

744 Chairman Chodun brought the item back to the Commission for discussion or action.
745

746 Commissioner Womble made a motion to the variance for the stone requirement. Commissioner
747 Thomas seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.
748 Commissioner Womble made a motion to approve the articulation requirement. Commissioner
749 Fishman seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.
750 Commissioner Thomas made a motion to approve the site plan. Commissioner Fishman seconded
751 the motion which passed by a vote of 6-0 with Commissioner Moeller absent.
752

753
754 VII. DISCUSSION ITEMS

755
756 14. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

757
758 **Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced**
759 **case at the City Council meeting.**

- 760
761 ✓ P2019-032: Replat for Lot 8, Block A, Bodin Industrial Addition [Approved]
762 ✓ P2019-034: Replat for Lots 29-33, Block A, Whisper Rock Addition [Approved]
763 ✓ P2019-036: Replat for Lot 1, Block A, TCB Addition [Approved]
764 ✓ MIS2019-001: Resolution for Impact Fee Public Hearing [Approved]
765 ✓ Z2019-015: SUP for a Minor Automotive Facility (2nd Reading) [Approved]
766 ✓ Z2019-016: Legislative Update Text Amendment (2nd Reading) [Approved]
767

768 VIII. ADJOURNMENT

769 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF
770 ROCKWALL, Texas, this _____ day of _____, 2019.

771
772
773
774 _____
775 Eric Chodun, Chairman

776 Attest:

777
778 _____
779 Laura Morales, Planning Coordinator

780
781
782 **Chairman Chodun adjourned the meeting at 9:19 p.m.**

783
784
785 15. Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM]
786

MINUTES
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
September 24, 2019
6:00 P.M.

I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:00 p.m. The Commissioners present at the meeting were, Jerry Welch, Annie Fishman, John Womble, Tracey Logan, and Sedrick Thomas. Absent from the meeting was Mark Moeller. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planner, Korey Brooks, City Engineer, Amy Williams, and Civil Engineers, Jeremy White and Sarah Johnston.

II. OPEN FORUM

Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward and do so, there being no one indicating such; Chairman Chodun closed the open forum.

III. CONSENT AGENDA

1. Approval of Minutes for the August 27, 2019 Planning and Zoning Commission meeting.

2. P2019-037

Consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Carla Rankin Real Estate Holding for the approval of a final plat for Lot 1, Block A, Rankin Addition being a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street [SH-205], and take any action necessary.

3. P2019-038

Consider a request by Bryon Connally of CBG Surveying Texas, LLC on behalf of Shannon McCord Riddell for the approval of a replat for Lot 1, Block A, Goliad-Riddle Addition being a 0.4079-acre tract of land identified as Lot C, Block 117, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, addressed as 501 S. Goliad Street, and take any action necessary.

Commissioner Moeller made a motion to approve the consent agenda. Commissioner Thomas seconded the motion which passed by a vote of 7-0.

IV. APPOINTMENTS

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Architectural Review representative gave a brief explanation concerning agenda items that were discussed at the Architectural Review Board meeting.

V. DISCUSSION ITEMS

5. Z2019-021

Hold a public hearing to discuss and consider a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners Gwen Reed, Saddle Star South Holdings, LLC, and CDT Rockwall/2017, LLC for the approval of a zoning amendment to Planned Development District 79 (PD-79) [Ordinance No. 16-39] for the purpose of amending the development standards and concept plan on a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4)

63 District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the
64 north side of John King Boulevard south of Featherstone Drive, and take any action necessary.

65
66 Planning Manager, David Gonzales, indicated that the applicant was present and pointed out that
67 there are some issues with water and the sanitary sewer that need to be addressed which will be
68 addressed at the time of preliminary plat.

69
70 Chairman Chodun asked the applicant to come forward.

71
72 Pat Atkins
73 3076 Hays Lane
74 Rockwall, TX

75
76 Mr. Atkins came forward and provided comments pertaining to the request. The purpose of the
77 request is for the addition of land that they have acquired to the north of the Saddle Star project
78 requiring an amendment to the Planned Development. Mr. Atkins indicated he was available for
79 questions.

80
81 Chairman Chodun asked for questions from the Commission.

82
83 There being no questions Chairman Chodun indicated the case will return to the Commission for
84 action at the next scheduled meeting.

85
86
87 6. Z2019-022

88 Hold a public hearing to discuss and consider a request by Marty Wright for the approval of a Specific
89 Use Permit (SUP) for an accessory building on a one (1) acre tract of land identified as Lot 10, Block B,
90 Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-
91 16) District, addressed as 2340 Saddlebrook Lane, and take any action necessary.

92
93 Chairman Chodun asked the applicant to come forward.

94
95 Marty Wright
96 2340 Saddlebrook Lane
97 Rockwall, TX

98
99 Mr. Wright came forward and provided comments pertaining to the request. Currently there is a
100 12x18 building on his one acre lot next to the rod iron fence that he will be moving to the back and
101 will be 18 feet from the 8 foot fence on the east and 20 feet from the rod iron fence. The request is
102 to build a storage garage that will be used for storage.

103
104 Chairman Chodun asked how tall the structure would be. Mr. Wright indicated that it would be 10
105 foot wall and peak 13.9 feet. Chairman Chodun asked what the maximum height allowed. Senior
106 Planner, Korey Brooks, stated that the maximum allowed is 15 feet. Mr. Brooks added that in the
107 neighborhood there are other accessory building that are of similar size however they all match
108 the materials of the main structure and should this request be approved it would set precedence
109 in the neighborhood that could possibly change the character of the neighborhood.

110
111 Commissioner Fishman asked if there is a driveway requirement given the size being proposed.
112 Mr. Brooks indicated there is not due to it being a detached garage. Mr. Wright added that he plans
113 on adding a driveway in the future. Planning Director, Ryan Miller, noted that with the applicant's
114 permission staff could bring the request forward as a detached garage.

115
116 Commissioner Womble asked if the applicant considered building it brick as the other buildings
117 in the neighborhood. Mr. Wright shared that he had however it is cost prohibitive from doing so.

118
119 Commissioner Fishman asked if the request were to be changed to a detached garage, would the
120 materials still have an impact. Mr. Brooks explained that as a detached garage 900 feet is the
121 maximum and therefore the applicant would only be requesting 60 feet over the maximum. Mr.
122 Miller added that in regards to the materials, HB2439 limits staffs ability to regulate materials,
123 however the City Attorney feels that since SUP's are contingent zoning, Boards and Commissions
124 do have the ability to dictate materials through SUP Ordinances.

125 Chairman Chodun asked for further questions from the Commission.

126
127 There being no further questions Chairman Chodun indicated the case will return to the
128 Commission for action at the next scheduled meeting.

129
130 7. Z2019-024

131 Hold a public hearing to discuss and consider a request by Adam Buczek of Stone Creek Balance, LTD
132 for the approval of a zoning amendment to Planned Development District 70 (PD-70) for the purpose of
133 changing the number of hard-edged retention ponds required for the residential subdivision being a ~336-
134 acre tract of land identified as the Stone Creek Subdivision and being situated within the W. T. Deweese
135 Survey, Abstract No. 71 and the S. King Survey, Abstract No 131, City of Rockwall, Rockwall County,
136 Texas, zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses,
137 situated within the North SH-205 Overlay (N. SH-205 OV) and SH-205 By-Pass Overlay (SH-205 BY-OV)
138 Districts, generally located at the southeast corner of the intersection of FM-552 and SH-205 [N. Goliad
139 Street], and take any action necessary.

140
141 Planning Manager, David Gonzales, provided a brief explanation of the request. The only change
142 being made to the Planned Development will be regarding the ponds and what was approved in
143 2009 and what is being requested now from four hard edge ponds to down to three ponds. Mr.
144 Gonzales advised the Commission that the applicant was present and available for questions as
145 well as staff.

146
147 Chairman Chodun asked the applicant to come forward.

148
149 Adam Buzcek
150 8214 Westchester Drive, Suite 710
151 Dallas, TX

152
153 Mr. Buzcek came forward and provided a short power point presentation detailing the proposed
154 request. To date three hard edge retention pond locations have been satisfied and a city park pond
155 with no hard edge. They are requesting to reduce the ponds to three instead of four as to not
156 burden the HOA with an additional one. In the original 2007 Settlement Agreement up to 935 square
157 foot lots were allowed with the current PD allowing up to 918 square foot lots. At build out Stone
158 Creek will now finish with 32 fewer lots than allowed which will be lower density due to the
159 combination of enlarged park dedication. He indicated he was available for questions.

160
161 Chairman Chodun asked for questions from the Commission.

162
163 Commissioner Logan asked if they would be reducing the amount of runoff that were originally
164 calculated with the four ponds. City Engineer, Amy Williams, shared that the ponds are not
165 detention ponds but decorative retention ponds.

166
167 Chairman Chodun asked for further questions from the Commission.

168
169 There being no further questions Chairman Chodun indicated the case will return to the
170 Commission for action at the next scheduled meeting.

171
172 8. SP2019-035

173 Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of the owner for the
174 approval of a site plan for the expansion of an existing Minor Auto Repair Garage on a 1.1107-acre parcel
175 of land identified as Lot 4, Block 1, Horizon Village Addition, City of Rockwall, Rockwall County, Texas,
176 zoned Commercial (C) District, addressed as 2581 Horizon Road [FM-3097], and take any action
177 necessary.

178
179 Chairman Chodun asked the applicant to come forward.

180
181 Greg Wallis
182 Mershawn Architects
183 1520 E. IH-30
184 Rockwall, TX

185
186 Mr. Wallis came forward and indicated he was available for questions.

187 Senior Planner, Korey Brooks, added that the Commission recommended approval of a Specific
188 Use Permit and with the proposed addition there will be two variances associated with it. The first
189 one will be due to the bay doors face Horizon Road a variance is required. The second one will be
190 for the horizontal articulation along the two long ends of the building.

191
192 Chairman Chodun asked for questions or discussion from the Commission.

193
194 There being no questions Chairman Chodun indicated the case will return to the Commission for
195 action at the next scheduled meeting.

196
197 9. SP2019-037
198 Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie
199 Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre
200 parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County,
201 Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32),
202 located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740], and take any
203 action necessary.

204
205 Chairman Chodun asked the applicant to come forward.

206
207 Anna Blackwell
208 Carrillo Engineering
209 301 Commerce Street, Suite 1410
210 Fort Worth, TX

211
212 Ms. Blackwell came forward and indicated she is the civil engineer and is representing the owner.
213 She shared they met with the Architectural Review Board before the meeting and will be making
214 modifications to the elevations of the building as well as to the articulation and other architectural
215 components to further meet the intent of the regulations of the area. They will be requesting to
216 variances to the site plan one being having three rows of parking in the front of the building and
217 also for the orientation of the dumpster enclosure. Ms. Blackwell indicated she was available for
218 questions.

219
220 Chairman Chodun asked for questions from the Commission.

221
222 Commissioner Womble asked if after speaking with the Architectural Review Board any thought
223 had been given as to how to go around not requesting numerous variances. Ms. Blackwell referred
224 the question to the architect of the project.

225
226 Jim Hurt
227 1716 Virginia Place
228 Fort Worth, TX

229
230 Mr. Hurt came forward and shared they had a good discussion with the Architectural Review Board
231 in regards to the articulation of the façade and they feel they have good direction to meet the intent
232 of the regulations of the area.

233
234 There being no further questions Chairman Chodun indicated the case will return to the
235 Commission for action at the next scheduled meeting.

236
237
238 10. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

239
240 Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced
241 case at the City Council meeting.

- 242
243
244 ✓ P2019-017: Preliminary Plat for the Emerson Farms Addition [Approved]
245 ✓ P2019-031: Final Plat for Saddle Star South, Phase 1 Addition [Approved]
246 ✓ P2019-033: Replat for Lot 47, Block D, Park Place West, Phase II Addition 1 [Approved]
247 ✓ Z2019-017: Zoning Change (AG to PD) for Townhomes (1st Reading) [Withdrawn]
248 ✓ Z2019-018: Amendment to Planned Development District 5 (PD-5) (1st Reading) [Approved]

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- ✓ Z2019-019: Specific Use Permit (SUP) for a Freestanding Commercial Antenna (*1st Reading*) [*Withdrawn*]
- ✓ Z2019-020: Zoning Change (AG to C) for the Panzner Addition (*1st Reading*) [*Approved*]

VI. ADJOURNMENT

Chairman Chodun adjourned the meeting at 6:40 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2019.

Eric Chodun, Chairman

Attest:

Laura Morales, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 29, 2019
APPLICANT: Steven Homeyer; *Homeyer Engineering, Inc.*
CASE NUMBER: P2019-039; *Lot 8, Block A, Ellis Centre, Phase Two Addition*

SUMMARY

Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Julia McKinney for the approval of a replat for Lot 8, Block A, Ellis Centre Phase 2 Addition being a 1.21-acre parcel of land identified as Lot 4, Block A, Ellis Centre Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 1.21-acre parcel of land [i.e. *Lot 8, Block A, Ellis Centre, Phase 2 Addition*] that will establish firelane, public access, utility, and detention easements for the purpose of developing the *subject property*. The *subject property* is zoned Light Industrial (LI) District and is addressed as 1920 Alpha Drive.
- On May 17, 2019, Steven Homeyer of Homeyer Engineering, Inc. submitted a site plan [i.e. *Case No. SP2019-017*] proposing the construction of a ~6,042 SF single-story, animal boarding/kennel facility. On June 11, 2019, the Planning and Zoning Commission approved the site plan and all exceptions requested.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 8, Block A, Ellis Centre, Phase 2 Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall

Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2019-039	Owner JULIA MCKINNEY	Applied 10/18/2019	LM
Project Name Lot 1, Block A, Ellis Centre	Applicant HOMEYER ENGINEERING INC.	Approved	
Type PLAT		Closed	
Subtype REPLAT		Expired	
Status Staff Review		Status	
 Site Address 1920 ALPHA DR		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision ELLIS CENTRE 2	Tract	Block A	Lot No
			Parcel No 3585-000A-0004-00-OR
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/18/2019	10/25/2019	10/22/2019	4	APPROVED	
ENGINEERING (10/25/2019 9:26 AM SJ)	Sarah Johnston	10/18/2019	10/25/2019	10/25/2019	7	COMMENTS	M - Detention cannot be in any utility easements. Move detention easement back to be out of the utility easements. Standards of Design 5.3.1 and 6.4 M - Must have 10' of utility easement along all street frontage. Standards of Design 5.3.1 and 6.4
FIRE	Ariana Hargrove	10/18/2019	10/25/2019	10/24/2019	6	APPROVED	
GIS	Lance Singleton	10/18/2019	10/25/2019	10/22/2019	4	APPROVED	
PLANNING	David Gonzales	10/18/2019	10/25/2019	10/25/2019	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/25/2019 10:03 AM DG)						
P2019-039: Replat – Ellis Centre, Phase 2 Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1						This is a request for the approval of a replat for Lot8, Block A, Ellis Centre Phase 2 Addition being a 1.21-acre parcel of land identified as Lot 4, Block A, Ellis Centre Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court
I.2						For questions or comments concerning this case, please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
M.3						For reference, include the case number (P2019-039 in the lower right hand corner of all pages on future submittals.
I.4						The final plat shall conform to all standards and requirements of Chapter38 of the Rockwall Code of Ordinances, the Unified Development Code (UDC), and staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document
M.5						The plat is required to fit onto an 18" x 24' sheet. Please correct. This may require two (2) pages in order to convey the information (Chapter 38, Subdivisions, Sec. 38-10(a), Code of Ordinances)
M.5						Correct Title Block to read as follows: Final Plat ELLIS CENTRE, PHASE 2 Lot 8, Block A Being a replat of Lots 4, Block A, of the Ellis Centre Addition, Recorded in Cabinet G, Page 143, P.R.R.C.T., Situated in the Archibald Hanna Survey, Abstract No. 99 City of Rockwall, Rockwall County, Texas
I.6						Correct the Lot number on the plat to "Lot 8". Additionally, change the lot number to "Lot 8" where lot 4r appears (i.e. Certificate of Approval, Owners Certificate, Title Block, etc.) on the plat.
M.7						Refer to the standard plat wording as found in the application package and provide in its entirety as applicable The plat as provided is incomplete and doesnot meet this standard. (See attached with staff comments)
I.8						Notary certificate is not necessary when plat is stamped by surveyor.
I.9						Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections, and provide any additional information that is requested Revisions for this case will be due on November 5, 2019; however, it is encouraged for the applicants to submit revisions as soon as possible to give staff ample time to review the case for compliance Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a final review by staff.
I.10						The Planning and Zoning meeting will be held on October 29, 2019. This case will be on the Consent Agenda.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.11 The City Council meeting will be held on November 4, 2019. This case will be on the Consent Agenda.						
I.12 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing						
I.13 Staff recommends that a representative be present for the meetings as scheduled above. The meetings will be held in the City's Council Chambers and begin at 6:00 p.m.						



STANDARD PLAT WORDING FOR FINAL PLATS AND REPLATS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

GENERAL REFERENCE: CHAPTER 38, *SUBDIVISIONS*, OF THE MUNICIPAL CODE OF ORDINANCES

OWNER'S CERTIFICATION [PUBLIC DEDICATION]

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS [OWNER'S NAME], BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows: [LEGAL DESCRIPTION]

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature

**STATE OF TEXAS
COUNTY OF ROCKWALL**

Before me, the undersigned authority, on this day personally appeared **[PROPERTY OWNER]**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this **[DAY]** day of **[MONTH], [YEAR]**.

Notary Public in and for the State of Texas

My Commission Expires

Signature of Party with Mortgage or Lien Interest [IF APPLICABLE:]

**STATE OF TEXAS
COUNTY OF ROCKWALL**

Before me, the undersigned authority, on this day personally appeared **[PROPERTY OWNER]**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this **[DAY]** day of **[MONTH], [YEAR]**.

Notary Public in and for the State of Texas

My Commission Expires

GENERAL NOTES [Please add this to any other notes included on the plat.]

General Notes:

- 1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, **[SURVEYOR'S NAME]**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Surveyor Signature

Registered Public Surveyor No.

STANDARD CITY SIGNATURE BLOCK

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the **[DAY]** day of **[MONTH], [YEAR]**.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this **[DAY]** day of **[MONTH], [YEAR]**.

Mayor, City of Rockwall

City Secretary

City Engineer

ROCKWALL COUNTY JUDGE SIGNATURE BLOCK [ADD THIS BLOCK IF THE PROPERTY IS LOCATED OUTSIDE THE CITY LIMITS]

Rockwall County Judge

Date

ADMINISTRATIVE APPROVAL BLOCK FOR PLATS (E.G. MINOR & AMENDING) [USE IN LIEU OF THE STANDARD BLOCK]

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the **[DAY]** day of **[MONTH], [YEAR]**.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

Director of Planning & Zoning

City Engineer

PLAT FILING REQUIREMENTS [AFTER APPROVAL OF THE PLAT]

Final plats and replats must be filed with the County Clerk within 180 days of the City Council approval date or the plat will be considered void. If the plat is voided, it must be re-approved by the Planning & Zoning Commission and City Council.

All plats will be filed with Rockwall County by City of Rockwall staff; however, the applicant is responsible for providing City staff with the appropriate plat information necessary to file the plat with the County Clerk. This includes a minimum of one (1) signed mylar sets (18" x 24") with current Tax Certificates and a check for the filing fees made payable to the **Rockwall County Clerk**. Tax Certificates can be obtained from the Rockwall County Appraisal District located at 841 Justin Road, Rockwall, Texas 75087.

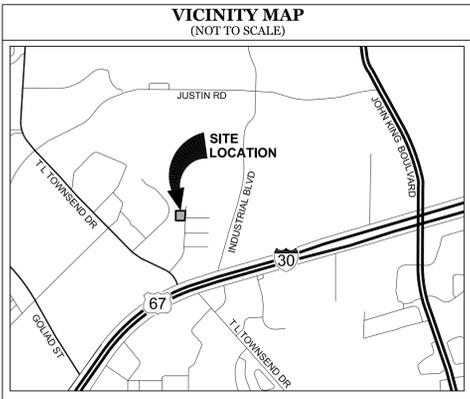
FILING FEES:

Mylars: \$50.00 per page for the 1st set only (*No charge for additional sets*).

Tax Certificates: \$30.00 for the 1st certificate and \$4.00 for each additional certificate.

Per Rockwall County:

*Please note if submitting mylars between September 1st through December 31st, **tax receipts** must also be filed with the plat. The filing of the tax receipt will incur a filing fee of \$4.00 per tax receipt, made payable to the **Rockwall County Clerk**.



GENERAL NOTES

- 1.) The purpose of this plat is to dedicate easements for site development.
- 2.) This property is located in "Non-shaded Zone X" and "Zone AE" according to the F.E.M.A. Flood Insurance Rate Map dated September 26, 2008 as shown on Map Number 48397C0040L.
- 3.) The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
- 4.) Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- 5.) All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- 6.) The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) Datum.
- 7.) Property owner is responsible for repair, replacement, and maintenance of all detention and drainage systems in easements on-site.

LINE	BEARING	DISTANCE
L1	S 02°08'11" W	24.00'
L2	N 87°51'49" W	112.00'
L3	N 02°08'11" E	24.00'
L4	S 87°51'49" E	112.00'
L5	S 02°08'11" W	33.00'
L6	N 87°49'56" W	185.00'
L7	N 02°08'11" E	33.00'
L8	S 87°49'56" E	185.00'
L9	S 64°16'48" W	8.29'
L10	S 02°08'10" W	21.60'
L11	N 87°52'27" W	162.67'
L12	N 02°08'11" E	178.30'
L13	S 87°49'56" E	47.59'
L14	S 02°02'15" W	122.72'
L15	S 87°51'49" E	25.74'
L16	S 02°08'11" W	8.50'
L17	S 87°51'49" E	89.13'
L18	S 02°08'10" W	8.45'
L19	N 64°16'48" E	8.29'
L20	S 02°08'11" W	16.97'

LEGEND

- PG = PAGE
- CAB = CABINET
- POB = POINT OF BEGINNING
- CIRS = CAPPED IRON ROD SET
- CIRF = CAPPED IRON ROD FOUND
- DOC. NO. = DOCUMENT NUMBER
- D.R.R.C.T. = DEED RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. = PLAT RECORDS, ROCKWALL COUNTY, TEXAS

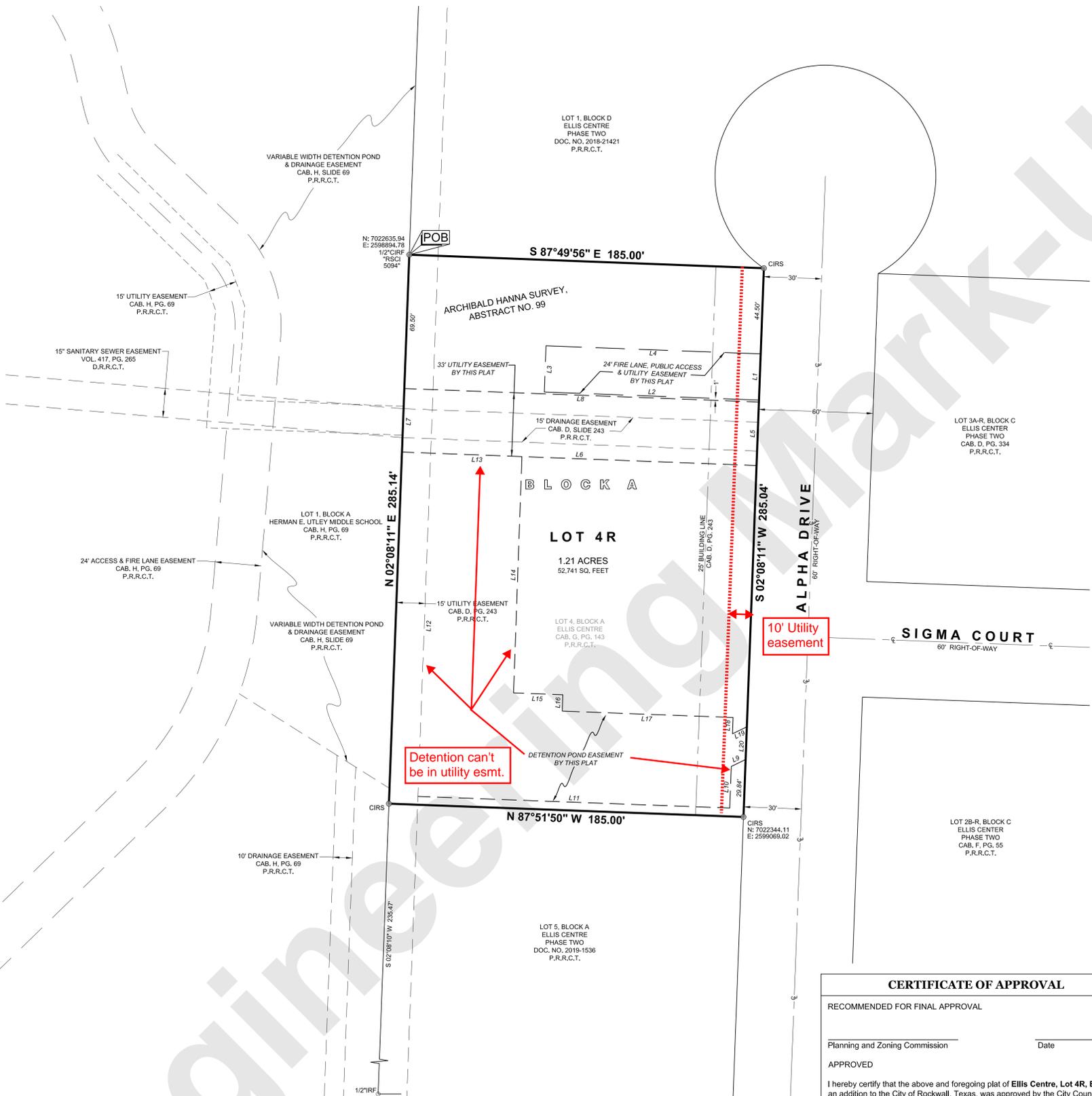
Project: 1903.017-02
 Date: 09/18/2019
 Drafter: JDC

EAGLE SURVEYING, LLC
 210 S. Elm Street, Suite: 104
 Denton, TX 76201
 (940) 222-3009
 TX Firm #10194177

SURVEYOR
 Eagle Surveying, LLC
 Contact: John Cox
 210 S. Elm Street, Suite: 104
 Denton, TX 76201
 (940) 222-3009

ENGINEER
 Homeyer Engineering, Inc.
 Contact: Steve Homeyer
 P.O. Box 294527
 Lewisville, TX 75029
 (972) 906-9985

OWNER
 Canine Properties, LLC
 Contact: Julia R. McKinney
 1920 Alpha Drive
 Rockwall, TX 75087
 (214) 608-3118



OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
 COUNTY OF ROCKWALL §

WHEREAS, **CANINE PROPERTIES, LLC** is the owner of a 1.21 acre tract of land situated in the ARCHIBALD HANNA SURVEY, ABSTRACT NUMBER 99, City of Rockwall, Rockwall County, Texas, being all of Lot 4, Block A of Ellis Centre, an addition to the City of Rockwall, Texas, recorded in Cabinet G, Page 143, Plat Records of Rockwall County, Texas, and being conveyed by General Warranty Deed to Canine Properties, LLC, recorded in Document Number 2019000012843, Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "RSCI 5094" found at the Northwest corner of said Lot 4, Block A, being in the East line of Lot 1, Block A of Herman E. Utley Middle School, an addition to the City of Rockwall, Texas, recorded in Cabinet H, Page 69, Plat Records of Rockwall County, Texas, and being at the Southwest corner of Lot 1, Block D of Ellis Centre, Phase Two, an addition to the City of Rockwall, Texas, recorded in Document Number 2018-21421, Plat Records of Rockwall County, Texas;

THENCE South 87°49'56" East, with the North line of said Lot 4, Block A and the common South line of said Lot 1, Block D, a distance of 185.00 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Northeast corner of said Lot 4, Block A, and being in the West right-of-way line of Alpha Drive (a 60-foot right-of-way);

THENCE South 02°08'11" West, with the East line of said Lot 4, Block A and the West right-of-way line of said Alpha Drive, a distance of 285.04 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southeast corner of said Lot 4, Block A and being at the Northeast corner of Lot 5, Block A of said Ellis Centre, an addition to the City of Rockwall, Texas, recorded in Document Number 2019-1536, Plat Records of Rockwall County, Texas;

THENCE North 87°51'50" West, with the South line of said Lot 4, Block A and the common North line of said Lot 5, Block A, a distance of 185.00 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of said Lot 4, Block A, being at the Northwest corner of said Lot 5, Block A and being in the East line of said Lot 1, Block A;

THENCE North 02°08'11" East, with the West line of said Lot 4, Block A and the common East line of said Lot 1, Block A, a distance of 285.14 feet to the **POINT OF BEGINNING**, and containing 1.21 acres of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **CANINE PROPERTIES, LLC**, does hereby adopt this plat, designating herein described property as **ELLIS CENTRE, LOT 4R, BLOCK A**, an addition to the City of Rockwall, Rockwall County, Texas, and does hereby dedicate to public use forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the drainage and utility easements as shown. Said drainage and utility easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the drainage and utility easement and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said drainage and utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone.

OWNER: **CANINE PROPERTIES, LLC**, a Texas limited liability company

BY: _____ Date _____
 Julia R. McKinney
 Manager

STATE OF TEXAS §
 COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared **JULIA R. MCKINNEY**, Manager of **CANINE PROPERTIES, LLC**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
 COUNTY OF ROCKWALL §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Rockwall, Rockwall County, Texas.

PRELIMINARY
 this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. # 6402 _____ Date _____

STATE OF TEXAS §
 COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

John Cox, Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of **Ellis Centre, Lot 4R, Block A**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, 2019.

Mayor, City of Rockwall _____ City Secretary, City of Rockwall _____

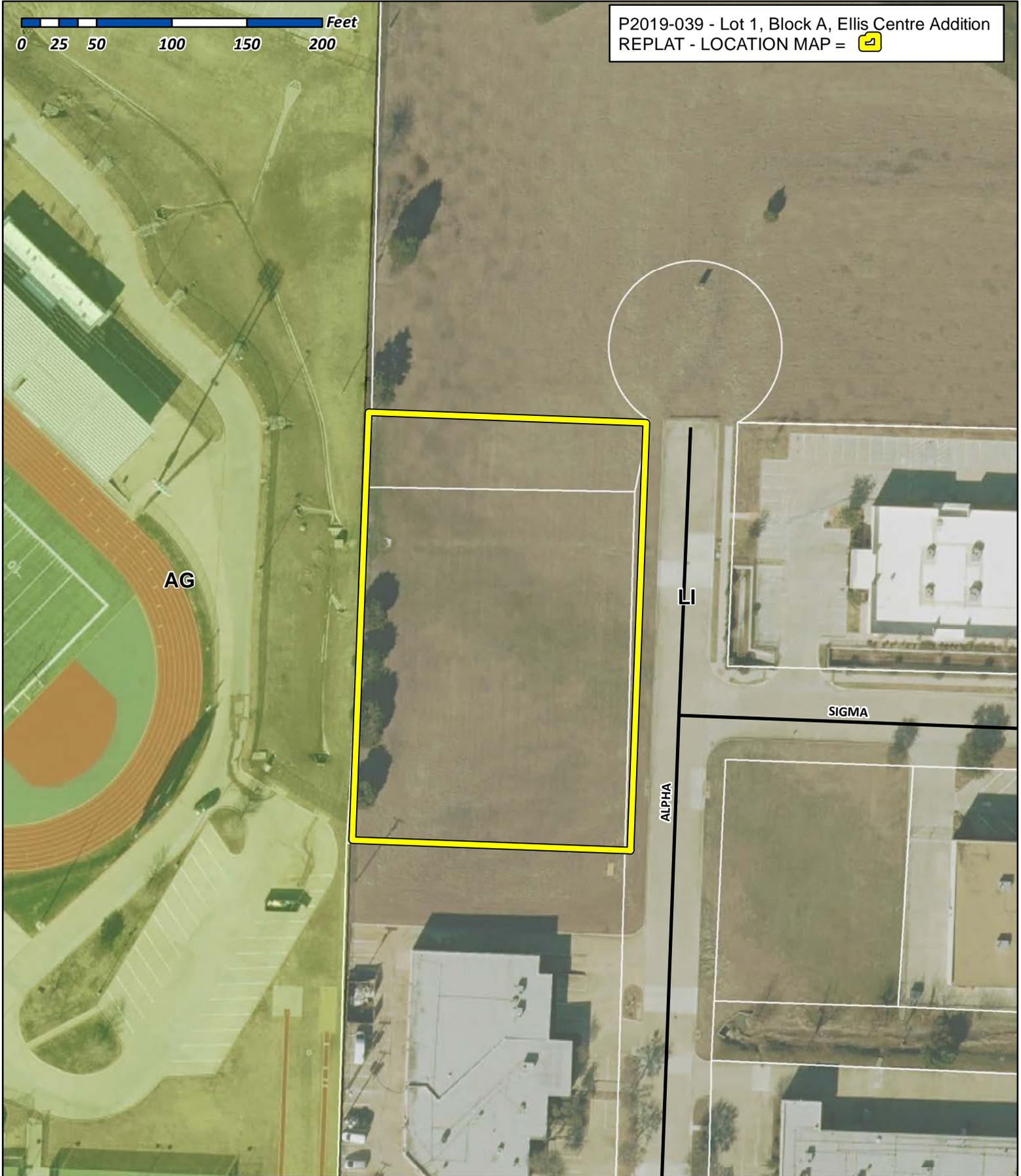
City Engineer _____ Date _____

**REPLAT
 ELLIS CENTRE
 LOT 4R, BLOCK A
 1.21 ACRES**

A REPLAT OF LOT 4, BLOCK A OF ELLIS CENTRE, RECORDED IN CABINET G, PAGE 143, P.R.R.C.T., ARCHIBALD HANNA SURVEY, ABSTRACT No. 99, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

0 25 50 100 150 200 Feet

P2019-039 - Lot 1, Block A, Ellis Centre Addition
REPLAT - LOCATION MAP = 

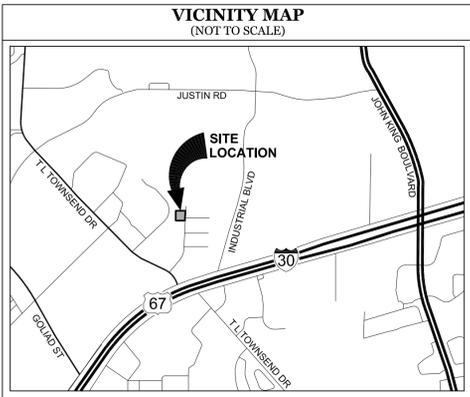


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



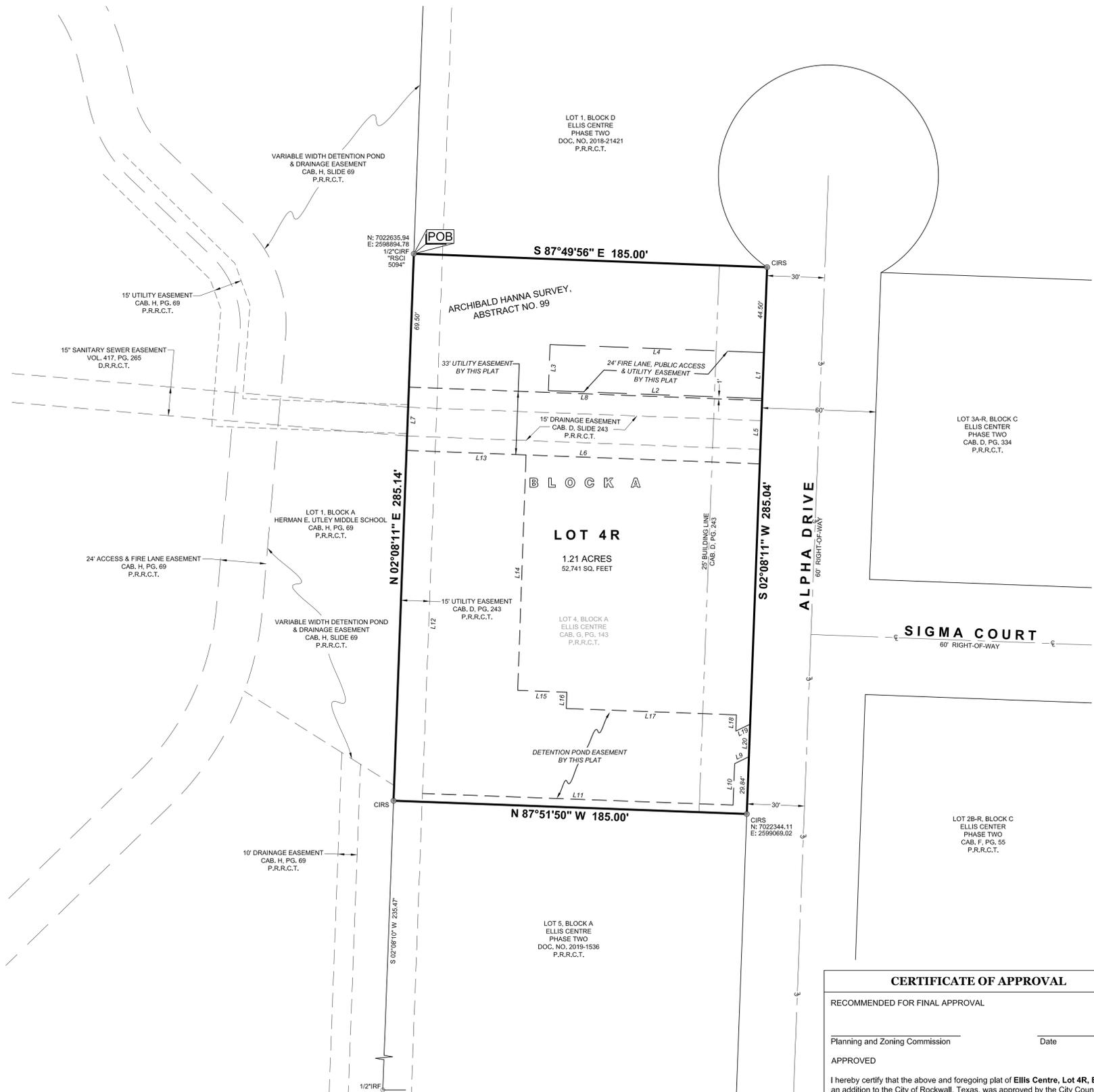


- GENERAL NOTES**
- 1.) The purpose of this plat is to dedicate easements for site development.
 - 2.) This property is located in "Non-shaded Zone X" and "Zone AE" according to the F.E.M.A. Flood Insurance Rate Map dated September 26, 2008 as shown on Map Number 48397C0040L.
 - 3.) The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
 - 4.) Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
 - 5.) All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
 - 6.) The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) Datum.
 - 7.) Property owner is responsible for repair, replacement, and maintenance of all detention and drainage systems in easements on-site.

LINE	BEARING	DISTANCE
L1	S 02°08'11" W	24.00'
L2	N 87°51'49" W	112.00'
L3	N 02°08'11" E	24.00'
L4	S 87°51'49" E	112.00'
L5	S 02°08'11" W	33.00'
L6	N 87°49'56" W	185.00'
L7	N 02°08'11" E	33.00'
L8	S 87°49'56" E	185.00'
L9	S 64°16'48" W	8.29'
L10	S 02°08'10" W	21.60'
L11	N 87°52'27" W	162.67'
L12	N 02°08'11" E	178.30'
L13	S 87°49'56" E	47.59'
L14	S 02°02'15" W	122.72'
L15	S 87°51'49" E	25.74'
L16	S 02°08'11" W	8.50'
L17	S 87°51'49" E	89.13'
L18	S 02°08'10" W	8.45'
L19	N 64°16'48" E	8.29'
L20	S 02°08'11" W	16.97'

LEGEND

PG	= PAGE
CAB	= CABINET
POB	= POINT OF BEGINNING
CIRS	= CAPPED IRON ROD SET
CIRF	= CAPPED IRON ROD FOUND
DOC. NO.	= DOCUMENT NUMBER
D.R.R.C.T.	= DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	= PLAT RECORDS, ROCKWALL COUNTY, TEXAS



OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS, **CANINE PROPERTIES, LLC** is the owner of a 1.21 acre tract of land situated in the ARCHIBALD HANNA SURVEY, ABSTRACT NUMBER 99, City of Rockwall, Rockwall County, Texas, being all of Lot 4, Block A of Ellis Centre, an addition to the City of Rockwall, Texas, recorded in Cabinet G, Page 143, Plat Records of Rockwall County, Texas, and being conveyed by General Warranty Deed to Canine Properties, LLC, recorded in Document Number 2019000012843, Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "RSCI 5094" found at the Northwest corner of said Lot 4, Block A, being in the East line of Lot 1, Block A of Herman E. Utley Middle School, an addition to the City of Rockwall, Texas, recorded in Cabinet H, Page 69, Plat Records of Rockwall County, Texas, and being at the Southwest corner of Lot 1, Block D of Ellis Centre, Phase Two, an addition to the City of Rockwall, Texas, recorded in Document Number 2018-21421, Plat Records of Rockwall County, Texas;

THENCE South 87°49'56" East, with the North line of said Lot 4, Block A and the common South line of said Lot 1, Block D, a distance of 185.00 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Northeast corner of said Lot 4, Block A, and being in the West right-of-way line of Alpha Drive (a 60-foot right-of-way);

THENCE South 02°08'11" West, with the East line of said Lot 4, Block A and the West right-of-way line of said Alpha Drive, a distance of 285.04 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southeast corner of said Lot 4, Block A and being at the Northeast corner of Lot 5, Block A of said Ellis Centre, an addition to the City of Rockwall, Texas, recorded in Document Number 2019-1536, Plat Records of Rockwall County, Texas;

THENCE North 87°51'50" West, with the South line of said Lot 4, Block A and the common North line of said Lot 5, Block A, a distance of 185.00 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southwest corner of said Lot 4, Block A, being at the Northwest corner of said Lot 5, Block A and being in the East line of said Lot 1, Block A;

THENCE North 02°08'11" East, with the West line of said Lot 4, Block A and the common East line of said Lot 1, Block A, a distance of 285.14 feet to the **POINT OF BEGINNING**, and containing 1.21 acres of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **CANINE PROPERTIES, LLC**, does hereby adopt this plat, designating herein described property as **ELLIS CENTRE, LOT 4R, BLOCK A**, an addition to the City of Rockwall, Rockwall County, Texas, and does hereby dedicate to public use forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the drainage and utility easements as shown. Said drainage and utility easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the drainage and utility easement and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said drainage and utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone.

OWNER: **CANINE PROPERTIES, LLC**, a Texas limited liability company

BY: _____ Date _____
Julia R. McKinney
Manager

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared **JULIA R. MCKINNEY**, Manager of CANINE PROPERTIES, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I, **MATTHEW RAABE**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Rockwall, Rockwall County, Texas.

PRELIMINARY
this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. # 6402 _____ Date _____

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

John Cox, Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of **Ellis Centre, Lot 4R, Block A**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, 2019.

Mayor, City of Rockwall _____ City Secretary, City of Rockwall _____

City Engineer _____ Date _____

**REPLAT
ELLIS CENTRE
LOT 4R, BLOCK A
1.21 ACRES**

A REPLAT OF LOT 4, BLOCK A OF ELLIS CENTRE, RECORDED IN CABINET G, PAGE 143, P.R.R.C.T., ARCHIBALD HANNA SURVEY, ABSTRACT No. 99, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project 1903.017-02	<p>EAGLE SURVEYING, LLC 210 S. Elm Street, Suite: 104 Denton, TX 76201 (940) 222-3009 TX Firm #10194177</p>
Date 09/18/2019	
Drafter JDC	

<p>SURVEYOR Eagle Surveying, LLC Contact: John Cox 210 S. Elm Street, Suite: 104 Denton, TX 76201 (940) 222-3009</p>	<p>ENGINEER Homeyer Engineering, Inc. Contact: Steve Homeyer P.O. Box 294527 Lewisville, TX 75029 (972) 906-9985</p>	<p>OWNER Canine Properties, LLC Contact: Julia R. McKinney 1920 Alpha Drive Rockwall, TX 75087 (214) 608-3118</p>
--	--	---



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 29, 2019
APPLICANT: David Rains
CASE NUMBER: P2019-041; *Lot 35, Block A, Chandler's Landing, Phase 18, Section 2*

SUMMARY

Consider a request by David Raines for the approval of a replat for Lot 35, Block A, Chandler's Landing, Phase 18, Section 2 being a 0.19-acre tract of land identified as Lot 12, Block A, Chandler's Landing, Phase 18, Section 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 8 (PD-8) District for single-family land uses, addressed as 5808 Constellation Circle, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting to replat one (1) lot (*i.e. Lot 12, Block A, Chandler's Landing, Phase 18, Section 2 Addition*) into Lot 35, Block A, Chandler's Landing Phase 18, Section 2 for the purpose of abandoning a portion of a sanitary sewer easement.
- The subject property was annexed in 1973 [*Ordinance No. 73-42*], is zoned as Planned Development District 8 (PD-8) for single-family land uses, and is addressed as 5808 Constellation Circle.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for replats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 35, Block A, Chandler's Landing Phase 18, Section 2*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2019-041	Owner DAVID RAINS	Applied 10/21/2019 LM
Project Name Lot 35, Block A, Chandlers Landing Phase	Applicant DAVID RAINS	Approved
Type REBAT		Closed
Subtype REPLAT		Expired
Status Staff Review		Status

Site Address	City, State Zip	Zoning
5808 CONSTELLATION CIR	ROCKWALL, TX 75032	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
CHANDLERS LANDING PH 18 SEC 2	12	A	12	3361-000A-0012-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/21/2019	10/28/2019	10/22/2019	1	APPROVED	
ENGINEERING (10/24/2019 4:42 PM SJ) M - Must label the bearings and distances of the easement to be abandoned.	Sarah Johnston	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	
FIRE	Ariana Hargrove	10/21/2019	10/28/2019	10/24/2019	3	APPROVED	
GIS	Lance Singleton	10/21/2019	10/28/2019	10/22/2019	1	APPROVED	
PLANNING	Korey Brooks	10/21/2019	10/28/2019	10/25/2019	4	COMMENTS	Comments

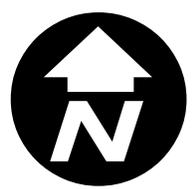
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2019-041; Replat for Lot 38, Block A, Chandlers Landing Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by David Raines for the approval of a replat for Lot 35, Block A, Chandler's Landing, Phase 18, Section 2 being a 0.19-acre tract of land identified as Lot 12, Block A, Chandler's Landing, Phase 18, Section 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development 8 (PD-8) District for single family land uses, addressed as 5808 Constellation Circle.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2019-041) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 This request is considered to be a complete application.						
M.6 Replat. Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please provide a purpose statement.						
2) Is there an instrument # for the greenbelt and utility easement adjacent to Lot 34.						
3) Is there an instrument number for the 20-foot utility easement at the front property line.						
4) Please note that there is a signature block for two owners. Is this property owned by two people?						
5) Please note that the signature block for the Planning and Zoning Chair is missing.						
6) Please add "7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements."						
I.7 Please note that failure to address all comments provided by staff by 5:00 PM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; The Planning & Zoning Meeting October 29, 2019.						



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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LAKE RAY HUBBARD
CITY OF DALLAS

SPC
N 7009186.44
E 2586444.08

UTILITY EASEMENT
CAB. C, SLIDE 46
S 57°24'59"W 55.00'

LOT 34, BLOCK A
CHANDLERS LANDING
PHASE 18 SECTION 2
CABINET 1, SLIDE 99
P.R.R.C.T.

LOT 35
BLOCK A
0.19 ACRES
8,265 S.F.

SPC
N 7009048.06
E 2586498.20

LOT 13
REPLAT CHANDLERS LANDING
PHASE 18 SECTION 2
CABINET C, SLIDE 46
P.R.R.C.T.

LOT 23
REPLAT CHANDLERS LANDING
PHASE 18 SECTION 2
CABINET C, SLIDE 46
P.R.R.C.T.

CURVE TABLE

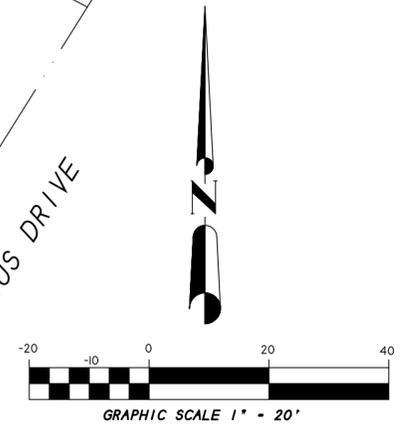
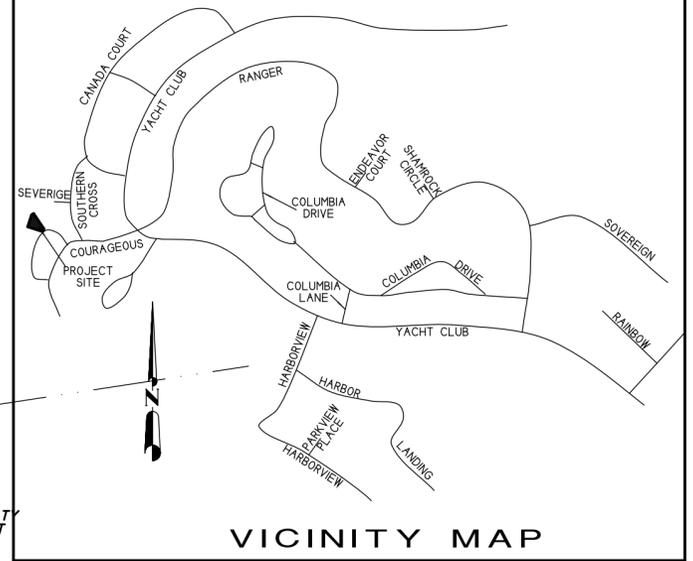
Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	48°48'08"	41.55	35.39	18.85	34.33	S 25°46'47"W
2	10°19'54"	19.00	3.43	1.72	3.42	S 61°42'21"W
3	15°45'40"	215.00	59.14	29.76	58.96	N 2°25'58"W
4	7°08'19"	195.00	24.30	12.16	24.28	S 0°39'24"W

LINE TABLE

Line	Bearing	Distance
1	N 57°24'55"E	14.00'
2	S 33°42'27"E	19.00'
3	S 34°32'14"W	30.56'
4	S 17°52'59"W	0.54'
5	S 24°46'54"W	23.73'
6	S 17°51'32"W	49.90'
7	N 72°07'01"W	12.17'

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."



FINAL PLAT CHANDLERS LANDING PHASE 18 SECTION 2 LOT 35, BLOCK A

BEING A REPLAT OF LOT 12, BLOCK A
CHANDLERS LANDING PHASE 18, SECTION 2
0.19 ACRES OR 8,265 S.F.
(1 LOT)

E. TEAL SURVEY, A-207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER:
DAVID RAINS
5808 CONSTELLATION CIRCLE
ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND

TV	GAS	TEL	PH	PP
CABLE RISER	METER	RISE	HYDRANT	POWER POLE
ELECT. METER	ELECT. BOX	WATER	LIGHT POLE	IRREGULAR BOUND (CORNER)
SUBURFACE JUNCTION BOX	PROPRY LINE	EXISTENT LINE	A/C UNIT	PROPANE TANK

SURVEY DATE APRIL 23, 2019
SCALE 1" = 20' FILE # 20061421-RP
CLIENT RAINS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: October 29, 2019

SUBJECT: Temporary Moratorium on the Acceptance and Processing of Subdivision Plats in the City of Rockwall's Extraterritorial Jurisdiction (ETJ)

In conformance with Chapter 242 of the Texas Local Government Code (TLGC), the City of Rockwall and Rockwall County entered into an *Interlocal Agreement* on November 12, 2013 requiring the City of Rockwall to process and review subdivision plats within the City's Extraterritorial Jurisdiction (ETJ). The City was required to enforce its *Subdivision Regulations* and the *Unified Regulations*, which were contained in the *Interlocal Agreement* as *Exhibit 'A'*. On October 22, 2019, the Rockwall County Commissioner's Court approved a motion to notify all cities in Rockwall County that the interlocal agreements would need to be amended to account for changes in the *Subdivision Regulations* of Rockwall County, which would affect the *Unified Regulations* contained in the *Interlocal Agreement* agreed to be enforced in the City's Extraterritorial Jurisdiction (ETJ). This motion was in response to the County's work with their consultant -- *Freese & Nichols, Inc.* -- on revising their *Subdivision Regulations*, and based on a lawsuit challenging certain requirements contained in the current County *Subdivision Regulations* and which are also contained in *Unified Regulations* of the *Interlocal Agreement* between Rockwall and Rockwall County and which are required to be enforced by the City.

As the Planning and Zoning Commission is aware, subdivision plats are an important way that the City ensures that proper public facilities, infrastructure, drainage, and fire protection are being provided to support development of property in the City's Extraterritorial Jurisdiction (ETJ); and, with the uncertainty of how the changes to the *Unified Regulations* will impact the review criteria contained in the *Interlocal Agreement*, the City of Rockwall is proposing to impose a moratorium on the acceptance and processing of subdivision plats for residential and commercial property in the City's Extraterritorial Jurisdiction (ETJ). The power to invoke a moratorium is granted to the City by Chapter 212, *Municipal Regulation of Subdivisions and Property Development*, of the Texas Local Government Code. This section of the code lays out the specific procedures for imposing a moratorium, and staff has included a memorandum prepared by the City Attorney outlining the circumstances and procedures involved with imposing a moratorium. The attached draft ordinance would impose a moratorium of 90-days on commercial development and 120-days on residential development, which would allow staff to work with the County to prepare a revised *Interlocal Agreement* without undermining the effectiveness of the revised review criteria by approving applications that may or may not meet this new criterion. The moratorium is not expected to be in place for the entire duration allowed under the law, just until the new *Unified Regulations* are adopted by the County and agreed to by the City.

Until the new *Unified Regulations* are adopted, it is clear that applying the existing development ordinances and/or regulations, that have been stricken down by the court, is inadequate to prevent any new development from possibly causing the overcapacity of infrastructure or being detrimental to the public's health, safety, and general welfare in the City's Extraterritorial Jurisdiction (ETJ).

A calendar for the proposed temporary moratorium is as follows:

- ✓ October 25, 2019: 1st Notice of Public Hearing Published in the Dallas Morning News
- ✓ October 29, 2019: Planning and Zoning Commission Public Hearing
- ✓ October 31, 2019: 2nd Notice of Public Hearing Published in the Dallas Morning News

- ✓ November 1, 2019: Temporary Moratorium Take Effect
- ✓ November 4, 2019: City Council Public Hearing and 1st Reading of the Ordinance
- ✓ November 5, 2019: Agenda Posted for Special City Council Meeting
- ✓ November 8, 2019: Special City Council Meeting and 2nd Reading of the Ordinance

At the Planning and Zoning Commission meeting on October 29, 2019, the Planning and Zoning Commission will need to hold a public hearing on the moratorium and provide a recommendation to the City Council concerning the imposition of the proposed moratorium.

MEMORANDUM

TO:	Rick Crowley, City Manager
COPY:	Ryan Miller, Director of Planning and Development
FROM:	Frank J. Garza, City Attorney
DATE:	October 21, 2019, 2019
	Re: Moratorium of Development

There is a process under state law that allows a city to adopt a moratorium on development; however, before the City can approve a moratorium, it must follow very precise procedures that are outlined in Chapter 212 of the Texas Local Government Code.

The state law on moratoriums was adopted by the Texas Legislature in 2001 but was significantly amended in 2005 making it more difficult for cities to adopt a moratorium on development. Under Section 212.133 of the Texas Local Government Code, **a city may not adopt a moratorium unless it complies with strict notice and hearing procedures and makes written findings required by law.** Specifically, state law requires the following steps before a developmental moratorium can be adopted:

Public Hearing and Notice Requirements

Section 212.134 of the Texas Local Government Code

- Before a moratorium on property development may be imposed, the city must conduct two public hearings, one before the Planning and Zoning Commission and one before the City Council.
- The city must publish notice of the time and place of the hearings in a newspaper of general circulation on the **fourth day before the date of each hearing.** (Requires daily newspaper).
- A public hearing must provide residents and individuals affected by the proposed moratorium an opportunity to be heard.
- On the fifth business day after the date a notice is published, **a temporary moratorium takes effect.** During the period of the temporary moratorium, the city may stop accepting permits, authorizations, and approvals necessary for the subdivision of, site planning of, or construction on real property.
- Within 12 days after the date of the Council public hearing, the city shall make a final determination on the imposition of a moratorium. Before an ordinance adopting a moratorium may be imposed, the ordinance must be given at least two readings by the City Council. The readings must be separated by at least four days. If the City fails to adopt an ordinance within the period required by law, an ordinance imposing a moratorium may not be adopted, and the temporary moratorium expires.

Written Findings Requirement

Section 212.135 of the Texas Local Government Code

City must issue written findings that include evidence demonstrating the estimated capacity of **existing essential public facilities is insufficient to support new property development**. City must identify the following:

- Any essential public facilities currently operating near, at, or beyond capacity. Essential public facilities is defined by state law as **water, sewer, drainage facilities or street improvements**;
- The portion of that capacity committed to the development subject to the moratorium; and
- Evidence demonstrating that the moratorium is reasonably limited to areas of the city or ETJ where a shortage of essential public facilities would otherwise occur; and property that has not been approved for development because of the lack of existing essential public facilities.

A moratorium that is not based on a shortage of essential public facilities is justified only by **demonstrating a significant need for other public facilities**, including police and fire facilities. A significant need for public facilities is established if the failure to provide those public facilities would be detrimental to the health, safety, and welfare of the residents of the City. Written findings must be issued by the City which includes:

- Evidence demonstrating that applying existing development ordinances or regulations is inadequate to prevent the new development from causing the overcapacity of municipal infrastructure or being detrimental to the public health, safety, and welfare in an affected geographical area;
- Evidence demonstrating that alternative methods of achieving the objectives of the moratorium are unsatisfactory; and
- Evidence demonstrating that the city has a **Council approved** plan and time schedule for achieving the objectives of the moratorium.

If the City were to adopt a moratorium after complying with the above stated procedures, the moratorium would **not apply to any existing developments that were submitted to the City prior to the temporary moratorium going into effect**. Once the moratorium goes into effect, the duration cannot exceed 120 days unless extended by holding an additional public hearing and making additional written findings as to why the moratorium should be extended. Moreover, state law also requires the city to allow for a waiver process for any applicant who wishes to proceed with development once the moratorium is adopted.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ENACTING A TEMPORARY MORATORIUM STAYING THE ACCEPTANCE AND PROCESSING OF SUBDIVISION PLAT APPLICATIONS IN THE CITY OF ROCKWALL'S EXTRATERRITORIAL JURISDICTION; PROVIDING FOR FINDINGS OF FACT; PROVIDING FOR DEFINITIONS; PROVIDING FOR APPLICABILITY, PURPOSE, ENACTMENT, DURATION, EXTENSION, EXCEPTIONS AND EXEMPTIONS, DETERMINATION, AND APPEALS; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR REMEDIES; PROVIDING FOR CONFLICTS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, in conformance with Chapter 242, *Authority of Municipality and County to Regulate Subdivisions In and Outside Municipality's Extraterritorial Jurisdiction*, of the Texas Local Government Code the City of Rockwall has entered into an agreement (the *Interlocal Agreement*) with Rockwall County for the processing and review of subdivision plats in the City of Rockwall's Extraterritorial Jurisdiction (ETJ); and

WHEREAS, *Exhibit 'A', Unified Regulations for Review of Plats in ETJ of City of Rockwall*, of the *Interlocal Agreement* provides the review criteria for subdivision plats in the Extraterritorial Jurisdiction (ETJ); and

WHEREAS, in accordance with the *Terms of Agreement* of the *Interlocal Agreement*, Rockwall County notified the City of Rockwall in writing on October 23, 2019 requesting to make changes to *Exhibit 'A'* of the *Interlocal Agreement* for the purpose of addressing changes in the *Subdivision Regulations* of Rockwall County; and

WHEREAS, the City of Rockwall finds that subdivision plats are a necessary mechanism to ensure that proper public facilities, infrastructure, drainage, and fire protection can be provided to support future development within the City's Extraterritorial Jurisdiction (ETJ), and to protect the health, safety, natural environment, quality of life, and general welfare of Rockwall County residents; and

WHEREAS, the City of Rockwall finds that the issues identified by Rockwall County contained in the *Interlocal Agreement* leave the City without sufficient review criteria to effectively review subdivision plats for property in the City's Extraterritorial Jurisdiction (ETJ), and that the agreement no longer adequately addresses the subdivision of land and the provision of adequate public facilities needed by citizens of Rockwall County; and

WHEREAS, in order for the City of Rockwall and Rockwall County to have adequate and reasonable time to review, evaluate, and revise and approve the *Interlocal Agreement*, and to consider the impact of the review criteria for subdivision plats -- *contained in Exhibit 'A' of the agreement* -- on the provision of adequate public facilities, infrastructure, drainage, and fire protection for future developments within the City's Extraterritorial Jurisdiction (ETJ), the City intends on imposing a temporary moratorium lasting for a period of 90-days for commercial property and 120-days for residential property, during which no applications for subdivision plats in the City of Rockwall's Extraterritorial Jurisdiction (ETJ) will be accepted; and

WHEREAS, the purpose of prohibiting subdivision plat applications for commercial and residential property in the City's Extraterritorial Jurisdiction (ETJ) during this temporary moratorium is to preserve the *status quo*, facilitate thoughtful and consistent planning, avoid exploitation of the delays inherent in the municipal legislative process, and prevent applications from undermining the effectiveness of the revised review criteria by submitting a subdivision plat to avoid the application of new -- *and possibly more restrictive* -- *Interlocal Agreement*.

WHEREAS, in recognition of the importance of subdivision plats in the City of Rockwall's Extraterritorial Jurisdiction (ETJ) to property owners in this area, the City desires to implement this moratorium for a stated and fixed time period, and to include an exception and exemption clause -- *in accordance with Subchapter E of Chapter 212 of the Texas Local Government Code* -- to facilitate subdivision plat approval in cases of necessity and undue hardship; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the City Council of the City of Rockwall, in compliance with the laws of the State of Texas have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all persons interested in and situated in the affected area and in the vicinity thereof, the City Council in the exercise of its legislative discretion has concluded that a moratorium on residential and commercial development for property in the City's Extraterritorial Jurisdiction (ETJ) is necessary and in the interest of good governance, and ultimately in the best interest of the City of Rockwall;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. Findings of Fact. The foregoing recitals are incorporated into this ordinance by reference as legislative findings of fact as if expressly set forth herein.

SECTION 2. Definitions. As used in this ordinance, the following terms are defined. Any term appearing in this ordinance that is not specifically defined below shall have the meanings provided in the Municipal Code of Ordinances for the City of Rockwall, or if not defined in this document then the common meaning of the word shall apply.

- (1) Commercial Property. Commercial property is defined as any property that is being platted for the purpose of authorizing any land use other than single-family or agricultural land uses (e.g. multi-family, industrial, commercial, etc.).
- (2) Proper Public Facilities. Unless otherwise indicated in this ordinance, proper public facilities shall be defined as meaning water, wastewater or sewer, drainage facilities, street improvements, and fire and police protection.
- (3) Residential Property. Residential property is defined as any property that is being platted for the purpose of authorizing single-family and agricultural land uses.

SECTION 3. Applicability. The City of Rockwall hereby enacts this ordinance in order to impose a temporary moratorium on the acceptance and processing of subdivision plats in the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

SECTION 4. Purpose. This temporary moratorium is being enacted to allow the City of Rockwall and Rockwall County to evaluate the *Interlocal Agreement* and to update the review criteria for subdivision plats contained in *Exhibit 'A'* of the agreement.

SECTION 5. Enactment. The City of Rockwall hereby enacts this ordinance implementing a temporary moratorium on the City of Rockwall acceptance, review, and approval of subdivision plats in the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

SECTION 6. Duration. The initial duration of this temporary moratorium shall be for a period not to exceed 90-days for commercial properties and not to exceed 120-days for residential properties after the approval and adoption of this ordinance, or the repeal of this ordinance by the City Council of the City of Rockwall, whichever occurs first.

SECTION 7. Exceptions and Exemptions. The following projects shall be considered for exceptions and exemptions from the moratorium:

- (1) Exceptions.

- (A) No Impact Projects. The temporary moratorium implemented by this ordinance does not apply to subdivision plat applications proposing to assemble or subdivide residential property into two (2) or less lots where each lot is a minimum of 1½-acres gross area and has a minimum of 150-feet of frontage on a public right-of-way.
 - (B) Ongoing Projects. The temporary moratorium implemented by this ordinance does not apply to any commercial or residential property that has an active subdivision plat application with the City of Rockwall or Rockwall County that has not expired in accordance with the rules and requirements of Rockwall County, the City of Rockwall, or the Texas Local Government Code.
 - (C) Vested Projects. The temporary moratorium implemented by this ordinance does not apply to any commercial or residential property that are vested under Chapter 245, *Issuance of Local Permits*, of the Texas Local Government Code. Property owners asserting vested rights shall submit an application claiming an exception to this temporary moratorium to the Planning and Zoning Department of the City of Rockwall for review in accordance with the requirements of the current *Interlocal Agreement*.
- (2) Exemptions. Any property owner who does not assert rights under Chapter 245, *Issuance of Local Permits*, of the Texas Local Government Code, but who seeks authorization to proceed with a subdivision plat outside of the exceptions listed in this ordinance and during the temporary moratorium can request the following alternative forms of approval:
- (A) 212 Development Agreement. Property owners with a negotiated approval granted by the City Council that provides for construction standards, platting and development rules pursuant to Subchapter G, *Agreement Governing Certain Land in a Municipality's Extraterritorial Jurisdiction*, Chapter 212, *Regulations of Subdivisions*, of the Texas Local Government Code may apply for an exemption from the temporary moratorium.

SECTION 8. Determination and Appeals.

- (1) Determinations. The Director of Planning and Zoning or his/her designee shall make all initial determinations regarding the status of all projects seeking to submit a subdivision plat application during this temporary moratorium concerning the status of a project as provided for above in the *Exceptions and Exemptions* section of this ordinance.
- (2) Appeals. Property owners seeking to challenge a determination made by the Director of Planning and Zoning may appeal that initial determination to the City Manager. Secondary determinations of the City Manager may be appealed to the City Council. The City Council's decision shall be final.
- (3) Exemptions. The decision to approve an *Exemption* as provided for above in the *Exceptions and Exemptions* section of this ordinance shall rest solely with the City Council.

SECTION 9. Ordinances Cumulative. All ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby superseded to the extent of that conflict.

SECTION 10. Severability. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Subdivision Regulations of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 11. Effective Date. This ordinance shall take effect immediately.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS
THE 8TH DAY OF NOVEMBER, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 4, 2019

2nd Reading: November 8, 2019



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: October 29, 2019
SUBJECT: MIS2019-004; *Master Water/Wastewater Plan Update*

Recently, the City's consultant -- *Birkhoff, Hendricks & Carter LLP* -- finished revising the water and wastewater master plans. These plans were incorporated into the OURHometown Vision 2040 Comprehensive Plan on December 3, 2018 by *Ordinance No. 18-48*. As a result of their incorporation, staff is bringing forward an amendment to the Comprehensive Plan to incorporate the revisions identified by the City's consultants. According to Section 213.003 of the Texas Local Government Code, "(a) comprehensive plan may be adopted or amended by ordinance following:

- (1) *A hearing at which the public is given the opportunity to give testimony and present written evidence; and*
- (2) *Review by the municipality's planning commission or department, if one exists."*

Additionally, Section 9.03 of the City's Home Rule Charter states that "(r)ecommended changes to the Master Plan shall be submitted to the City Manager after the Planning and Zoning Commission holds at least one public hearing on the proposed change." Furthermore, Section 9.04 states that the "City Manager shall submit the proposed changes to the Council, together with any recommendations. The Council, after a public hearing, shall adopt or reject such proposed revision or any part thereof as submitted within sixty (60) days following its submission by the City Manager. If the proposed revision or part thereof should be rejected by the Council, the Planning and Zoning Commission may make modifications and again forward it to the City Manager for submission to the Council."

The projected meeting dates for this case are as follows:

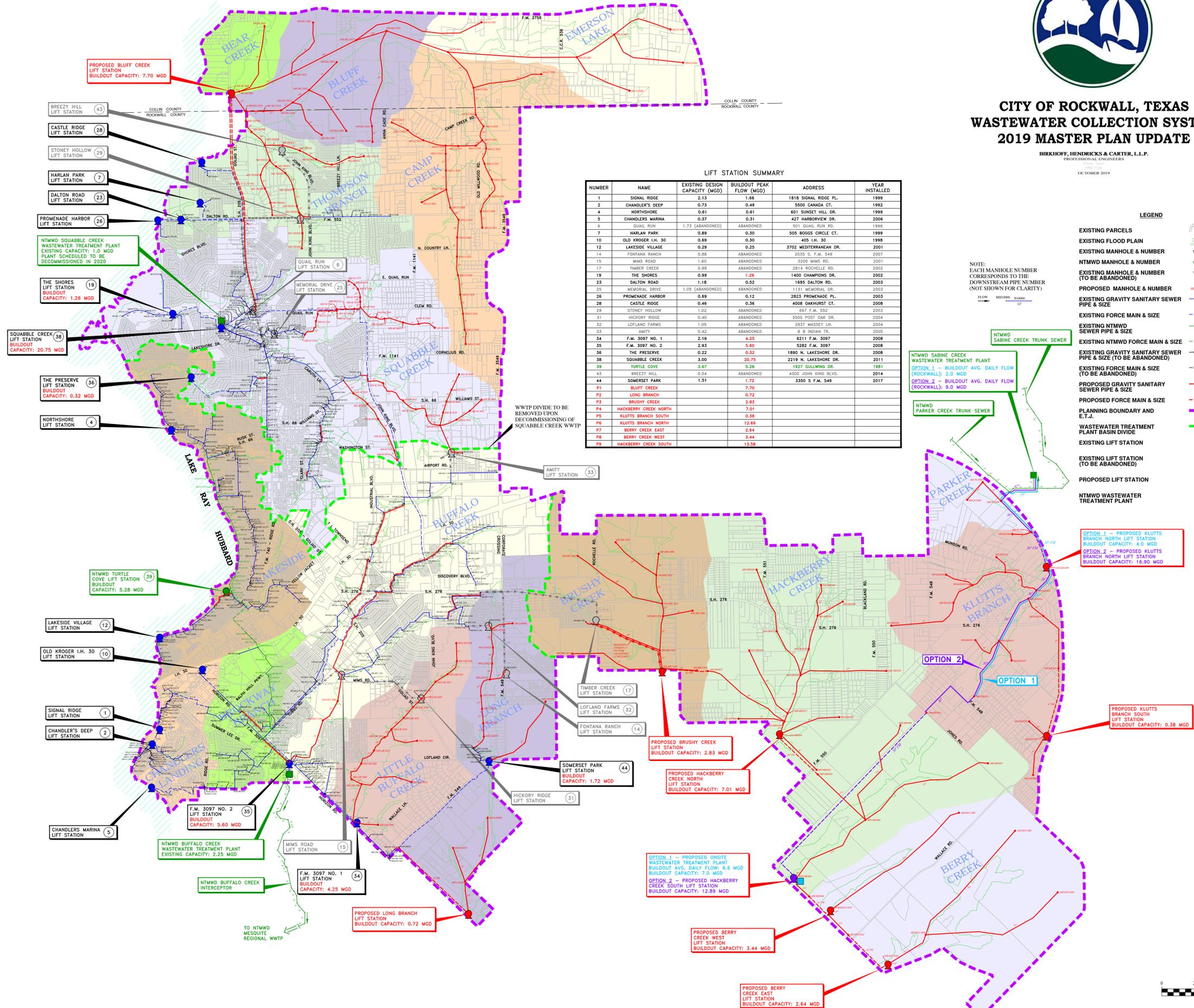
Planning and Zoning Commission Work Session: October 29, 2019
Planning and Zoning Commission Public Hearing: November 12, 2019
City Council Public Hearing/1st Reading: November 18, 2019
City Council 2nd Reading: December 2, 2019.

Should the Planning and Zoning Commission have any question concerning the amendment, staff will be available at the October 29, 2019 work session meeting.



CITY OF ROCKWALL, TEXAS WASTEWATER COLLECTION SYSTEM 2019 MASTER PLAN UPDATE

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
OCTOBER 2019



LIFT STATION SUMMARY

NUMBER	NAME	EXISTING DESIGN CAPACITY (MGD)	BUILDOUT PEAK FLOW (MGD)	ADDRESS	YEAR INSTALLED
1	SIGNAL RIDGE	2.13	1.66	1816 SIGNAL RIDGE PL.	1999
2	CHANDLER'S DEEP	0.75	0.49	5500 CANADA CT.	1992
4	NORTHSHORE	0.61	0.61	801 SUNSET HILL DR.	1999
5	CHANDLERS MARINA	0.37	0.31	427 HARBOURVIEW DR.	2006
6	QUAIL RUN	1.73 (ABANDONED)	ABANDONED	501 QUAIL RUN RD.	1996
7	HARLAN PARK	0.89	0.30	505 BOGGS CIRCLE CT.	1999
10	OLD KROGER I.H. 30	0.69	0.36	405 I.H. 30	1998
12	LAKEVIEW VILLAGE	0.29	0.25	3792 MEDITERRANEAN DR.	2001
14	FONTANA RANCH	0.88	ABANDONED	2035 S. F.M. 549	2007
15	MIMS ROAD	1.60	ABANDONED	3200 MIMS RD.	2001
17	TIMBER CREEK	0.98	ABANDONED	2814 ROCHELLE RD.	2002
19	THE SHORES	0.99	1.28	1400 CHAMPIONS DR.	2002
23	DALTON ROAD	1.18	0.52	1695 DALTON RD.	2003
25	MEMORIAL DRIVE	1.05 (ABANDONED)	ABANDONED	1131 MEMORIAL DR.	2003
26	PROMENADE HARBOR	0.69	0.12	2823 PROMENADE PL.	2003
28	CASTLE RIDGE	0.46	0.36	4008 OAKHURST CT.	2008
29	STONEY HOLLOW	1.02	ABANDONED	597 F.M. 552	2003
31	HICKORY RIDGE	0.40	ABANDONED	3500 POST OAK DR.	2004
32	LOFLAND FARMS	1.05	ABANDONED	2837 MASSEY LN.	2004
33	AMITY	0.42	ABANDONED	8 B INDIAN TR.	2005
34	F.M. 3097 NO. 1	2.16	4.25	6211 F.M. 3097	2008
35	F.M. 3097 NO. 2	2.93	5.60	5282 F.M. 3097	2008
36	THE PRESERVE	0.22	0.32	1890 N. LAKESHORE DR.	2008
38	SQUABBLE CREEK	3.00	20.75	2219 N. LAKESHORE DR.	2011
39	TURTLE COVE	3.67	3.28	1927 GULLWING DR.	1981
43	BREEZY HILL	0.54	ABANDONED	4300 JOHN KING BLVD.	2014
44	SOMERSET PARK	1.51	1.72	3350 S.F.M. 549	2017
P1	BLUFF CREEK		7.70		
P2	LONG BRANCH		0.72		
P3	BRUSHY CREEK		2.83		
P4	HACKBERRY CREEK NORTH		7.01		
P5	KLUTTS BRANCH SOUTH		0.38		
P6	KLUTTS BRANCH NORTH		12.69		
P7	BERRY CREEK EAST		2.44		
P8	BERRY CREEK WEST		3.44		
P9	HACKBERRY CREEK SOUTH		13.58		

- LEGEND**
- EXISTING PARCELS
 - EXISTING FLOOD PLAIN
 - EXISTING MANHOLE & NUMBER
 - NTMWD MANHOLE & NUMBER
 - EXISTING MANHOLE & NUMBER (TO BE ABANDONED)
 - PROPOSED MANHOLE & NUMBER
 - EXISTING GRAVITY SANITARY SEWER PIPE & SIZE
 - EXISTING FORCE MAIN & SIZE
 - EXISTING NTMWD SEWER PIPE & SIZE
 - EXISTING NTMWD FORCE MAIN & SIZE
 - EXISTING GRAVITY SANITARY SEWER PIPE & SIZE (TO BE ABANDONED)
 - EXISTING FORCE MAIN & SIZE (TO BE ABANDONED)
 - PROPOSED GRAVITY SANITARY SEWER PIPE & SIZE
 - PROPOSED FORCE MAIN & SIZE
 - PLANNING BOUNDARY AND E.T.J.
 - WASTEWATER TREATMENT PLANT BASIN DIVIDE
 - EXISTING LIFT STATION
 - EXISTING LIFT STATION (TO BE ABANDONED)
 - PROPOSED LIFT STATION
 - NTMWD WASTEWATER TREATMENT PLANT

NOTE: EACH MANHOLE NUMBER CORRESPONDS TO THE DOWNSSTREAM PIPE NUMBER (NOT SHOWN FOR CLARITY)

NTMWD SABINE CREEK TRUNK SEWER
NTMWD SABINE CREEK WASTEWATER TREATMENT PLANT
OPTION 1 - BUILDOUT AVG. DAILY FLOW (ROCKWALL): 2.0 MGD
OPTION 2 - BUILDOUT AVG. DAILY FLOW (ROCKWALL): 9.0 MGD
NTMWD PARKER CREEK TRUNK SEWER

OPTION 1 - PROPOSED KLUTTS BRANCH NORTH LIFT STATION
BUILDOUT CAPACITY: 4.0 MGD
OPTION 2 - PROPOSED KLUTTS BRANCH NORTH LIFT STATION
BUILDOUT CAPACITY: 16.50 MGD

PROPOSED KLUTTS BRANCH SOUTH LIFT STATION
BUILDOUT CAPACITY: 0.38 MGD

PROPOSED BRUSHY CREEK LIFT STATION
BUILDOUT CAPACITY: 2.83 MGD

PROPOSED HACKBERRY CREEK NORTH LIFT STATION
BUILDOUT CAPACITY: 7.01 MGD

OPTION 1 - PROPOSED ONSITE WASTEWATER TREATMENT PLANT
BUILDOUT AVG. DAILY FLOW: 6.6 MGD
BUILDOUT CAPACITY: 7.0 MGD
OPTION 2 - PROPOSED HACKBERRY CREEK SOUTH LIFT STATION
BUILDOUT CAPACITY: 12.69 MGD

PROPOSED BERRY CREEK WEST LIFT STATION
BUILDOUT CAPACITY: 3.44 MGD

PROPOSED BERRY CREEK EAST LIFT STATION
BUILDOUT CAPACITY: 2.64 MGD

PROPOSED LONG BRANCH LIFT STATION
BUILDOUT CAPACITY: 0.72 MGD

F.M. 3097 NO. 2 LIFT STATION
BUILDOUT CAPACITY: 5.60 MGD

F.M. 3097 NO. 1 LIFT STATION
BUILDOUT CAPACITY: 4.25 MGD

NTMWD TURTLE COVE LIFT STATION
BUILDOUT CAPACITY: 5.28 MGD

LAKEVIEW VILLAGE LIFT STATION

OLD KROGER I.H. 30 LIFT STATION

SIGNAL RIDGE LIFT STATION

CHANDLER'S DEEP LIFT STATION

CHANDLERS MARINA LIFT STATION

NTMWD BUFFALO CREEK WASTEWATER TREATMENT PLANT
EXISTING CAPACITY: 2.25 MGD

NTMWD BUFFALO CREEK INTERCEPTOR

TO NTMWD MESQUITE REGIONAL WWTP

WWTP DIVIDE TO BE REMOVED UPON DECOMMISSIONING OF SQUABBLE CREEK WWTP

AMITY LIFT STATION

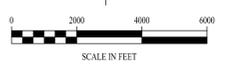
TIMBER CREEK LIFT STATION

LOFLAND FARMS LIFT STATION

FONTANA RANCH LIFT STATION

SOMERSET PARK LIFT STATION

HICKORY RIDGE LIFT STATION



CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ADOPTING REVISIONS TO THE MASTER WATER PLAN AND THE MASTER WASTEWATER PLAN CONTAINED IN THE OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN IN ACCORDANCE WITH THE CITY'S HOME RULE CHARTER.

WHEREAS, the *Home Rule Charter* of the City of Rockwall, Texas, states that the Comprehensive Plan will contain recommendations for the growth, development and beautification of the City and its Extraterritorial Jurisdiction (ETJ); and

WHEREAS, the City Council of the City of Rockwall has previously authorized a study to update the Comprehensive Plan, also referred to as the Master Plan; and

WHEREAS, the citizens of the City of Rockwall were involved in the development of the Comprehensive Plan through participation in a citizen action committee (*i.e. the Comprehensive Plan Advisory Committee [CPAC]*) and public meetings; and

WHEREAS, the OURHometown Vision 2040 Comprehensive Plan was adopted by the City Council of the City of Rockwall on December 3, 2019 by *Ordinance No. 18-43*; and

WHEREAS, the Comprehensive Plan shall serve as a guide to all future City Council action concerning land use and development regulations, and expenditures for capital improvements; and

WHEREAS, the Water/Wastewater Master Plans are updated on a five (5) year basis and the City Council of the City of Rockwall authorized Brickoff, Hendricks & Cater, LLP to perform the update; and

WHEREAS, Section 213.003, *Adoption or Amendment of Comprehensive Plan*, of Chapter 213, *Municipal Comprehensive Plans*, of the *Texas Local Government Code* states that the adoption of or amendment to a Comprehensive Plan requires a hearing at which the public is given the opportunity to give testimony and present written evidence, and as required by the *Home Rule Charter of the City of Rockwall* a public hearing has been held on the proposed revisions to the Comprehensive Plan, and the governing body -- *in the exercise of its legislative discretion* -- has concluded that the Comprehensive Plan should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Master Water Plan and Master Wastewater Plan contained within *Appendix 'C'* of the OURHometown Vision 2040 Comprehensive Plan be amended as depicted in *Exhibit 'A'* of this ordinance; and

Section 2. The Comprehensive Plan shall be used by City Staff in planning and as a guide for future development of the City of Rockwall; and,

Section 3. This ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF DECEMBER, 2019.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: November 18, 2019

2nd Reading: December 2, 2019

City of Rockwall Project Plan Review History



Project Number P2019-040	Owner SAUCEDO, RAUL &	Applied 10/18/2019	LM
Project Name Lot 1&2, Block A, Haley & Kyle Addition	Applicant HALFF ASSOCIATES	Approved	
Type PLAT		Closed	
Subtype FINAL		Expired	
Status Staff Review		Status	
 Site Address 501 S CLARK ST		City, State Zip ROCKWALL, TX 75087	
 Subdivision CLARK STREET HOMESITE		Tract A	Block 107
		Lot No A	Parcel No 3140-0107-0000-A0-OR
			General Plan
			Zoning

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/18/2019	10/25/2019	10/22/2019	4	APPROVED	
ENGINEERING	Sarah Johnston	10/18/2019	10/25/2019	10/24/2019	6	COMMENTS	(10/24/2019 4:47 PM SJ) M - Add note, "Property owner is responsible for maintaining, repairing, or replacing any drainage system/drainway in drainage easement." M - Add a 10' utility easement along S Clark St frontage. M - The existing Harris plat shows the lots to be 120' deep. Are you combining with the B.F. Boydston Survey? M - Must show the drainage Easement for floodplain defined per section 3.2.7 of standards. M - Need to show 100-YR floodplain of squabble creek along with X-sections and 100-YR WSEL. M - Will need topographic survey and contours to determine exact location of floodplain live to determine easement.
FIRE	Ariana Hargrove	10/18/2019	10/25/2019	10/24/2019	6	APPROVED	
GIS	Lance Singleton	10/18/2019	10/25/2019	10/22/2019	4	APPROVED	
PLANNING	Korey Brooks	10/18/2019	10/25/2019	10/24/2019	6	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2019-040; Replat for Lots 1 & 2, Block A, Haley & Kyle Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2019-040) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 This request is considered to be a complete application.						
M.6 Replat. Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please provide Point of Beginning						
2) Please review title block and legal description. Is this a replat of Lot A, Block 107, B.F. Boydston Addition?						
3) Please add "7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements."						
4) Please show topography lines on this plat.						
I.7 Please note that failure to address all comments provided by staff by noon on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; The Park Board Meeting for this case is November 5, 2019. The Planning & Zoning Meeting November 12, 2019. The City Council Meeting is November 18, 2019.						

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS KYLE BRYAN and HALEY BROOKE BOWEN, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that 0.97 acres tract of land as described in a Warranty deed from Mario Del Bosque to Kyle Bryan and Haley Brooke Bowen, dated May 19, 2019 and being recorded in Document no. 2019000007530 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the East right-of-way line of Clark Street (60' R.O.W.) at the Southwest corner of the above cited tract of land, said point also being at the Northwest corner of a 0.52 acres tract of land as described in a Contract for deed to David Lecour and Renee Lecour, dated January 15, 1999 and being recorded in Volume 1821, Page 207 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 19 min. 59 sec. W. along said right-of-way line, a distance of 150.00 feet to a 1/2" iron rod found for corner at the Northwest corner of said Bryan and Bowen tract and at the southwest corner of Lot 2, Block 1, Clark Street Homesites Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 41 of the Plat Records of Rockwall County, Texas;

THENCE N. 88 deg. 38 min. 00 sec. E. a distance of 283.36 feet to a 1/2" iron rod found for corner at the Northeast corner of said Bryan and Bowen tract;

THENCE S. 00 deg. 39 min. 40 sec. E. a distance of 150.04 feet to a 1/2" iron rod found for corner at the Northeast corner of said Lecour tract;

THENCE S. 88 deg. 38 min. 21 sec. W. a distance of 281.60 feet to the POINT OF BEGINNING and containing 42,375 square feet or 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as HALEY & KYLE ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

KYLE BRYAN _____

HALEY BROOKE BOWEN _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared KYLE BRYAN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared HALEY BROOKE BOWEN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of KYLE & HALEY ADDITION, LOTS 1 & 2, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer

Date

FINAL PLAT
HALEY & KYLE ADDITION
LOTS 1 & 2, BLOCK A
0.97 ACRES OR 42,375 S.F.
(2 LOTS)
B.F. BOYDSTON SURVEY
ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND									
⊗	TV	⊗	GAS	⊗	TEL	⊗	FI	⊗	FP
⊗	TELEVISION	⊗	SAL	⊗	PROSE	⊗	FI	⊗	POWER
⊗	CABLE	⊗	METER	⊗	METER	⊗	HYDRANT	⊗	WELL
⊗	ELEC.	⊗	ELEC.	⊗	WY	⊗	LP	⊗	1/2" BE FOUND
⊗	ELECTRIC	⊗	BOX	⊗	METER	⊗	LIGHT	⊗	1/2" BE FOUND
⊗	METER	⊗	JUNCTION	⊗	BOX	⊗	WOLE	⊗	1/2" BE FOUND
⊗	WELL	⊗	EASEMENT	⊗	LINE	⊗	A/C	⊗	PREPARE
⊗	FENCE	⊗	LINE	⊗	UNIT	⊗	PREPARE	⊗	PAV.

OWNER:
KYLE BRYAN &
HALEY BROOKE BOWEN
401 E. KAUFMAN STREET
ROCKWALL, TEXAS 75087

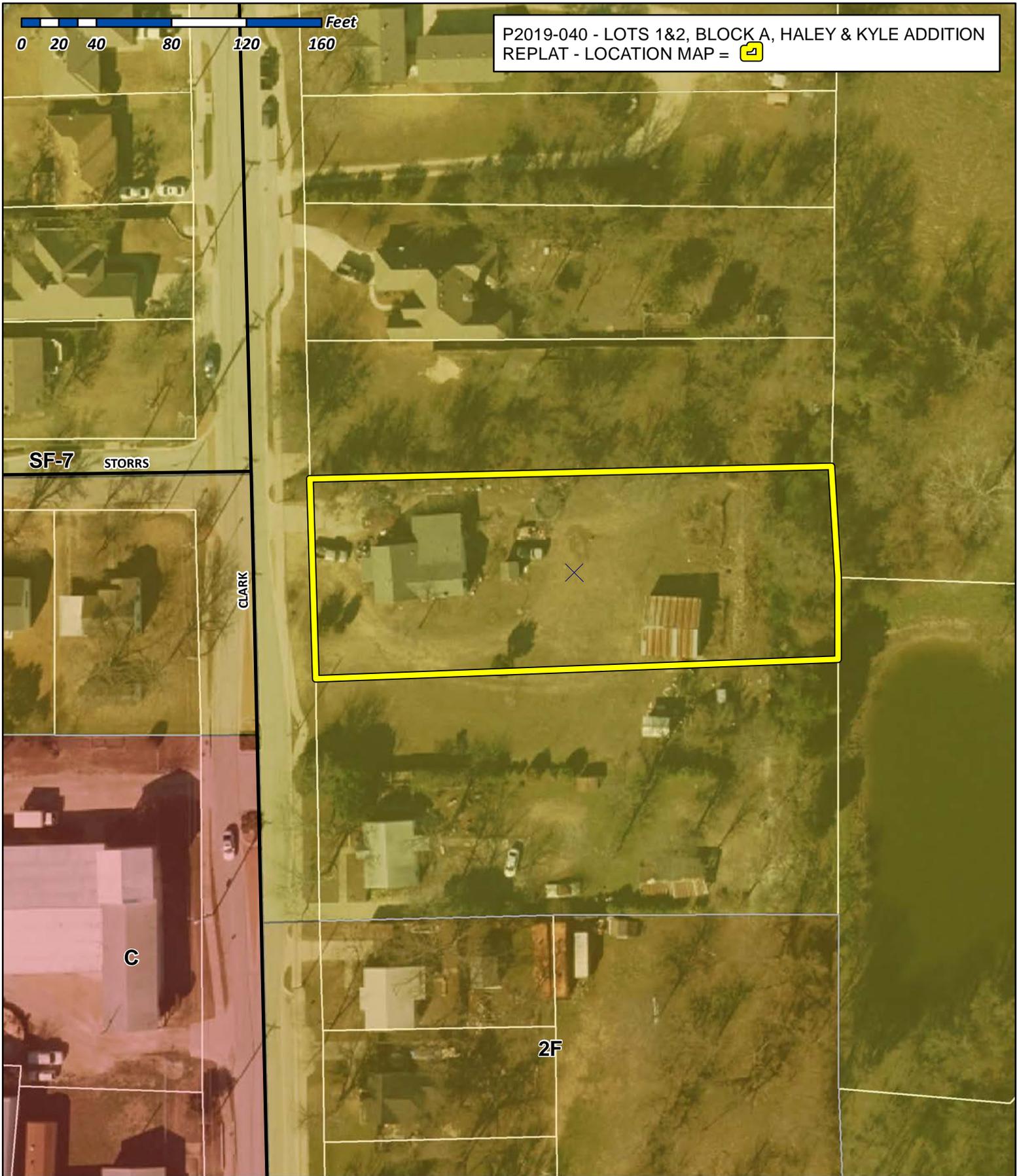
H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 18, 2019
SCALE 1" = 30' FILE # 20190322-FP
CLIENT BOWEN

0 20 40 80 120 160 Feet

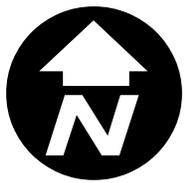
P2019-040 - LOTS 1&2, BLOCK A, HALEY & KYLE ADDITION
REPLAT - LOCATION MAP = 



City of Rockwall

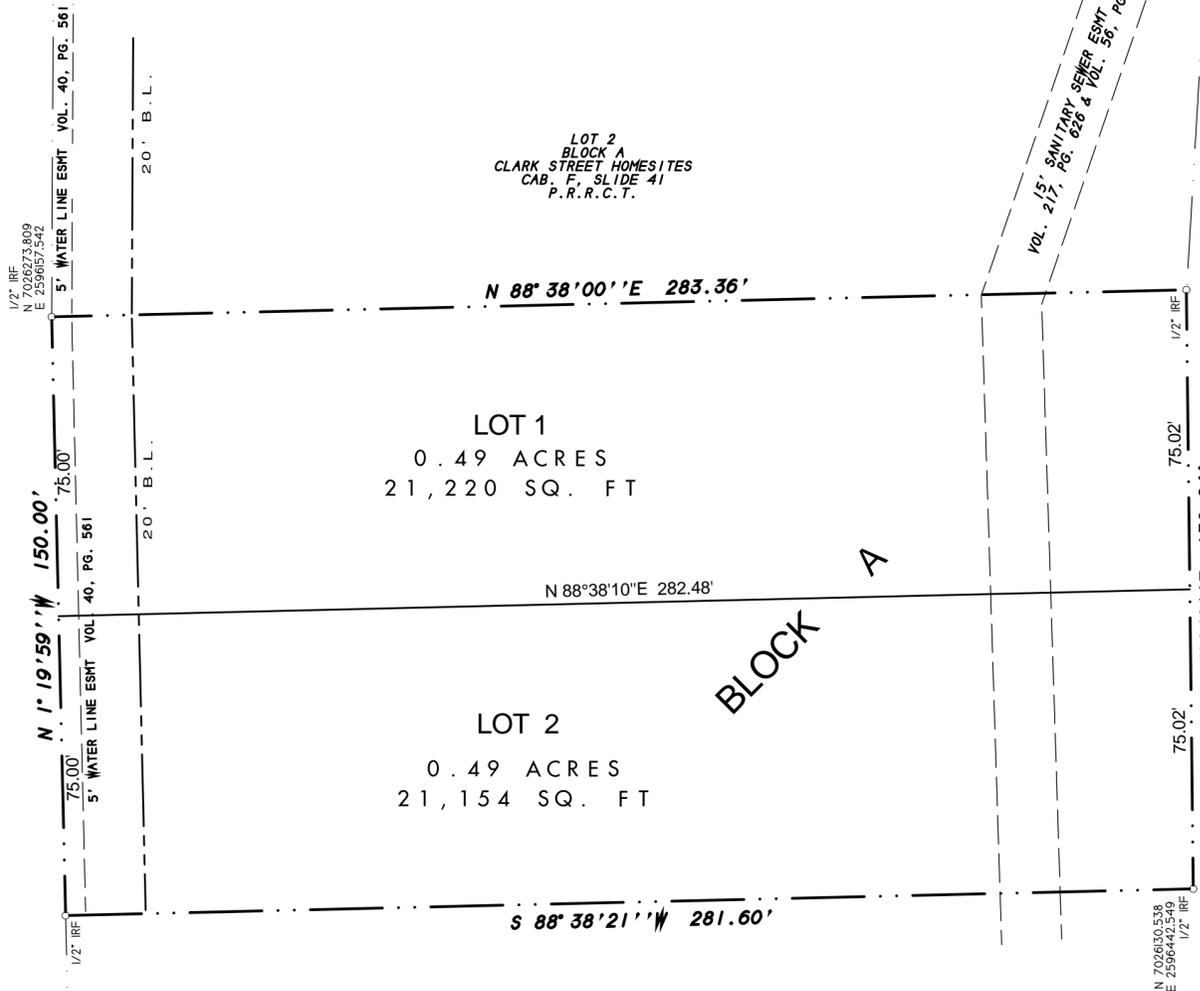
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



S. CLARK STREET

60' R.O.W



LOT 2
BLOCK A
CLARK STREET HOMESITES
CAB. F. SLIDE 41
P.R.R.C.T.

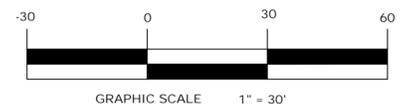
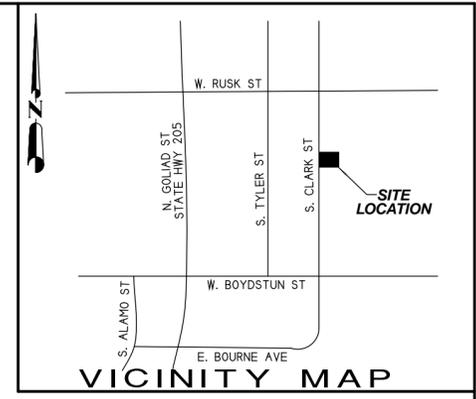
LOT 1
0.49 ACRES
21,220 SQ. FT

LOT 2
0.49 ACRES
21,154 SQ. FT

0.52 ACRES
DAVID LACOUR
RENEE LACOUR
VOL. 1821, PG. 207
R.P.R.C.T.

VOL. 217, PG. 620 & VOL. 50, PG. 13
SANITARY SEWER ESMT

3.98 ACRES
CLARENCE SAMPLES
VOL. 16, PG. 198
R.P.R.C.T.



FINAL PLAT
HALEY & KYLE ADDITION
LOTS 1 & 2, BLOCK A
0.97 ACRES OR 42,375 S.F.
(2 LOTS)
B.F. BOYSTON SURVEY
ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
 - 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

OWNER:
KYLE BRYAN &
HALEY BROOKE BOWEN
401 E. KAUFMAN STREET
ROCKWALL, TEXAS 75087

SHEET 1 OF 2

SYMBOL LEGEND	
TV	TELEVISION
⊗	CABLE RISER
⊕	GAS
⊖	ELEC. METER
⊙	ELEC. BOX
⊚	ELECTRIC JUNCTION BOX
⊛	PHONE RISER
⊜	PHONE METER
⊝	LP
⊞	METS
⊟	WATER METER
⊠	1/2" IRS
⊡	BOX AND FOUND CORNER
⊢	1/2" IRS
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⊪	1/2" IRS
⊫	

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS KYLE BRYAN and HALEY BROOKE BOWEN, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that 0.97 acres tract of land as described in a Warranty deed from Mario Del Bosque to Kyle Bryan and Haley Brooke Bowen, dated May 19, 2019 and being recorded in Document no. 2019000007530 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the East right-of-way line of Clark Street (60' R.O.W.) at the Southwest corner of the above cited tract of land, said point also being at the Northwest corner of a 0.52 acres tract of land as described in a Contract for deed to David Lecour and Renee Lecour, dated January 15, 1999 and being recorded in Volume 1821, Page 207 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 19 min. 59 sec. W. along said right-of-way line, a distance of 150.00 feet to a 1/2" iron rod found for corner at the Northwest corner of said Bryan and Bowen tract and at the southwest corner of Lot 2, Block 1, Clark Street Homesites Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 41 of the Plat Records of Rockwall County, Texas;

THENCE N. 88 deg. 38 min. 00 sec. E. a distance of 283.36 feet to a 1/2" iron rod found for corner at the Northeast corner of said Bryan and Bowen tract;

THENCE S. 00 deg. 39 min. 40 sec. E. a distance of 150.04 feet to a 1/2" iron rod found for corner at the Northeast corner of said Lecour tract;

THENCE S. 88 deg. 38 min. 21 sec. W. a distance of 281.60 feet to the POINT OF BEGINNING and containing 42,375 square feet or 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as HALEY & KYLE ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

KYLE BRYAN _____

HALEY BROOKE BOWEN _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared KYLE BRYAN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared HALEY BROOKE BOWEN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of KYLE & HALEY ADDITION, LOTS 1 & 2, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____

City Secretary City of Rockwall _____

City Engineer _____

Date _____

FINAL PLAT
HALEY & KYLE ADDITION
LOTS 1 & 2, BLOCK A
0.97 ACRES OR 42,375 S.F.
(2 LOTS)
B.F. BOYDSTON SURVEY
ABSTRACT NO. 14
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND									
⊗	TV	⊗	GAS	⊗	TEL	⊗	FI	⊗	PP
⊗	TELEVISION	⊗	SAL	⊗	PROSE	⊗	FI	⊗	POWER
⊗	CABLE	⊗	METER	⊗	METER	⊗	HYDRANT	⊗	WELL
⊗	ELEC.	⊗	ELEC.	⊗	WY	⊗	LP	⊗	1/2" BE FOUND
⊗	ELECTRIC	⊗	BOX	⊗	METER	⊗	LIGHT	⊗	1/2" BE FOUND
⊗	METER	⊗	JUNCTION	⊗	BOX	⊗	WOLE	⊗	1/2" BE FOUND
⊗	WELL	⊗	EASEMENT	⊗	LINE	⊗	A/C	⊗	PREPARE
⊗	FENCE	⊗	LINE	⊗	UNIT	⊗	UNIT	⊗	PAVING

OWNER:
KYLE BRYAN &
HALEY BROOKE BOWEN
401 E. KAUFMAN STREET
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 18, 2019
SCALE 1" = 30' FILE # 20190322-FP
CLIENT BOWEN

City of Rockwall Project Plan Review History



Project Number SP2019-037
Project Name Ridge Road Retail Center
Type SITE PLAN
Subtype
Status P&Z HEARING

Owner HUGHES, ROBERT J & PATRICK HUGHES &
Applicant CARILLO ENGINEERING, LLC

Revised Plan Submittal - Address Staff
Comments that are Highlighted

Applied 9/13/2019 KB
Approved
Closed
Expired
Status 9/20/2019 DG

Site Address
2930 RIDGE RD

City, State Zip
ROCKWALL, TX 75032

Zoning

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
MURPHY PLAZA ADDITION PH 2	26		26	4210-0000-0026-00-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	9/13/2019	9/20/2019	9/17/2019	4	APPROVED	
BUILDING	Russell McDowell	10/22/2019	10/29/2019	10/22/2019		APPROVED	
ENGINEERING	Sarah Johnston	9/13/2019	9/20/2019	9/20/2019	7	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/20/2019 11:07 AM SJ)						
M - Parking near the building to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19						
M - Must dimension the distance from the driveways to the nearest driveway on either side Standards of Design 2.6						
M - All fire lane radii to be 20' min. This may remove a parking space on the center aisle. Standards of Design 2.19						
M - Driveway radii to be 20' min. Standards of Design 2.19						
M - Dumpster and screening wall must be out of easements.						
M - No structures in easements. This includes retaining walls and footings. Standards of Design 6.4.1						
M - "Cemetery Road" will be named Glen Hill Way City Thoroughfare Map						
M - Must have a public access easement for the property across Glen Hill Way. Standards of Design 2.19						
M - Drive across Glen Hill Way must be tied in at a 90-degree angle. Standards of Design 2.8						
M - Glen Hill Way must have 30' radii onto Ridge Road. Standards of Design 2.8						
M - The existing fire hydrant must have a 20'x20' easement established. Standards of Design 5.3.1						
M - The new 8" water line in Glen Hill Way must connect to the existing 16" water line in Ridge Road. Water Master Plan						
M - Must show existing utilities and your planned service connections.						
M - No trees allowed in the ROW. Standards of Design 4.4						
I - Must meet City Standards						
I - 4% Inspection fee						
I - Impact fees						
I - Parking against the building to be 20'x9', all other to be 18'x9' minimum						
I - Minimum easement is 20' width						
I - Retaining walls 3' and over must be engineered						
I - All retaining walls to be rock or stone face. No smooth concrete walls.						
I - Dumpster to drain to oil/water separator or grease trap before entering the storm lines						
I - Concrete to have 6.5 sack mix/cy.						
I - No sand allowed under paving. Add note						
ENGINEERING	Sarah Johnston	10/24/2019	10/31/2019	10/25/2019	1	COMMENTS
(10/25/2019 10:20 AM SJ)						
M - Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4						
M - No structures in easements. This includes retaining walls and footings, dumpster, signs, and screening wall must be out of easements. Standards of Design 6.4.1						
M - Must add a 10' utility easement along Ridge Road frontage.						
M - Driveway spacing on Glen Hill Way is to be 100' from Ridge Road. You must request a variance of this standard from Council. Standards of Design 2.8						
I - Dumpster to drain to oil/water separator or grease trap before entering the storm lines.						
I - Must meet City Standards						
I - 4% Inspection fee						
I - Impact fees						
I - Parking against the building to be 20'x9', all other to be 18'x9' minimum						
I - Minimum easement is 20' width						
I - Retaining walls 3' and over must be engineered						
I - All retaining walls to be rock or stone face. No smooth concrete walls.						
I - Concrete to have 6.5 sack mix/cy.						
I - No sand allowed under paving. Add note						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	David Gonzales	10/24/2019	10/31/2019				
FIRE (9/20/2019 9:53 AM AA) FDC shall be: -facing and visible from the fire lane - within 100-feet of a fire hydrant - clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access - installed 18-48 inches above grade. (Ord 16-31)	Ariana Hargrove	9/13/2019	9/20/2019	9/20/2019	7	COMMENTS	
GIS (9/17/2019 10:12 AM LS) Cemetery Road is now called GLEN HILL WAY per ordinance 16-17 (3/7/2016)	Lance Singleton	9/13/2019	9/20/2019	9/17/2019	4	APPROVED	See comment
Parks Department	David Gonzales	10/24/2019	10/31/2019				VOIDED (DG 10/25/2019)
Parks Department (9/30/2019 4:10 PM DG) Travis Sales, Parks and Rec, provided the following comments: SP2019-037: Reviewed; 3" caliper trees on landscape plan need to be a minimum of 4" caliper Shrub locations not shown on plan 668 required mitigation 156 mitigated 512 to be mitigated	David Gonzales	9/13/2019	10/7/2019	9/30/2019	17	COMMENTS	See comments
PLANNING	David Gonzales	9/13/2019	9/20/2019	9/20/2019	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/20/2019 8:44 AM DG)						
SP2019-037; Site Plan for Ridge Road Retail Center (PD-32)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740].						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-037) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], Resolution No. 10-40 (Design Guideline of PD-32), and the Development Standards of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit.						
I.6 Provide Site Data Table on all revised plans (i.e. landscape, treescape, photometric, and site plan).						
I.7 Please relabel the proposed street section to Glen Hill Way (i.e. not Cemetery Road) on all revised plans (i.e. landscape, treescape, photometric, site plan).						
M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please relabel the street to Glen Hill Way (i.e. not Cemetery Road).						
2) Verify the building square footage. Indicates 7,025 SF. The SF for each unit = 7,195 SF.						
3) Please label a 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC).						
4) Will there be a dedicated 24-ft firelane in the parking lot? If so, please label.						
5) Remove the label "to be abandoned" underneath Cemetery Road.						
6) Is the chain link fence being removed? If so, please remove label from all other plans.						
7) Under the Construction Schedule legend, No. 7 indicates a detail for the dumpster enclosure is located on the building elevations. The detail was not provided.						
8) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required if not screened or reoriented.						
9) Parking for a retail (4,592 SF) and restaurant (2603 SF) uses requires as follows: A) Retail Facility - a minimum of one (1) parking space per 250-SF (i.e. 1:250 SF = 18 parking spaces) & B) Restaurant - a minimum of one (1) parking space per 100-SF (i.e. 1:100 SF = 26 parking spaces) of gross floor area. Based on these uses, the proposed 7,025 SF facility requires a minimum of 44 parking spaces. Approval of a variance to Section 5, Off-Street Parking Requirements, of Article VI, Parking and Loading is required by the Planning and Zoning Commission.						
10) The proposed parking lot has more than one (1) full row of parking (i.e. two rows of parking with a drive aisle) that is between the primary building façade and the right-of-way (i.e. Ridge Road) and requires a variance. (Subsection 6.02.D.2, Art. V, UDC).						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.9						<p>Dumpster Enclosure. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, Trash/Recycling Receptacles and Dumpster Enclosures. Trash/Recycling Enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building.</p> <p>1) Provide detail of dumpster meeting the Scenic Overlay District's minimum standard for height, materials, etc. (Sec. 6.02.D.7, Art. V, UDC)</p>
M.10						<p>Streetscape Plan. Please provide a streetscape plan that shows conformance to the requirements of Ordinance No 17-22. According to this ordinance the required streetscape plan shall include cut sheets and product specification sheets indicating the proposed products and a plan indicating the location of all the products.</p>
M.11						<p>Building Elevations. Resolution No. 10-40 lays out three (3) architectural styles (i.e. Tuscan, Traditional, and/or Transitional) that are acceptable within Planned Development District 32 (PD-32). The proposed building elevations do not appear to adhere to any of the recommended architectural styles</p>
M.12						<p>Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the submitted building elevations does not appear to have stone incorporated into the building's design. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).</p>
M.13						<p>Building Elevations. Please review the articulation formulas contained in Section 4.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).</p>
I.11						<p>Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Indicate all HVAC units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). 2) Please provide a detail for the parapet height to determine screening of RTUs. 3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage
M.14						<p>Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Please label a 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). 2) A minimum of two (2) canopy and four (4) accent trees are required in the 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). Please indicate conformance to this requirement on the landscape plan and relabel where needed 3) Please provide an exhibit showing headlight screening for the head-in parking adjacent to the street (Subsection 5.02(C), Art. VIII, UDC). 4) Please provide an exhibit showing that all parking spaces are located within 80-feet from the trunk of a large canopy tree (Sec. 5.9; Art. VIII, UDC). 5) Parking Lot Landscaping – requires one (1), three (3) inch caliper 65 gallon tree be provided for every eight (8) parking spaces and the trees are to be provided in

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
5-ft x 5-ft diamond planters or island planters (Ord. No. 17-22, Exhibit 'F-1', of PD-32) Provide tree leave outs.						
6) Parking Lot Landscaping – landscape buffers adjacent to public streets are to consist of trees, shrubs, perennial, and/or ornamental grasses in natural groupings (Ord. No. 17-22, Exhibit 'F-1', of PD-32) Provide exhibit.						
7) Please provide an identifying symbol for each tree type to better identify what is being planted						
8) Please ghost-in the existing trees in order to distinguish between proposed plantings						
9) Under General Planting Notes, number 5 indicates the “City of Canyon”. Please change to City of Rockwall.						
M.15	Treescape Plan	According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, the director of planning and zoning, or his/her designee, shall review the treescape plan and approve the plan per the requirements of this article, or forward any recommendations to the planning and zoning commission. As part of the treescape plan review process, the city has the right to request changes or adjustments in the layout and design of a development to save trees. The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.				
	(1)	Adjust mitigation inches due for all landscape trees being provided. The minimum size required for planting of a canopy tree is four (4) inches. (Sec. 4.A.2, Art VIII, UDC)				
M.16	Photometric Plan.	Ordinance No. 17-22 stipulates a design standard for all pedestrian scale street lighting and parking lot light fixtures. The proposed pedestrian scale street light does appear to conform to the design standards for this district.				
M.17	Based on the submittal staff has identified the following variances					
	1)	Building Materials. The proposed addition exceeds the maximum permitted percentage of secondary materials and does not include a minimum of 20% stone.				
	2)	Building Articulation. The proposed addition does not meet the articulation standards established by the UDC.				
	3)	Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street.				
	4)	Parking Count. The proposed site does not meet the minimum parking standards.				
	5)	Parking Restrictions. The proposed parking lot has more than one (1) full row of parking (i.e. two (2) rows of parking with a drive aisle) adjacent to Ridge Road and within the Scenic Overlay (SOV) District.				
	To be able to request a variance,	an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.				
I.18	Please note that failure to address all comments provided by staff by 5:00 PM on September 4, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.					
I.19	Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 8, 2019 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 24, 2019.					
I.20	The Architectural Review Board (ARB) meeting will be held on September 24, 2019 and will begin at 5:00 p.m. in the City’s Council Chambers. The ARB will					

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
forward a recommendation to the Planning and Zoning Commission						
I.21 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.						
PLANNING	David Gonzales	10/24/2019	10/31/2019	10/24/2019	COMMENTS	Revised Submittal

comments on next page

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/24/2019 7:21 PM DG)						
SP2019-037; Revised Submittal-- Site Plan for Ridge Road Retail Center(PD-32)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740].						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-037) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan, landscape plan, treescape plan, photometric plan, building elevations).						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], and the Development Standards of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit						
I.6 Provide Site Data Table on all revised plans(i.e. landscape, treescape, and photometric).						
I.7 Please provide a label for the proposed street section of Glen Hill Way on all plans(i.e. landscape, treescape, and photometric).						
M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Under the Construction Schedule legend No. 7, change the minimum dumpster enclosure to indicate 8-ft.						
2) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required						
3) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director.						
M.9 Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the revised building elevations do not incorporate stone on the front (east) and side (south) facing facades. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).						
I.10 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Indicate all HVAC units on the building elevations(i.e. dash-in RTU's) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC).						
2) Please provide a detail for the parapet height to determine screening of RTUs.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west).						
4) Provide calculation of building materials as a percentage						
M.11 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please provide an exhibit showing headlight screening for the head-in parking adjacent to the street (Subsection 5.02(C), Art. VIII, UDC).						
M.12 Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.						
(1) Total mitigation due= 336 caliper inches. Refer to Article IX, Sec. 5, Tree Mitigation Requirements in order to satisfy mitigation balance						
M.13 Based on the submittal staff has identified the following variances						
1) Building Materials. The proposed addition does not meet the minimum of 20% stone.						
2) Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street						
To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.						
I.14 Please note that failure to address all comments provided by staff by 8:00 AM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2019 Planning & Zoning Meeting. Please note that the Planning & Zoning Work Session meeting will be held on October 29, 2019.						
I.16 The Architectural Review Board (ARB) meeting will be held on October 29, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission.						
I.17 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.						
Police Department	David Gonzales	10/24/2019	10/31/2019			VOIDED (DG 10/25/2019)
Police Department	David Gonzales	9/23/2019	9/23/2019	9/23/2019	COMMENTS	See comments

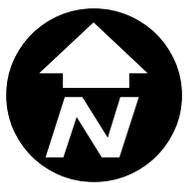
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/23/2019 9:15 AM DG)						
Responses from Capt. Ed Fowler 09.20.2019:						
SP2019-037 Ridge Road Retail Center						
Considerations.						
<ul style="list-style-type: none"> • Consider Security lighting above all entrances, including rear doors, rear parking areas and dumpster(s). • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing • Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. • Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.) • Add photocell to main exterior lighting and update all lighting to LED fixtures. Ensure that all lighting is positioned in a manner to minimize glare and reduce all shadows especially at the rear of business. • Consider auxiliary locking system on rear doors. • Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors • Consider motion sensor alarms inside the business and motion activated lighting for the interior. • Consider installation of locking mechanisms/bars on rear doors during closed hours. • Consider installation of solid core doors for offices inside the business including the room that houses any monies or safe. Single cylinder locks for all offices and a double cylinder lock for the safe room. • Consider an additional alarm inside the safe room, either attached to the entrance door or safe • Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage. • Consider camera monitors for the rear of the business to ensure that employees will have a complete and unobstructed view prior to exiting into the rear parking area. • Consider the addition of security cameras for the interior the business. • Ensure new or existing trees and bushes are trimmed within acceptable standards (Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night. • More than willing to speak directly with the business owners or developers about the property. 						
<p>The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.</p>						



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**NOT FOR
CONSTRUCTION
REVIEW ONLY
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TX ARCH
19007**

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817.919.6574
JHERCKT@GMAIL.COM**

**CONCEPTUAL
ARCHITECTURAL
ELEVATIONS**

**RIDGE ROAD
RETAIL CENTER
CORE AND SHELL
2930 RIDGE ROAD
ROCKWALL, TX 75032**

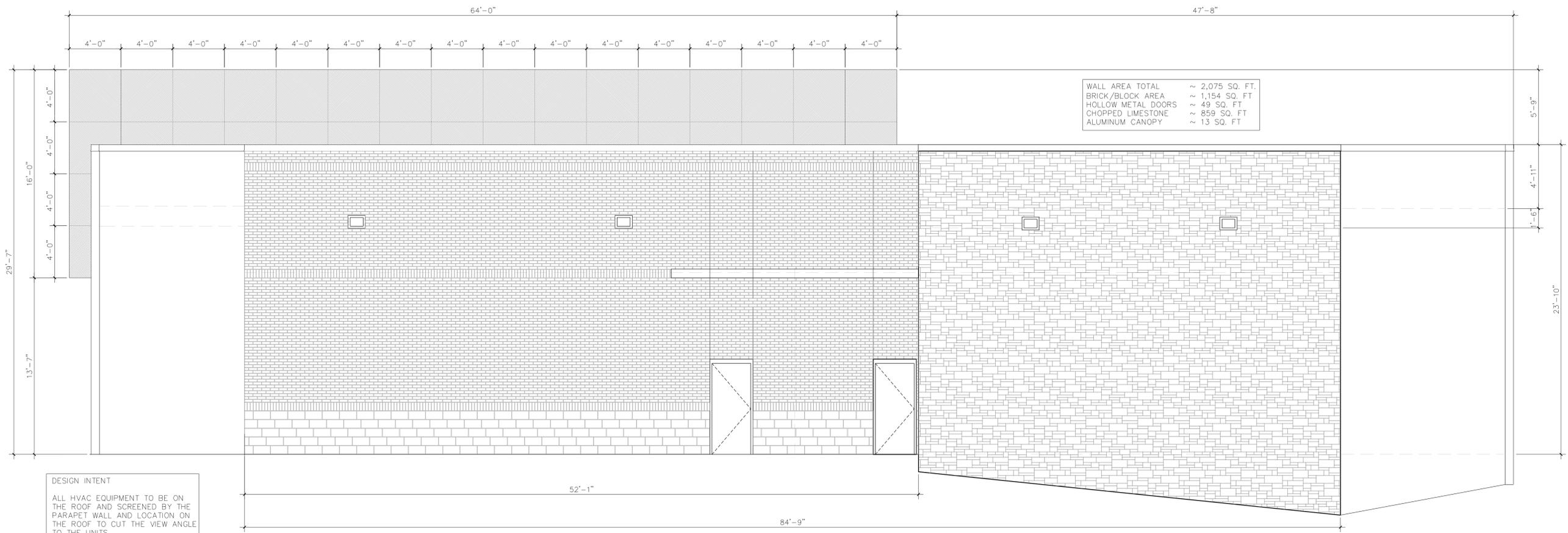
**DEVELOPMENT
SUBMITTAL**

2019.10.18

ISSUE DATE

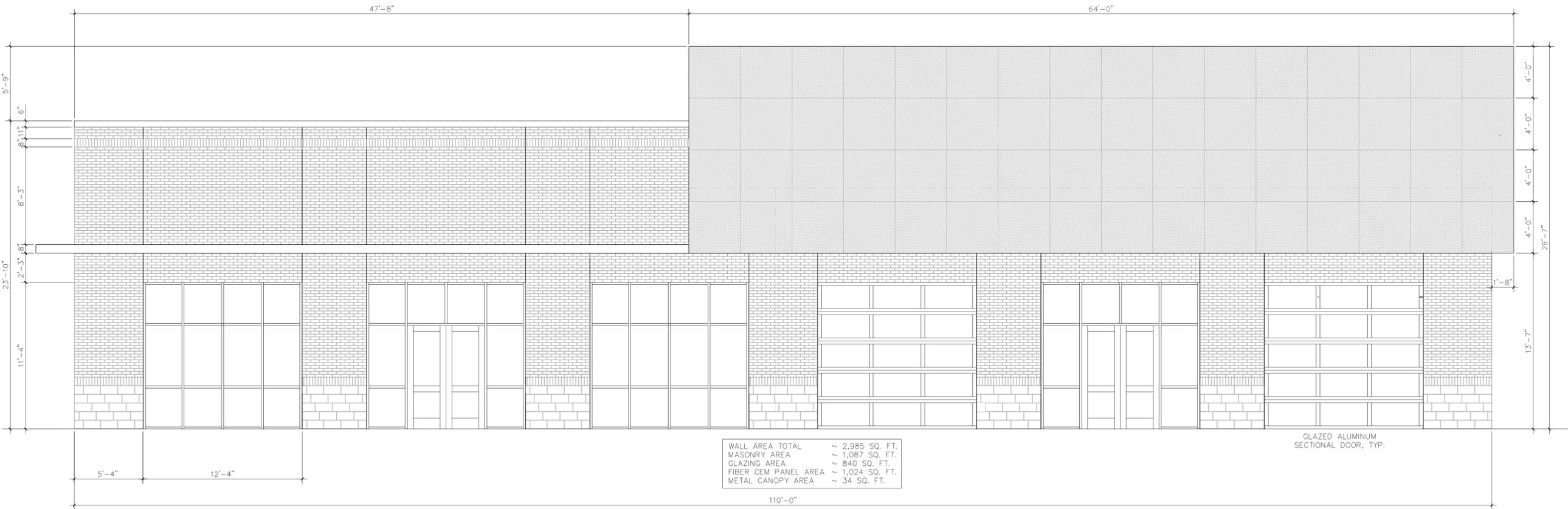
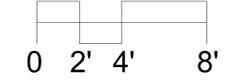
SHEET

A3.0

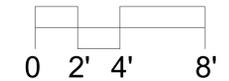


DESIGN INTENT
ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER

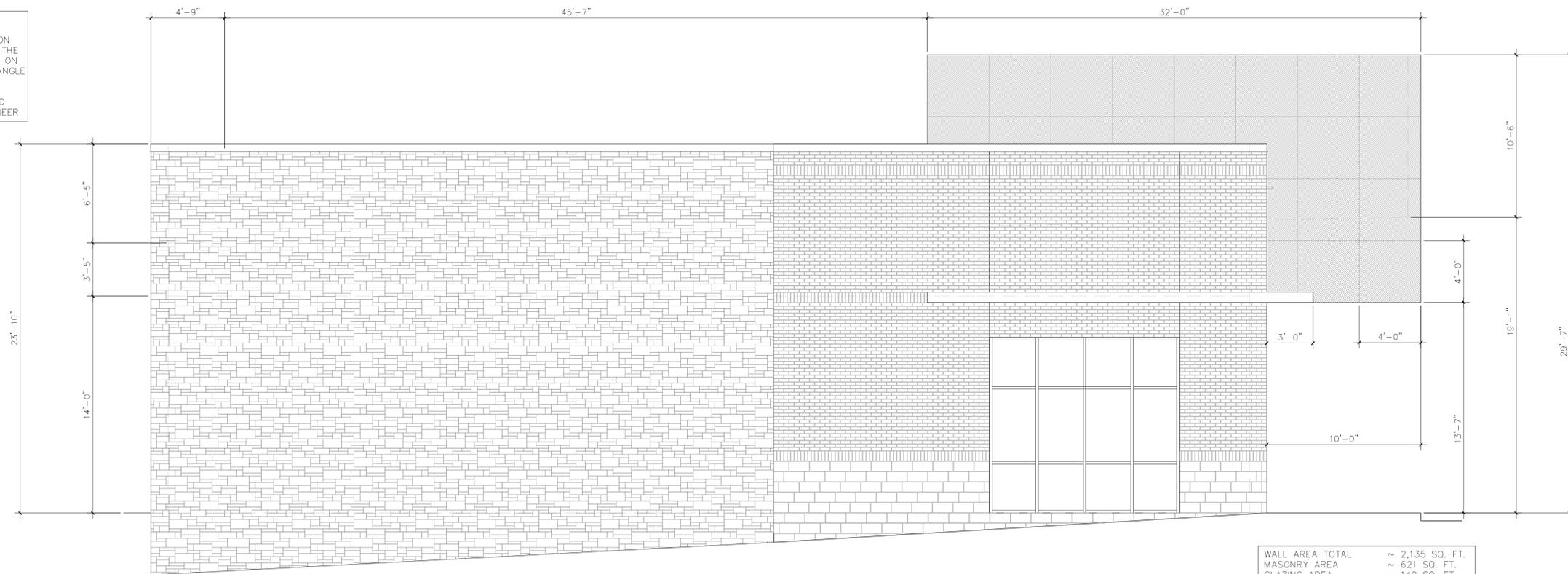
2 BACK ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/8"=1'-0"

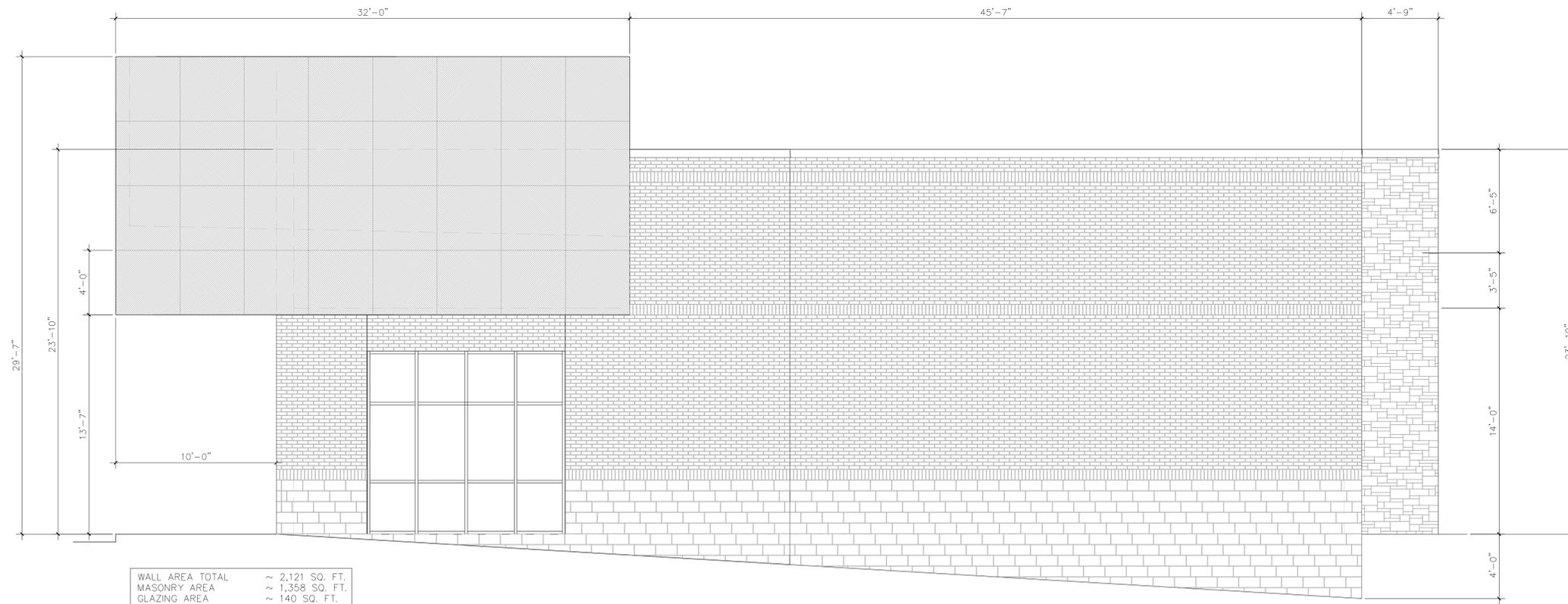
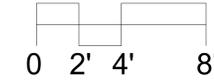


DESIGN INTENT
 ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
 RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER



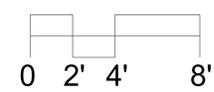
WALL AREA TOTAL	~ 2,135 SQ. FT.
MASONRY AREA	~ 621 SQ. FT.
GLAZING AREA	~ 140 SQ. FT.
FIBER CEM PANEL AREA	~ 296 SQ. FT.
METAL CANOPY AREA	~ 17 SQ. FT.
CHOPPED LIMESTONE	~ 1,061 SQ. FT.

2
 A3.1 **SIDE ELEVATION**
 SCALE: 1/4"=1'-0"



WALL AREA TOTAL	~ 2,121 SQ. FT.
MASONRY AREA	~ 1,358 SQ. FT.
GLAZING AREA	~ 140 SQ. FT.
CHOPPED LIMESTONE	~ 111 SQ. FT.
FIBER CEM PANEL	~ 512 SQ. FT.

1
 A3.1 **SIDE ELEVATION**
 SCALE: 1/4"=1'-0"



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CONCEPTUAL ARCHITECTURAL ELEVATIONS

RIDGE ROAD RETAIL CENTER CORE AND SHELL
 2930 RIDGE ROAD
 ROCKWALL, TX 75032

DEVELOPMENT SUBMITTAL

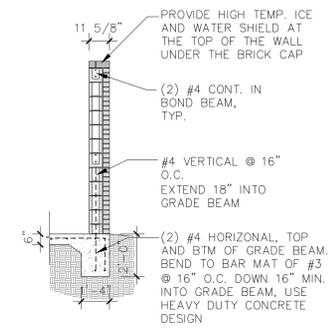
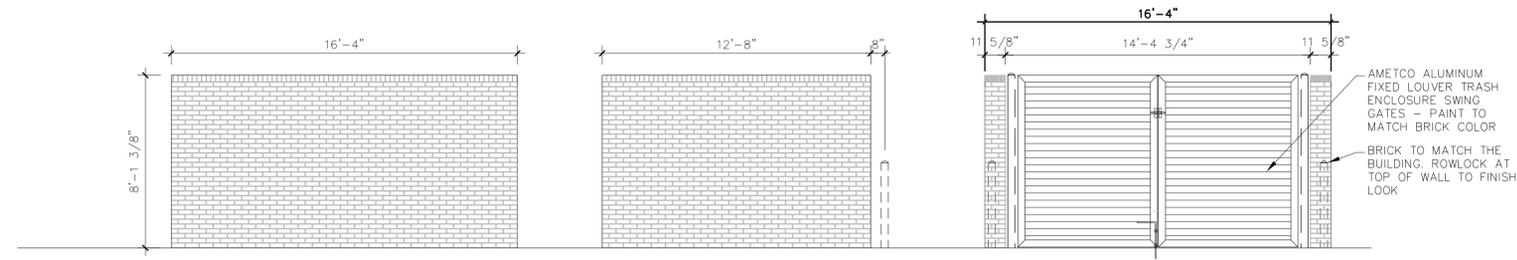
2019.10.18

ISSUE DATE

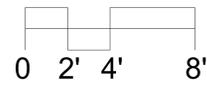
SHEET

A3.1

DESIGN INTENT
 ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
 RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER



1
 A3.2 **TRASH ENCLOSURE**
 SCALE: 1/4"=1'-0"



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CONCEPTUAL ARCHITECTURAL ELEVATIONS

RIDGE ROAD RETAIL CENTER CORE AND SHELL
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DEVELOPMENT SUBMITTAL

2019.10.18

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SHEET

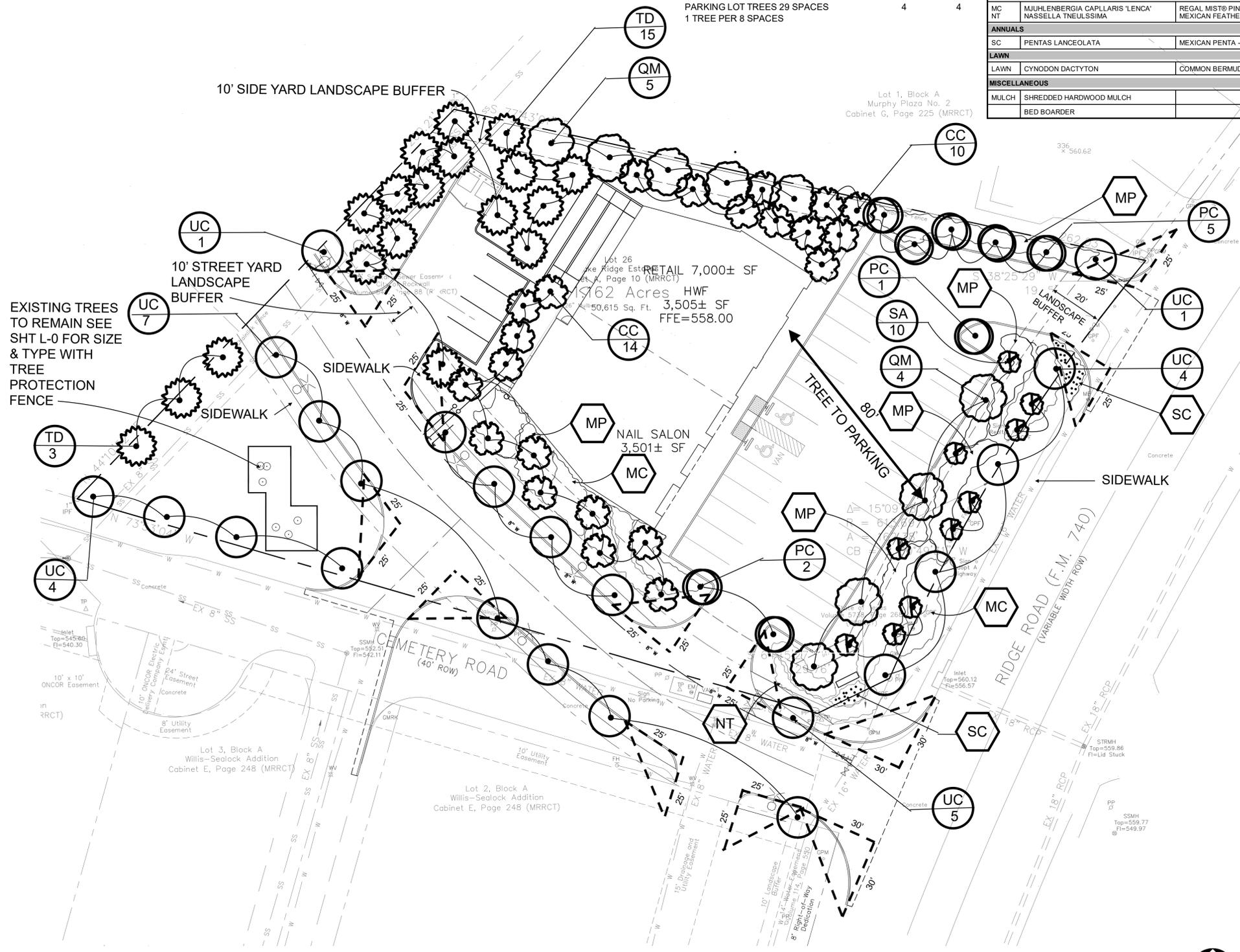
A3.2

LANDSCAPE REQUIREMENTS

STREETScape 10 - LANDSCAPE BUFFER	REQUIRED TREES	PROPOSED TREES
CEMETERY ROAD STREET TREES 1 PER 30 LF	11	11
RIDGE ROAD STREET TREES 1 PER 50 LF 165 LF CANOPY TREE ORNAMENTAL TREE	4	4
PARKING LOT TREES 29 SPACES 1 TREE PER 8 SPACES	4	4

PLANT LIST (IN SECTION 6)

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	HEIGHT	SPREAD	ROOT BALL	REMARKS
LARGE SIZE TREE								
QM	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	9	4" CAL.	12' - 14'	6' - 8'	CONTAINER	SINGLE TRUNK AND FULL
TD	TAXODIUM DISTICUM	BALD CYPRESS	18	4" CAL.	12' - 14'	6' - 8'	CONTAINER	SINGLE TRUNK AND FULL
UC	ULMUS CRASSIFOLIA	CEDAR ELM	22	4" CAL.	10' - 12'	6' - 8'	CONTAINER	SINGLE TRUNK - BRANCHED TO GROUND
MEDIUM SIZE TREE								
CC	CERCIS CANADENSIS 'TEXENSIS'	TEXAS REDBUD	24	3" CAL.	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
PC	PISTACHE CHINENSIS	CHINESE PISTACHE	8	3" CAL.	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
SA	STYPHNOLOBIUM AFFINE	EVE'S NECLACE	10	3" CAL.	8' - 10'	4' - 6'	CONTAINER	MULTI-TRUNKED AND FULL
SHRUBS								
MP	MYRICA PUSILLA	DWARF WAX MYRTLE	230	N/A	18"	18"	3 GALLON	PLACED AS SHOWN ON PLAN
ORNAMENTAL GRASSES								
MC	MJUHLENBERGIA CAPILLARIS 'LENCA'	REGAL MIST® PINK MUHLY GRASS	175	N/A	12" - 18"	12" - 18"	3 GALLON	FULL MATCHED 6" O.C. TRIA. SPACED
NT	NASSELLA TNEULSSIMA	MEXICAN FEATHER GRASS	150	N/A	6" - 8"	6" - 8"	1 GALLON	FULL MATCHED 6" O.C. TRIA. SPACED
ANNUALS								
SC	PENTAS LANCEOLATA	MEXICAN PENTA - SOLID COLOR	235	N/A	6" - 8"	6" - 8"	4" POT	FULL MATCHED 6" O.C. TRIA. SPACED
LAWN								
LAWN	CYNODON DACTYTON	COMMON BERMUDA GRASS						SOLID SOD STAGGARED JOINTS
MISCELLANEOUS								
MULCH	SHREDDED HARDWOOD MULCH							3 INCH DEPTH PLACE OVER FILTER FABRIC
BED BOARDER								SEE BOARDER MATERIAL SHEET L-1

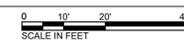


GENERAL PLANTING NOTES

- CONTRACTOR SHALL ADHERE TO CITY CONSTRUCTION REQUIREMENTS INCLUDING BUT NOT LIMITED TO ANY PERMITS, INSPECTIONS, AND METHODS OF MATERIAL INSTALLATION.
- CONTRACTOR SHALL ADHERE TO ALL AGENCY REQUIREMENTS MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE, AS WELL AS FINDING OUT EACH COMPANY'S RESTRICTIONS ON WORKING WITHIN THEIR EASEMENTS AND UTILITY LINES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING IMPROVEMENTS AND TO NOT DISTURB THOSE THAT ARE OUTSIDE OF THE SCOPE OF WORK. ANY STRUCTURES THAT ARE TO REMAIN WITHIN THE SCOPE OF WORK AREA SHALL NOT BE DAMAGED. PHOTOGRAPHS AND NOTES SHOULD BE MADE FOR ANY EXISTING DAMAGED CONDITIONS PRIOR TO COMMENCING CONSTRUCTION AND DISTRIBUTED TO OWNERS REPRESENTATIVE.
- A LANDSCAPE IRRIGATION PLAN SHALL BE PREPARED PRIOR TO LANDSCAPE CONSTRUCTION AND WILL BE DESIGNED BY A TEXAS LICENSED IRRIGATION DESIGNER. ALL PLANTING AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE AND RAIN SENSOR. THE SYSTEM SHALL BE DESIGNED TO MEET THE CITY AND THE STATE OF TEXAS IRRIGATION REQUIREMENTS. THE IRRIGATION INSTALLER SHALL BE A STATE OF TEXAS LICENSED IRRIGATION DESIGNER.
- CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE IF THERE ARE ANY WATER RESTRICTIONS AND WHAT IF ANY IMPACT THIS MAY HAVE ON THE INSTALLATION OF PLANT MATERIAL.
- QUANTITIES SHOWN IN PLANT LIST FOR PLANT MATERIAL AREA PROVIDED AS A COURTESY FOR THE CONTRACTOR. CONTRACTOR SHALL VERIFY PRIOR TO BIDDING THAT THE QUANTITY WILL COVER THE SPECIFIED AREAS AT THE SPACING STATED IN THE PLANT LIST UNDER THE REMARKS COLUMN. IF THERE IS A DIFFERENCE, THE CONTRACTOR SHALL MAKE NOTE ON THEIR BID AND SHOW THE ADDED OR REDUCED COST.
- CONTRACTOR SHALL ESTABLISH SOURCES FOR ALL PLANT MATERIAL ON PLANT LIST WHEN BIDDING PROJECT. NO PLANTS SUBSTITUTIONS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS FOR THIS PROJECT PRIOR TO INSTALLATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL NEW PLANTING BEDS SHALL HAVE A MINIMUM SIX (6") INCHES OF BED PREPARATION.
- LAWN AREA SHALL HAVE FERTILE AND CLEAN TOP SOIL TILLED 4" DEEP.
- GRADING IN PLANTING BEDS SHALL BE SMOOTH AND PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL TREES, AND SHRUBS FOR APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO PLANTING.
- MULCHING OF SHRUB AND ANY GROUND COVER AREAS SHALL HAVE 3 INCHES OF SHREDDED HARDWOOD MULCH.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
- THE PROPERTY OWNER, TENANT AND ANY AGENT THEREOF SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING MATERIALS IN GOOD CONDITION AT ALL TIMES SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE. ANY LANDSCAPING MATERIAL THAT DIES SHALL BE REPLACED WITH HEALTHY MATERIAL WITHIN A REASONABLE TIME. ALL LANDSCAPED AREAS SHALL BE CONTINUOUSLY MAINTAINED FREE OF WEEDS, DEBRIS AND LITTER. WEEDS AND NATURAL UNCULTIVATED GRASS SHALL NOT BE CONSIDERED LANDSCAPING.

LANDSCAPE LEGEND

- LARGE CANOPY TREE
- LARGE NON-CANOPY TREE
- ORNAMENTAL TREE
- SHRUB MASSING
- LAWN AND IRRIGATED AREAS
- STEEL EDGING



1 LANDSCAPE PLAN

1"=20'-0"



PRELIMINARY
 THIS DRAWING IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF REGISTERED LANDSCAPE ARCHITECT STEPHEN C BERKENBILE, LIC #1783 ON 10-16-2019. IT IS NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION PURPOSES.

**ROCKWALL RETAIL
 2930 SOUTH RIDGE ROAD
 LAKERIDGE ESTATES, LOT 26
 ROCKWALL, TEXAS**

Issue Dates:

10-16-2019

Date	Revisions

Scale:

Drawn By:

Checked By:

Sheet

L-1

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 Drawing: C:\Users\Steve\Dropbox (BLA, Inc)\Team Folder\Cre Carrillo\Rockwall Retail\Rockwall Retail.dwg
 Printed by: Steve Plot Date: 10/16/2019 8:03 PM

BERKENBILE
 LANDSCAPE ARCHITECTS
 DALLAS OFFICE
 2001 N Lamar Suite 290
 Dallas, TX 75202 (214) 922-9946
 SOUTHLAKE OFFICE
 2355 Johnson Rd
 Southlake, TX 76092 (817) 379-9853

Carrillo Engineering, LLC
 301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
 Phone 817-697-4996 - Firm Registration #1-15893


PRELIMINARY
 THIS DRAWING IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF REGISTERED LANDSCAPE ARCHITECT STEPHEN C BERKENBILE, L.C. #1763 ON 10-16-2019. IT IS NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION PURPOSE.

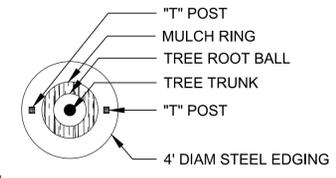
ROCKWALL RETAIL
 2930 SOUTH RIDGE ROAD
 LAKEVIEW ESTATES, LOT 26
 ROCKWALL, TEXAS

Issue Dates:
 10-16-2019

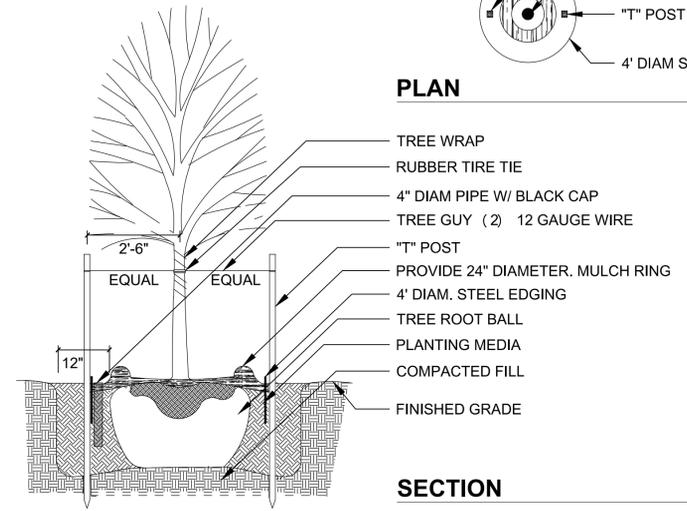
Date	Revisions

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 Checked By:

Sheet
 L-2

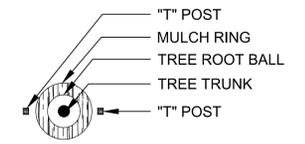


PLAN

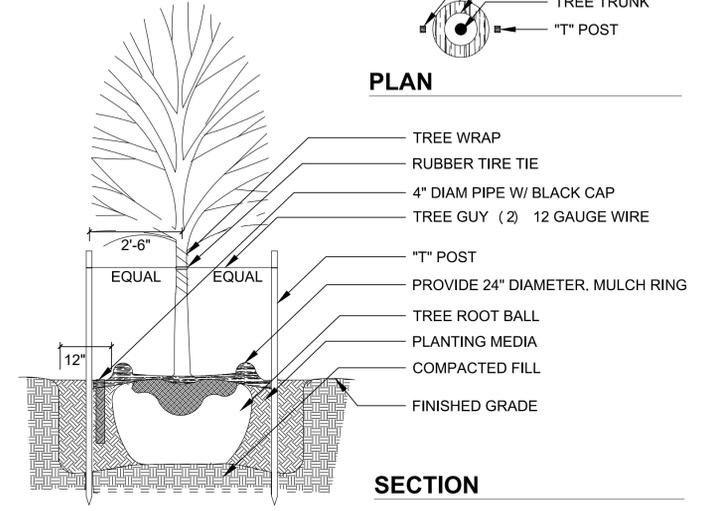


SECTION

1 TREE PLANTING IN LAWN WITH 4' DIAMETER STEEL EDGING
 NOT TO SCALE

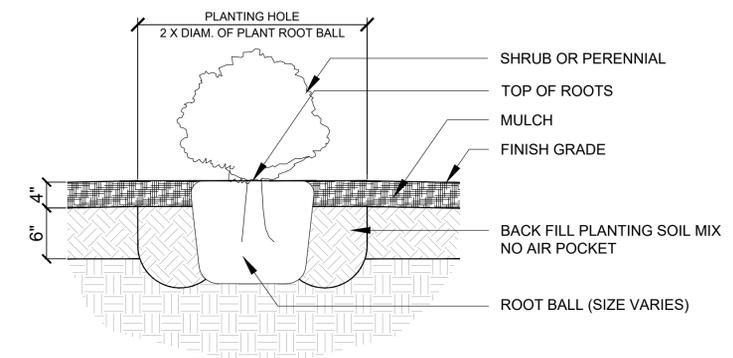


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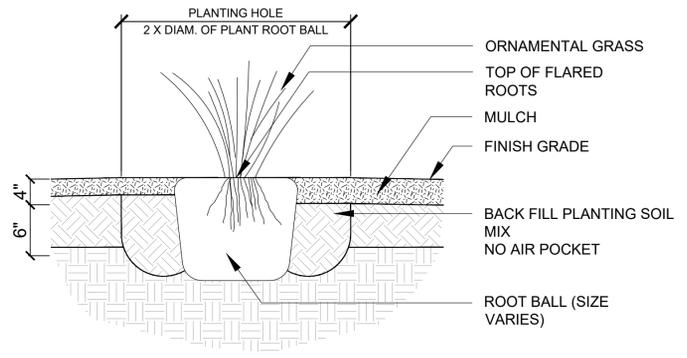


SECTION

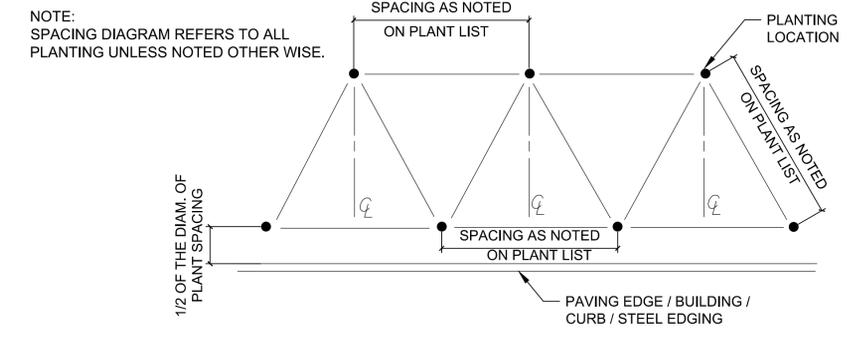
2 TREE PLANTING IN MULCH
 NOT TO SCALE



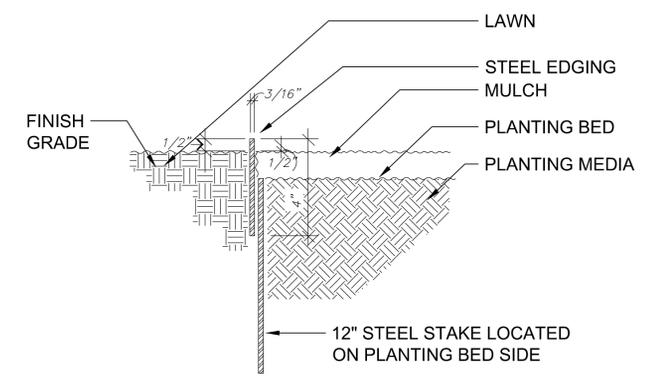
3 SHRUB PLANTING DETAIL
 NOT TO SCALE



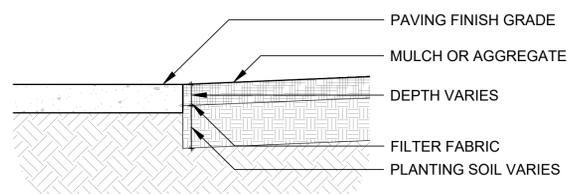
4 GRASS PLANTING DETAIL
 NOT TO SCALE



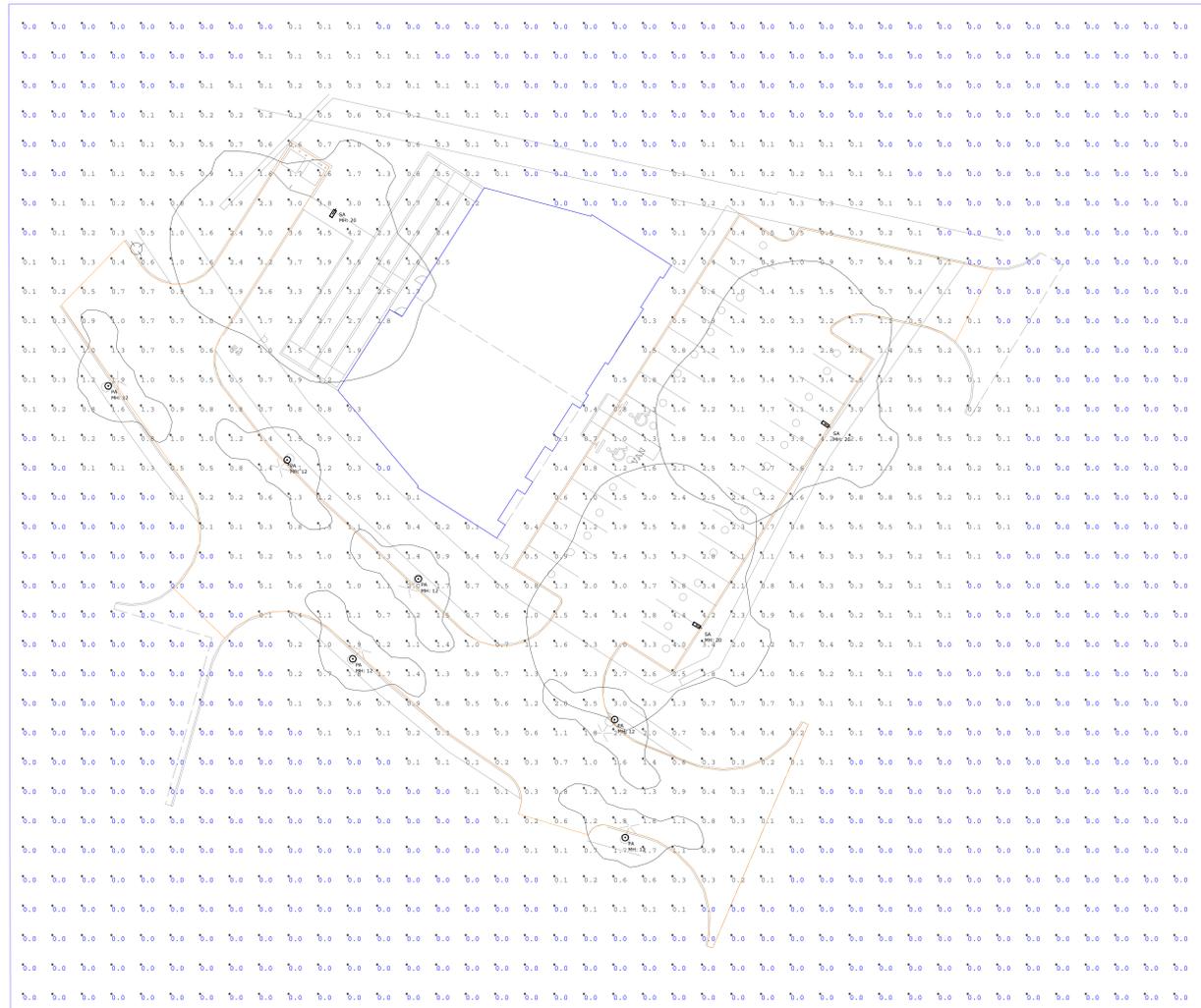
5 TRIANGULAR SPACING
 NOT TO SCALE



6 STEEL EDGING DETAIL
 NOT TO SCALE



7 BED AT EDGE OF PAVING
 NOT TO SCALE



Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
☉	PA	6	BEGA_77 911 FINISH	2548	50	1.000	0.808	1.000
☞	SA	3	LITHONIA_DSX1 LED P7 40K TFTM VOLTAGE MOUNTING FINISH	20732	183	1.000	0.808	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE - Planar	0	Fc	0.45	4.5	0.0	N.A.
PARKING & DRIVEWAY		Fc	1.46	4.5	0.0	N.A.

PARKING & DRIVEWAY
 Illuminance (Fc)
 Average = 1.46
 Maximum = 4.5
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Notes:
 1. Surface reflectance: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Dynamic lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

Pole top luminaires with asymmetrical light distribution

Housing: Two interlocking die-cast aluminum housings. Heavy gauge .080" spun aluminum shade with rolled edge, finished white inside. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Arm: Fabricated from .125" wall aluminum extrusion formed into a continuous smooth radius, terminating and welded into a one piece die-cast aluminum fitter. Fitter slip fits a 3" O.D. pole top and is secured by six (6) socket head stainless steel set screws threaded into stainless steel inserts.

Enclosure: Lamp enclosure/optical system comprises an assembly of two pure anodized aluminum asymmetrical main beam reflectors with clear impact resistant acrylic lens with optical texture fixed to a heavy gauge .080" spun aluminum shade with rolled edge, finished white inside and rigidly fastened to the luminaire housing. Fasteners are stainless steel.

Electrical: 42.8W LED luminaire, 48 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver located in luminaire head, 0-10V dimming. Standard LED color temperature is 4000K with a >80 CRI. Available in 3000K (>80 CRI); add suffix K3 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP65.

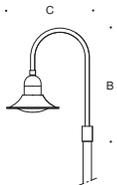
Weight: 27.6 lbs.

EPA (Effective projection area): 2.37 sq. ft.

Luminaire Lumens: 2548

Tested in accordance with LM-79-08

Type:
 BEGA Product:
 Project:
 Voltage:
 Color:
 Options:
 Modified:



Single pole-top luminaires

	Lamp	LEED	A	B	C
77911	42.8W LED	LZ-2	26 $\frac{5}{8}$	46 $\frac{1}{4}$	40 $\frac{1}{8}$

Recommended for use with 14' to 18' poles.

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com

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D-Series LED, Size 1

Area Luminaire

Refined Styling. Sophisticated Technology.

The modern styling of the D-Series LED Area, Size 1 luminaire is striking yet unobtrusive—making a bold, progressive statement even as it blends seamlessly with its environment. Its outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density.

Key Features:

- Energy savings of up to 75% vs. comparable metal halide luminaires; saves \$263 per luminaire, per year over 750W metal halide
- 20+ years expected service life (with lumen maintenance up to L99/100,000 hours at 25°C)
- Proprietary precision optics deliver exceptional uniformity and allow for increased spacing, resulting in fewer poles and lower overall cost
- Control options from Acuity Controls include standalone photocell, switched bi-level, part-night scheduled dimming, multi-level motion sensor, and ROAM® wireless monitoring and control

DSX1			
Model	Input Watts	Lumens	Metal Halide Replacement
DSX1 LED P5 40k T3M	138W	15,377	400W
DSX1 LED P7 40k T3M	209W	20,141	650W
DSX1 LED P9 40k T3M	241W	26,791	750W



Quick Facts:

- Up to 750W MH replacement
- Lumen packages from 4,000 to 29,000 lumens up to L92/50,000 hours
- Efficacies up to 136 lumens per watt
- 14 factory-rotatable distributions available
- Available in 3000K, 4000K & 5000K CCT and Amber LED
- Weight: 27 lbs; EPA: 1.0 ft²

D-Series LED Area Luminaire, Size 1

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 Rotated optics P10 P12 P11 P13	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control LCCO Left corner cutoff RCCO Right corner cutoff	MVOLT 120 208 240 277 347 480	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor RPUMBA Round pole universal mounting adaptor Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)

Control options	Other options	Finish (required)
Shipped installed PER NEMA twist-lock receptacle only (no controls) PERS Five-wire receptacle only (no controls) PER7 Seven-wire receptacle only (no controls) DMG 0-10V dimming extend out back of housing for external control (no controls) DS Dual switching PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc	BL30 Bi-level switched dimming, 30% BL50 Bi-level switched dimming, 50% PNMTDD3 Part night, dim till dawn PNMT5D3 Part night, dim 5 hrs PNMT6D3 Part night, dim 6 hrs PNMT7D3 Part night, dim 7 hrs FAO Field adjustable output	Shipped installed HS House-side shield SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V) L90 Left rotated optics R90 Right rotated optics BS Bird spikes DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Accessories *Ordered and shipped separately.*

Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V)
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V)
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V)
DSHORT SBK U	Shorting cap
DSX1HS 30C U	House-side shield for 30 LED unit
DSX1HS 40C U	House-side shield for 40 LED unit
DSX1HS 60C U	House-side shield for 60 LED unit
PUMBA DDBXD U	Square and round pole universal mounting bracket adaptor (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish)

Please use the spec sheet at www.acuitybrands.com when ordering to ensure component compatibility for your desired configuration.

DSX2

400W - 1000W MH Replacement



DSX1

250W - 750W MH Replacement



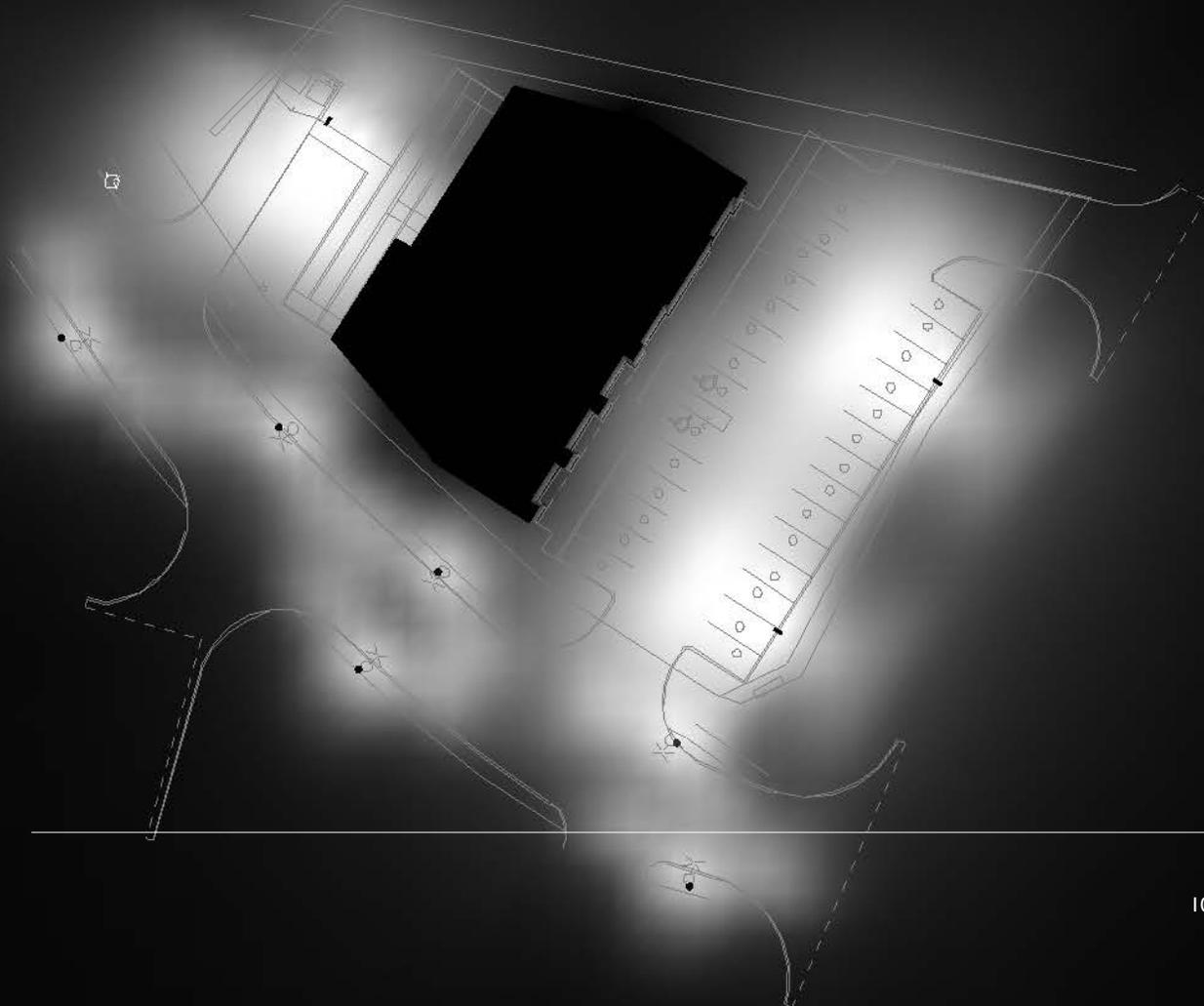
DSX0

175W - 400W MH Replacement



DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

Visit www.lithonia.com for more information



Architectural Lighting Alliance

101 Turtle Creek Blvd. Dallas TX 75207
O 214-658-9000 | F 214-658-9002

www.alatx.com



City of Rockwall Project Plan Review History



Project Number	SP2019-040	Owner	ROCKWALL URBAN INDUSTRIAL, LP			Applied	10/21/2019	LM
Project Name	Ellis Centre Phase 2 Addition	Applicant	HALFF ASSOCIATES			Approved		
Type	SITE PLAN					Closed		
Subtype						Expired		
Status	Staff Review					Status		
Site Address		City, State Zip						
ALPHA DR		ROCKWALL, TX 75087			Zoning			
Subdivision		Tract	Block	Lot No	Parcel No	General Plan		
ELLIS CENTRE 2		1	D	1	3586-000D-0001-00-OR			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/21/2019	10/28/2019	10/22/2019	1	APPROVED	
ENGINEERING	Sarah Johnston	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(10/24/2019 4:26 PM SJ)</p> <p>M - Add note, "No trees within 5' of utilities" to the landscape plan.</p> <p>M - Parking near the building to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19</p> <p>M - All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30' min. Standards of Design 2.19</p> <p>M - Driveway radii to be 30' min. Standards of Design 2.19</p> <p>M - No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 6.4.1</p> <p>M - All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.3.1</p> <p>M - Must show existing utilities and your planned service connections.</p> <p>M - Minimum easement width is 20' for proposed easements. Standards of Design 5.3.1 and 6.4</p> <p>M - Retaining walls in detention require a variance Standards of Design 3.3.2</p> <p>M - Must stub out the 8" water and 8" sewer to the northern property for future expansion</p> <p>M - Must meet all standards of design and construction.</p> <p>I - 4% Engineering Fees</p> <p>I - Impact Fees</p> <p>I - Must have detention on-site Manning's C-valve is per zoning</p> <p>I - Water and sewer lines must have 10' of easement on both sides</p> <p>I - No utilities in detention easements</p> <p>I - No grate utilities allowed</p> <p>I - Cul-de-sac paving to be 8" 3600 psi (6.5 sack mix)</p> <p>I - No sand is allowed under paving.</p> <p>I - Walls 3' and over must be engineered</p> <p>I - All retaining walls to be rock or stone face No smooth concrete walls</p> <p>I - If storm is picking up offsite drainage the pipe maintained must be</p> <p>I - Where you show the 15'x64' turnaround, you must stripe the entire area as no parking.</p>						
FIRE	Ariana Hargrove	10/21/2019	10/28/2019	10/24/2019	3 COMMENTS	see notes
<p>(10/24/2019 3:16 PM AA)</p> <p>FDC shall be:</p> <ul style="list-style-type: none"> -facing and visible from the fire lane - within 100-feet of a fire hydrant - clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access - installed 18-48 inches above grade. <p>(Ord 16-31)</p>						
GIS	Lance Singleton	10/21/2019	10/28/2019	10/22/2019	1 APPROVED	See comments
<p>(10/22/2019 3:01 PM LS)</p> <p>Addressing will be:</p> <p>BLDG 1 = 1915 Alpha Dr, Rockwall, TX 75087</p> <p>BLDG 2 = 1905 Alpha Dr, Rockwall, TX 75087</p> <p>BLDG 3 = 1910 Alpha Dr, Rockwall, TX 75087</p>						
PLANNING	David Gonzales	10/21/2019	10/28/2019	10/24/2019	3 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/24/2019 8:50 PM DG)						
SP2019-040; Site Plan for Rockwall Urban & Industrial Center (Ellis Centre, Phase 2)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-040) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC); including the District Development Standards, of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit.						
M.6 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please provide a label for the parking count for each row of spaces in order to determine total parking count						
2) The cross sections of concrete pavement thickness is to be determined by the engineering department during the civil submittal process and is not considered to be approved during this site plan process.						
3) Parking for an office use requires a minimum of one(1) parking space per 300-SF (i.e. 1:300 SF) of gross floor area. Will there be offices uses within this complex? If so, please update parking legend. (Article VI, Table 3).						
4) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director.						
5) Is there a front building set back? If so, this is required to be 25-ft. Please adjust accordingly.						
6) Provide a label for all drive aisle widths.						
7) Indicate and label all sidewalk widths proposed for this site.						
8) Delineate and label all loading dock parking spaces. Minimum 12-ft wide & 65-ft in length. (Art. VI, Section 6.04)						
9) Ground mounted utility equipment and RTUs shall be screened from adjacent public rights-of-way and adjacent property. Provide screening detail for these units. (Art. V, Sec. 1.05.3)						
10) Provide screening along the western property boundary from the school district property. (Art. VIII, Sec. 5.02.B Landscape Screening)						
11) Will there be any outside storage of materials, products, etc.?						
M.8 Building Elevations. According to Subsection 5.01.A1, of the General Industrial District Standards, of Article V, District Development Standards, of the UDC, requires a minimum of 20% stone (i.e. natural or synthetic/cultured) on all building façades. In this case, the construction of the addition does not include stone on any façade. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB).						
M.9 Building Elevations. According to Subsection 5.01A.1, General Industrial District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 90% primary materials and ten (10) percent secondary materials. In this case, the construction consists of concrete tilt-up wall. The use of concrete tilt-up walls may be permitted on a case-by-case basis in accordance with the exception requirements outlined in this section of the UDC This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB).						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.10						Building Elevations. Please review the articulation formulas contained in Section 5.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
M.11						Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> 1) Indicate all HVAC units (i.e. dash-in RTU's) on the building elevations so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). 2) Provide calculation of building materials as a percentage
M.12						Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> 1) Provide screening along the western property boundary from the school district property. Art. VIII, Sec. 5.02.B Landscape Screening, states (a) any non-residential...land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers (as depicted in Figures 6 & 7 below). As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers. As a note, the Agricultural (AG) District is considered residential. 2) Correct table to indicate a minimum 15% landscaping required (currently indicates 10%). 3) All new tree plantings are to be a minimum of 4-inch caliper trees. Correct plan. (Art. VIII, Sec. 4.A.2) 4) Parking lots greater than 20,000 SF are required to provide a minimum of one (1) tree for each 10 parking spaces. 161 parking spaces = 16 trees within the parking lot area. (Art. VIII, Sec. 5.03.E.2)
M.13						Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, the director of planning and zoning, or his/her designee, shall review the treescape plan and approve the plan per the requirements of this article, or forward any recommendations to the planning and zoning commission. As part of the treescape plan review process, the city has the right to request changes or adjustments in the layout and design of a development to save trees. The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.
M.14						Photometric Plan. According to Section 3.3, Minimum Requirements, of Article VII, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan conforms to the requirements of the UDC. <ol style="list-style-type: none"> 1) No light pole, base or combination thereof shall exceed an overall height of 30-ft. Provide pole detail. (Art. VII, Sec. 3.3.D)
M.15						Based on the submittal staff has identified the following exceptions: <ol style="list-style-type: none"> 1) Building Materials. The proposed addition is requesting the use of tilt-up wall construction and does not include a minimum of 20% stone. 2) Building Articulation. The proposed addition does not meet the articulation standards established by the UDC.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two(2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.</p>						
<p>I.14 Please note that failure to address all comments provided by staff by 8:00 AM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p>						
<p>I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2019 Planning & Zoning Meeting. Please note that the Planning & Zoning Work Session meeting will be held on October 29, 2019.</p>						
<p>I.16 The Architectural Review Board (ARB) meeting will be held on October 29, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission.</p>						
<p>I.17 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.</p>						
Police Department	David Gonzales	10/25/2019	11/1/2019	10/25/2019	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/25/2019 12:12 PM DG)						
The following CPTED comments are from Captain Ed Fowler of the Rockwall Police Department						
SP2019-040 Ellis Center Phase 2						
Considerations						
<ul style="list-style-type: none"> • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing • Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. • Consider lighting spaced at intervals around the overhead doors(sides) and rear that fully illuminate the area. • Evaluate transitional lighting for employees entering the parking lot from an area that has bright lighting to dim lighting and may pose a visual problem • There does not appear to be shrubs or trees that will obstruct views around the business • Consider additional locking mechanisms for overhead doors in the form of a bar system and case hardened locking system • Consider the addition of removable bollards for overhead doors to prevent vehicles from being used to breach the doors • Consider auxiliary locking system on main entrance door(s) with limited key access, key pad or electronic badges for afterhours employees • Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors • Consider motion sensor alarms inside the business and motion activated lighting for the interior. • Consider installation of locking mechanisms on all sliding windows up to the use of security rods. • Roof access points should be locked from the inside • Consider installation of solid core doors for offices inside the business including the room that houses the safe Single cylinder locks for all offices and a double cylinder lock for the safe room • Consider an additional alarm inside the safe room, either attached to the entrance door or safe • Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage. • Consider the addition of security cameras for the interior the business. • Interior considerations are not being added without speaking with the business owners/ reps first. 						
<p>The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.</p>						



Revision No.	Date	Description

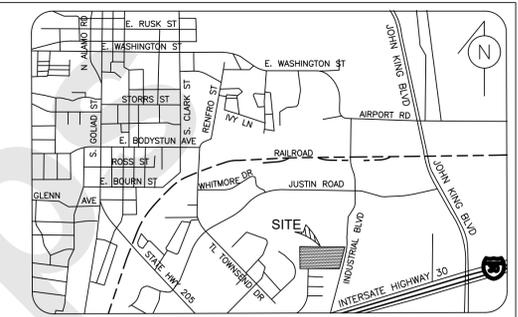
PRELIMINARY
 FOR INTERIM REVIEW ONLY
 THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

DYLAN B. HEDRICK 10/21/19
 NAME P.E. NO.
 DATE 10/18/2019
 TBPE FIRM # F-312

OWNER/ DEVELOPER
 ROCKWALL URBAN INDUSTRIAL , LP
 13150 COIT ROAD
 DALLAS, TX. 75240
 CONTACT: REID CALDWELL
 EMAIL: reid@longbowinterests.com
 TEL: (214) 457-8198

ENGINEER
 HALFF ASSOCIATES, INC.
 1201 NORTH BOWSER ROAD
 RICHARDSON, TX. 75081
 CONTACT: DYLAN HEDRICK
 EMAIL: dhedrick@halff.com
 TEL: (214) 217-6426
 TBPE FIRM# F-312

Project No.: 35989
 Issued: OCTOBER 2019
 Drawn By: REP
 Checked By: DBH
 Scale: AS SHOWN
 Sheet Title
DETAILED SITE PLAN
 1 OF 1
 Sheet Number



SHEET DATA:

CURRENT ZONING	LIGHT INDUSTRIAL
PROPOSED LAND USE:	LIGHT INDUSTRIAL
TOTAL SITE AREA:	7.02 ACRES

BUILDING:		
BUILDING 1	50,400	SF
BUILDING 2	25,200	SF
BUILDING 3	12,000	SF

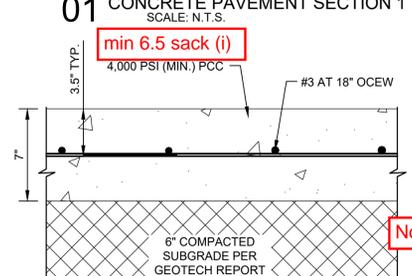
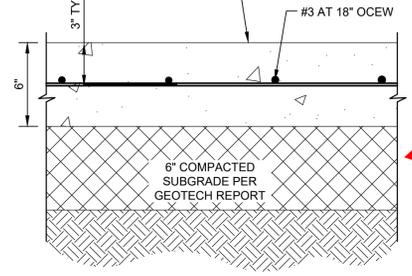
PARKING:		
REQUIRED: 1 SPACE/1,000 SF		
TOTAL REQUIRED:	88	SPACES
PROVIDED:	161	SPACES
ACCESSIBLE SPACES PROVIDED:	6*	SPACES

*SPACES ARE INCLUDED IN TOTAL ABOVE

PAVING LEGEND

	6" 3,600 PSI CONCRETE PAVEMENT.
	7" 4,000 PSI CONCRETE PAVEMENT.
	4" SIDEWALK
	6" CURB
	FIRE LANE
	PROPERTY LINE

EXISTING FEATURES LEGEND		PROPOSED FEATURES LEGEND	
	F.H. FIRE HYDRANT		POWER POLE
	OVERHEAD POWERPOLE		FIRE HYDRANT
	SSMH SANITARY SEWER MANHOLE		GRATE INLET
	WV WATER VALVE		CURB INLET
	EXISTING CONTOURS		STORM HEADWALL
			TRANSFORMER PAD
			PROPOSED CONTOURS
			LIGHT POLE

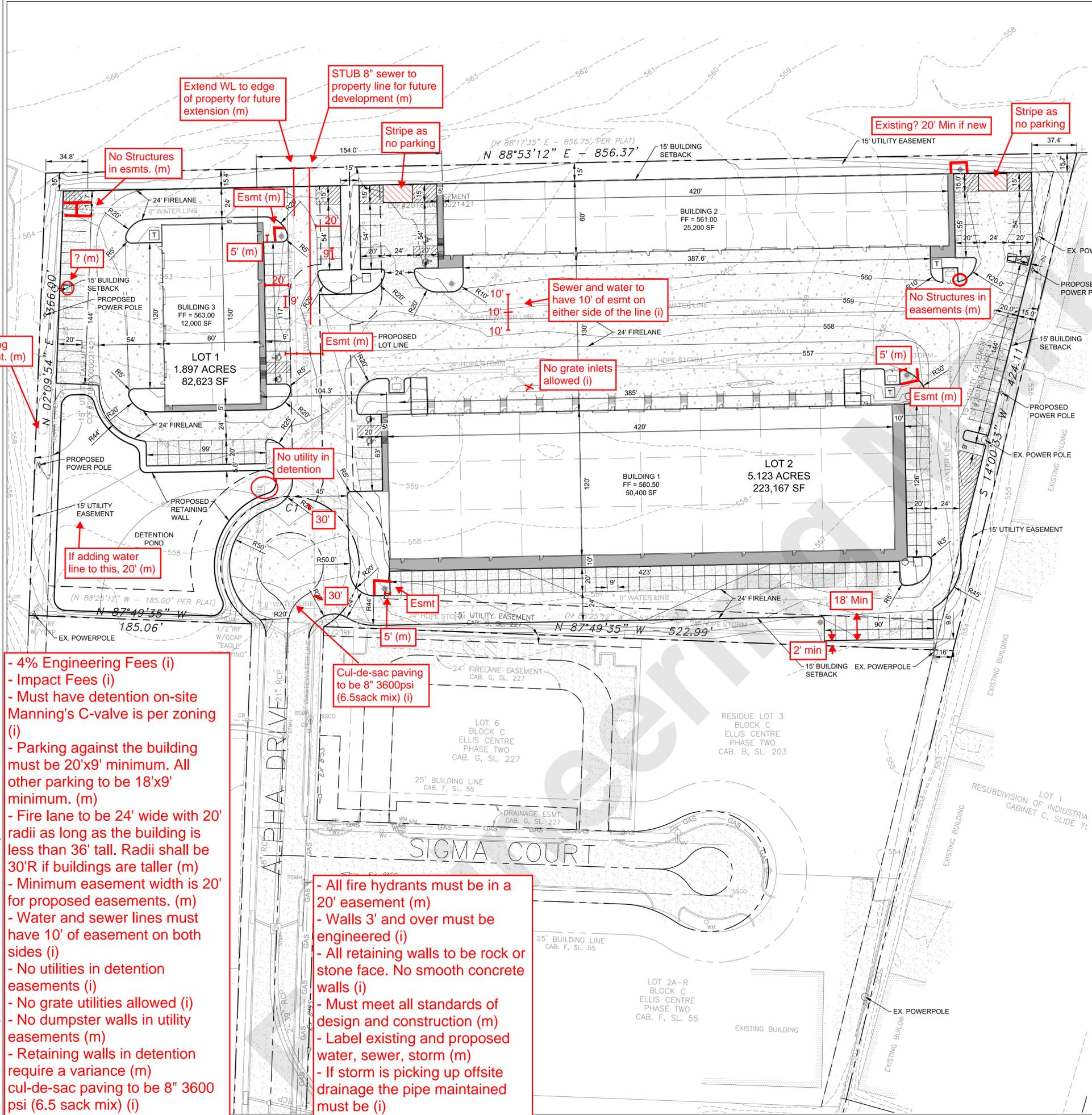


NOTES:
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

OWNER/ DEVELOPER
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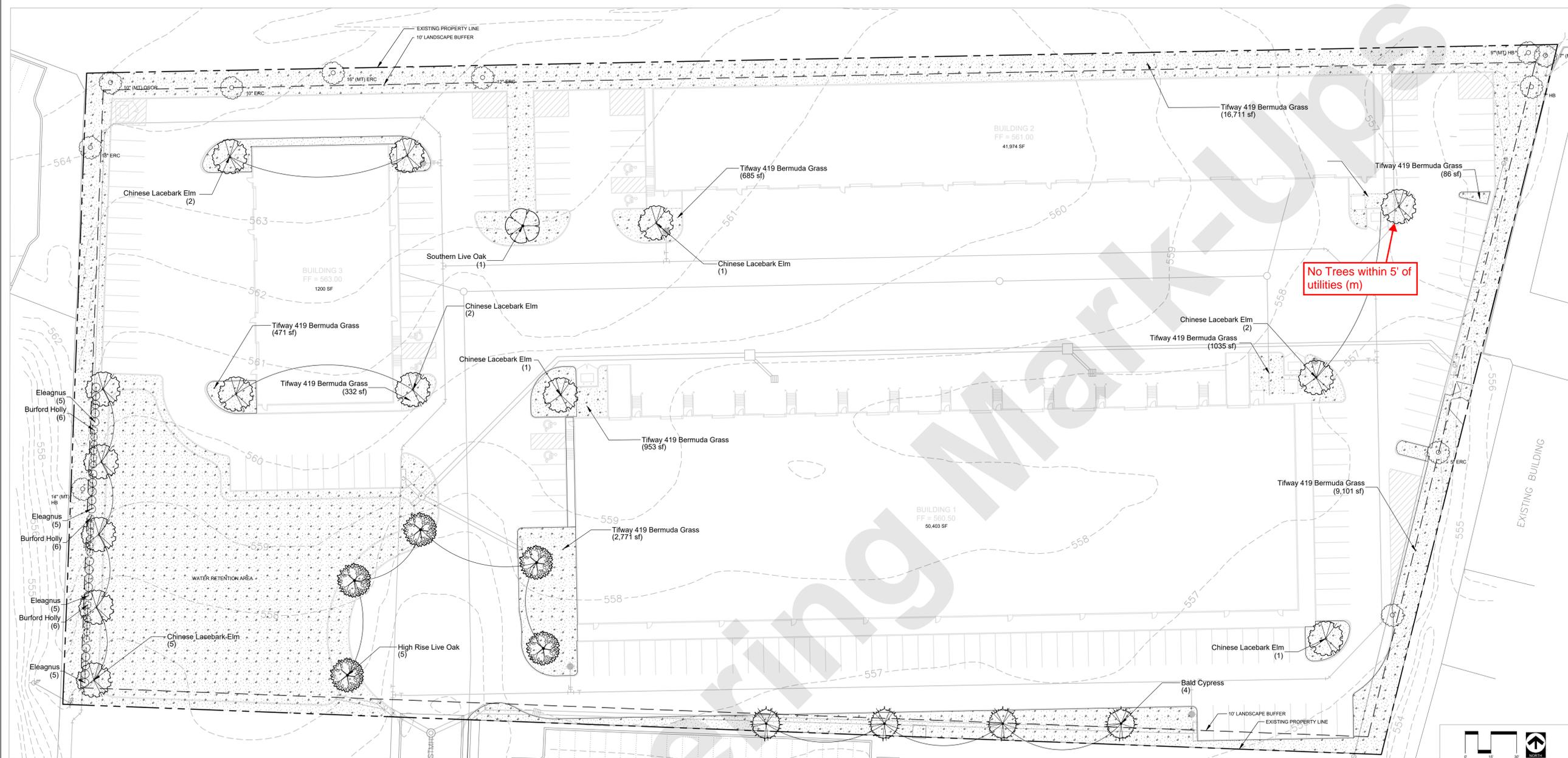
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 EMAIL: dhedrick@halff.com
 TEL: (214) 217-6426
 TBPE FIRM# F-312

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAIN WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF DESIGN.



- 4% Engineering Fees (i)
- Impact Fees (i)
- Must have detention on-site Manning's C-value is per zoning (i)
- Parking against the building must be 20'x9' minimum. All other parking to be 18'x9' minimum. (m)
- Fire lane to be 24' wide with 20' radii as long as the building is less than 36' tall. Radii shall be 30'R if buildings are taller (m)
- Minimum easement width is 20' for proposed easements. (m)
- Water and sewer lines must have 10' of easement on both sides (i)
- No utilities in detention easements (i)
- No grate utilities allowed (i)
- No dumpster walls in utility easements (m)
- Retaining walls in detention require a variance (m)
- cul-de-sac paving to be 8" 3600 psi (6.5 sack mix) (i)

- All fire hydrants must be in a 20' easement (m)
- Walls 3' and over must be engineered (i)
- All retaining walls to be rock or stone face. No smooth concrete walls (i)
- Must meet all standards of design and construction (m)
- Label existing and proposed water, sewer, storm (m)
- If storm is picking up offsite drainage the pipe maintained must be (i)



PLANTING PLAN

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	45 gal	3" Cal	8'-10" Ht.	4'-6" Spd	1
	Quercus virginiana 'High Rise' / High Rise Live Oak	45 gal	3" Cal	8'-10" Ht.	6'-7" Spd.	5
	Taxodium distichum / Bald Cypress	45 gal	3" Cal	10'-12" Ht.	4'-6" Spd	4
	Ulmus parvifolia / Chinese Lacebark Elm	45 gal	3" Cal	8'-10" Ht.	4'-6" Spd	14
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CAL	HT	SPD	QTY
	Eleagnus x ebbingei / Eleagnus	5 gal		18"-24" Ht.	18"-24" Spd	20
	Ilex cornuta 'Burfordii' / Burford Holly	5 gal		18"-24" Ht.	18"-24" Spd	18
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		
	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	SOLID SOD		66,576 sf		

LANDSCAPE REQUIREMENTS

REQUIRED LANDSCAPING		
ZONED LIGHT INDUSTRIAL	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA PROVIDED (%)	10% OF SITE	21% OF SITE
TOTAL LANDSCAPE AREA PROVIDED (SF)	31,598 SF	66,576 SF
TREE MITIGATION		
MITIGATION REQUIREMENTS (inches)	REQUIRED	PROVIDED
	59" CALIPER*	60" CALIPER
* See Sheet L.1.01 for calculations		
PARKING LOT LANDSCAPING		
200 SF MIN/ 2 ROWS OR MORE	REQUIRED	PROVIDED
3 AREAS 200 FT/SQ X 3	600 SF	✓
ONE TREE WITHIN 80' OF REQ. PARKING	✓	
PERMIABLE LANDSCAPE PROVIDED		3,756 SF
SCREENING REQUIREMENTS		
	REQUIRED	PROVIDED
SCREEN TRASH AREAS	N/A	
SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
STREET TREES		
	REQUIRED	PROVIDED
1 TREE / 50' FRONTAGE	1	1

PLANTING NOTES

PREPARATION
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

PLANT LOCATIONS
 REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

COORDINATION
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

MAINTENANCE
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

VERIFICATION
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

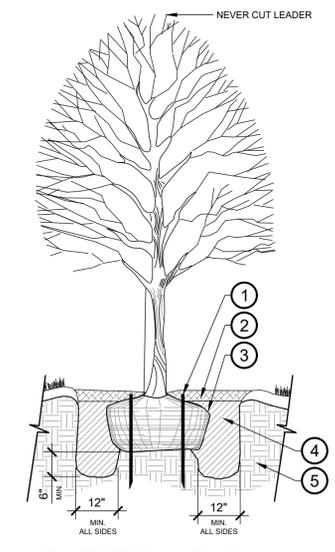
PLANTING BEDS
 ALL BED AREAS ARE TO BE FLUSH WITH FINISHED GRADE AT ADJACENT PAVEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO BE A DEPTH OF 6", ADDING PREPARED SOIL MIXTURE AS REQUIRED.

MULCH
 AFTER SETTLEMENT, ALL PLANTING BED MULCH DEPTHS SHALL BE A MIN. OF 3". ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND REPLANTED. MULCH SHALL BE TEXAS NATIVE CEDAR

STANDARDS
 ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.

PROTECTED TREES
 PROTECTED TREES SHALL BE MARKED AND THE DRIP LINE OF SAID TREES SHALL BE PROTECTED PRIOR TO AND DURING ALL CONSTRUCTION, INCLUDING EARTHWORK.

IRRIGATION
 IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.



- KEY:**
- (1) ARBOR STAKES, INSTALL PER MANUFACTURE'S SPECIFICATIONS
 - (2) SPECIFIED MULCH - 3" MIN. DEPTH ENTIRE TREE BASIN
 - (3) SET TOP OF ROOT BALL 3" ABOVE FINISH GRADE; BUILD 3" HT. SAUCER AROUND PLANTING PIT WITH TOPSOIL
 - (4) LIVING EARTH PLANTING MIX OR APPROVED EQUAL, BY LANDSCAPE ARCHITECT. WATER AND TAMP TO REMOVE SIDE AND BOTTOM AIR POCKETS 6" MIN.
 - (5) UNCOMPACTED NATIVE SOIL UNDISTURBED SUBGRADE
- NOTE:**
 FOR BALL & BURLAP REMOVE WIRE/TWINE FROM AROUND BURLAP, FOLD TOP THIRD DOWN OR CUT/REMOVE PRIOR TO BACKFILL.

1 NEW TREE PLANTING
 N.T.S.

EXISTING TREES



Revision No.	Date	Description



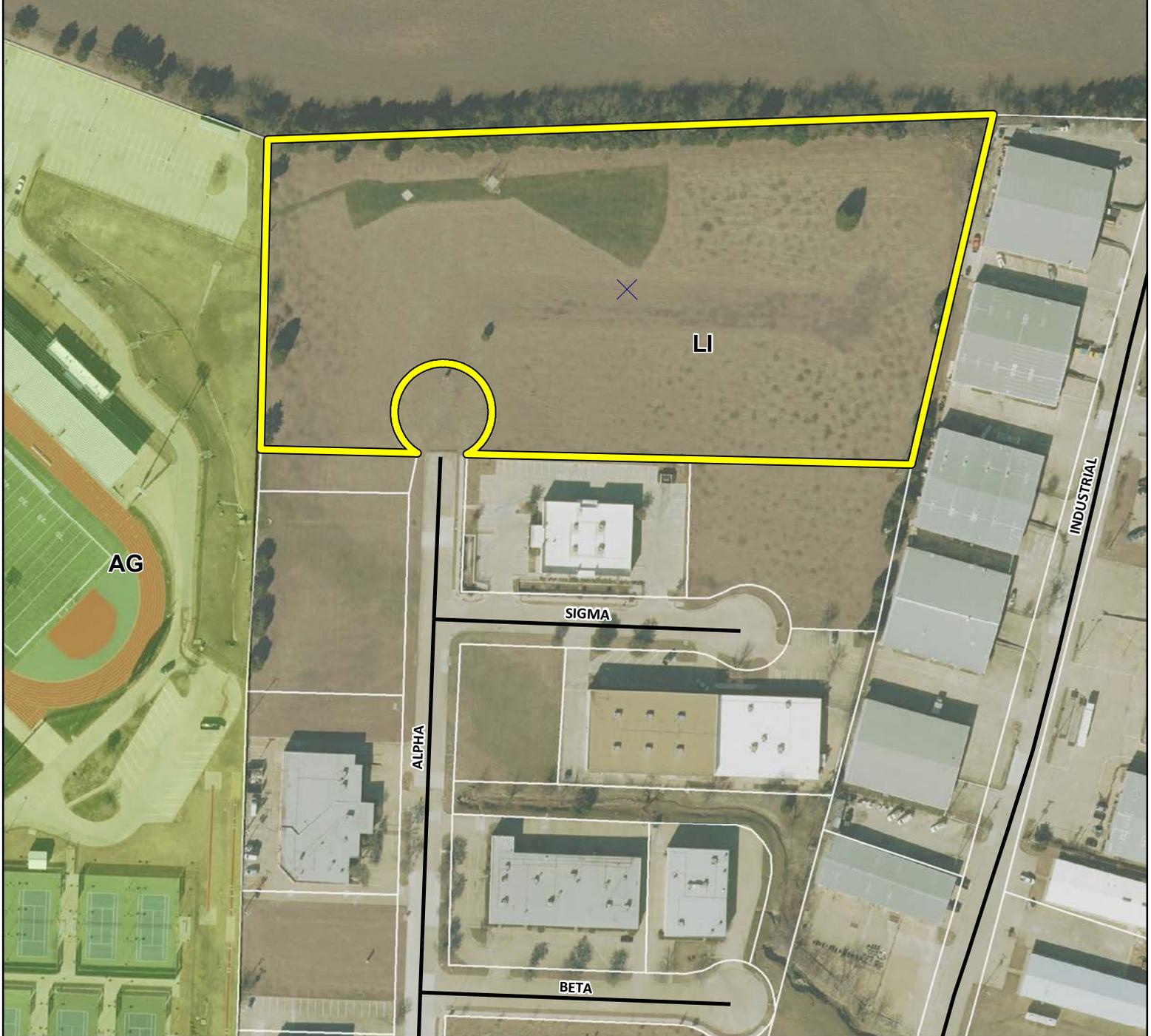
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Project No.:	35989
Issued:	
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	

LANDSCAPE PLAN



SP2019-040 - SITE PLAN FOR ELLIS CENTRE PHASE 2 ADDITION
SITE PLAN - LOCATION MAP =



City of Rockwall

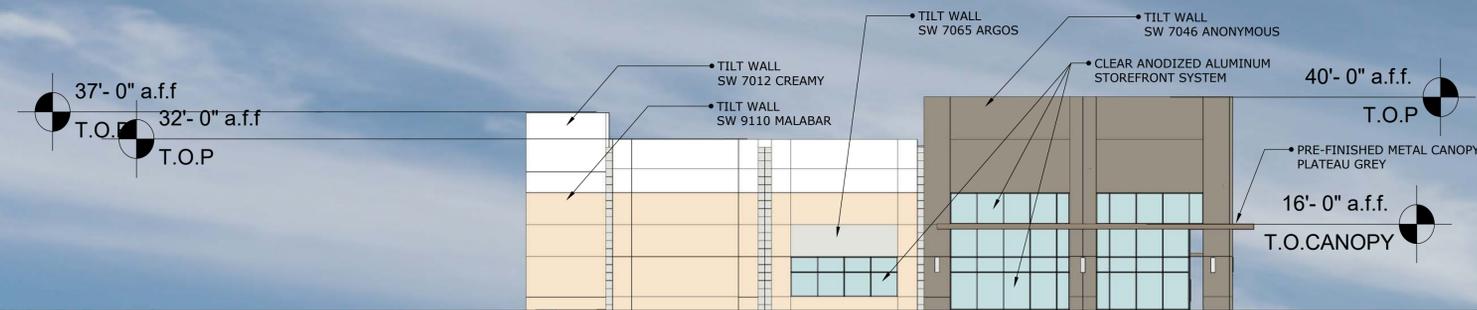
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

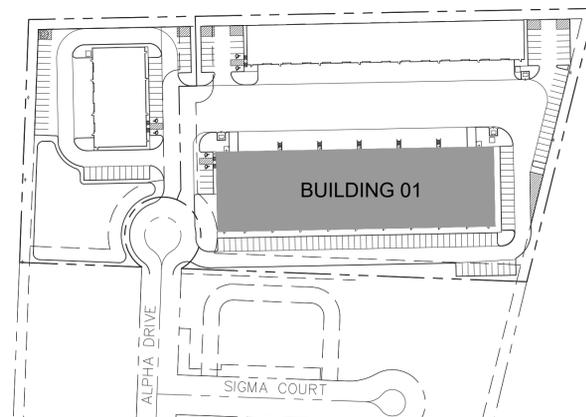




EAST



WEST

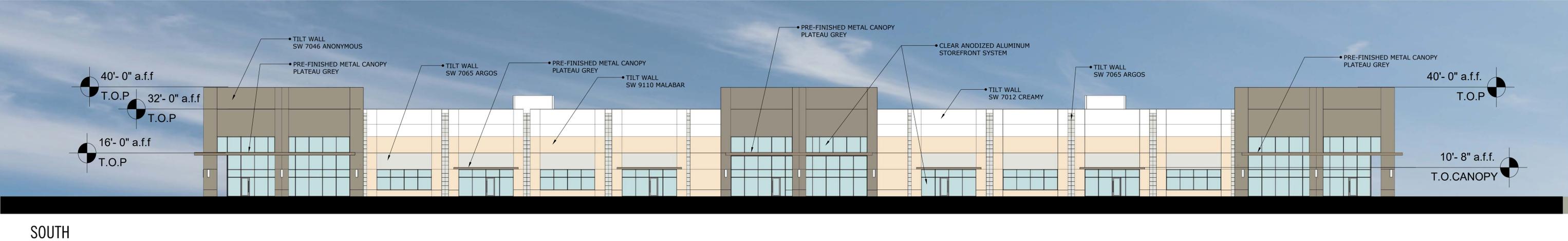


FAÇADE				
BLDG 1				
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)	
NORTH	0	14,140	14,140	
SOUTH	235	11,220	11,455	
EAST	59	3,734	3,793	
WEST	59	3,734	3,793	
SF of Materials		353	32,828	33,181
Percentage of Material		1%	99%	100%
		TOTAL		33,181

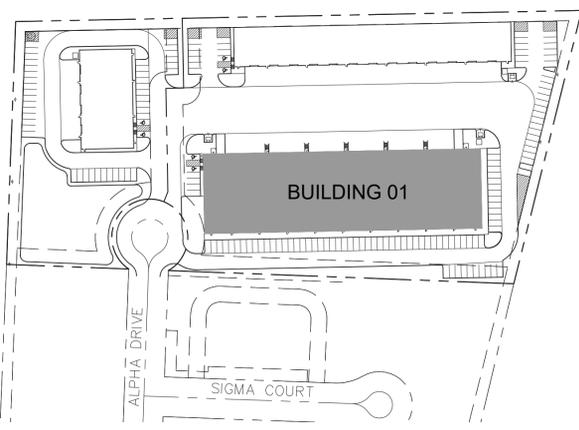
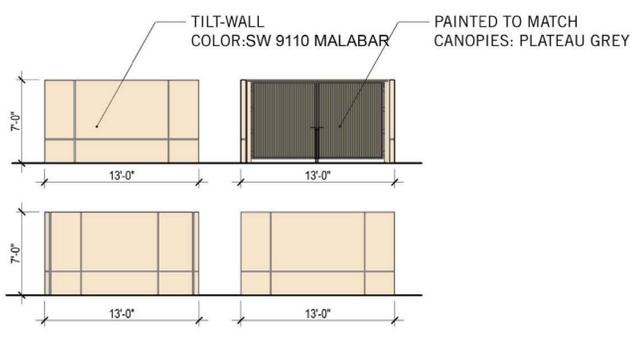
BUILDING ELEVATIONS

Scale: 1" = 20'-0"





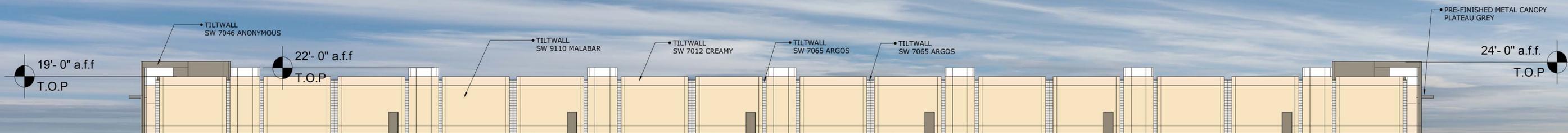
TYPICAL DUMPSTER ENCLOSURE ELEVATIONS



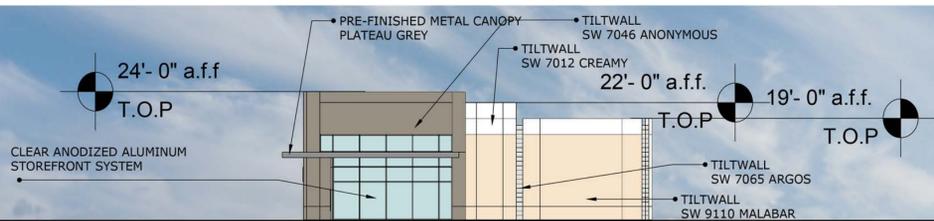
FAÇADE				
BLDG 1				
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)	
NORTH	0	14,140	14,140	
SOUTH	235	11,220	11,455	
EAST	59	3,734	3,793	
WEST	59	3,734	3,793	
SF of Materials		353	32,828	TOTAL 33,181
Percentage of Material		1%	99%	100%



SOUTH



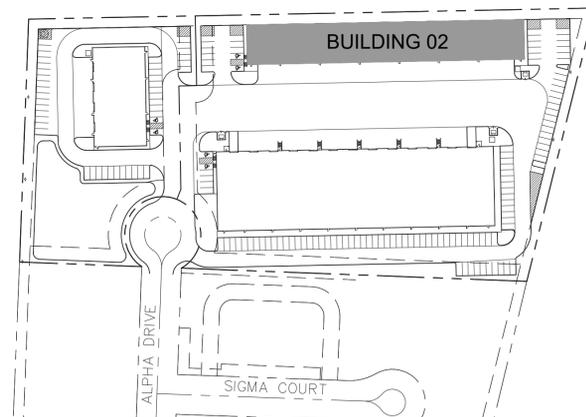
NORTH



EAST



WEST



FAÇADE		FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)	
BLDG 2	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	9,178	9,178
SOUTH	66	5,714	5,780
EAST	33	1,086	1,119
WEST	33	1,086	1,119
SF of Materials	132	17,065	17,196
Percentage of Material	1%	99%	100%



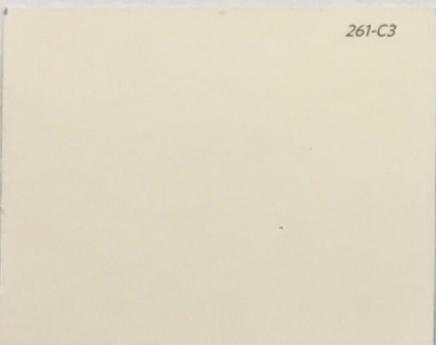
1. SW 7046 ANONYMOUS



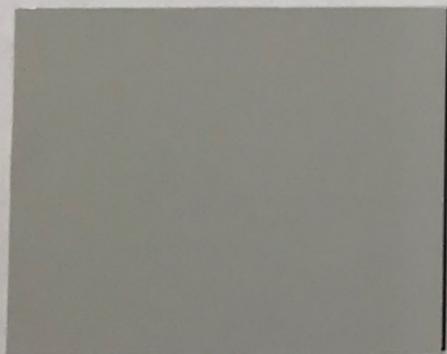
5. PRE-FINISHED METAL CANOPY
PLATEAU GRAY



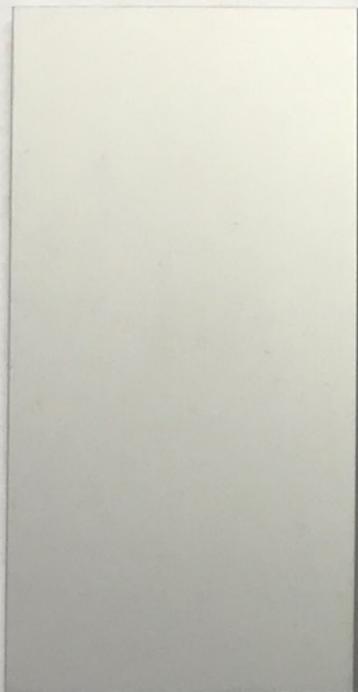
2. SW 9110 MALABAR



3. SW 7012 CREAMY



4. SW 7065 ARGOS



6. WINDOW MULLION - CLEAR ANODIZED



APPLICANT INFORMATION

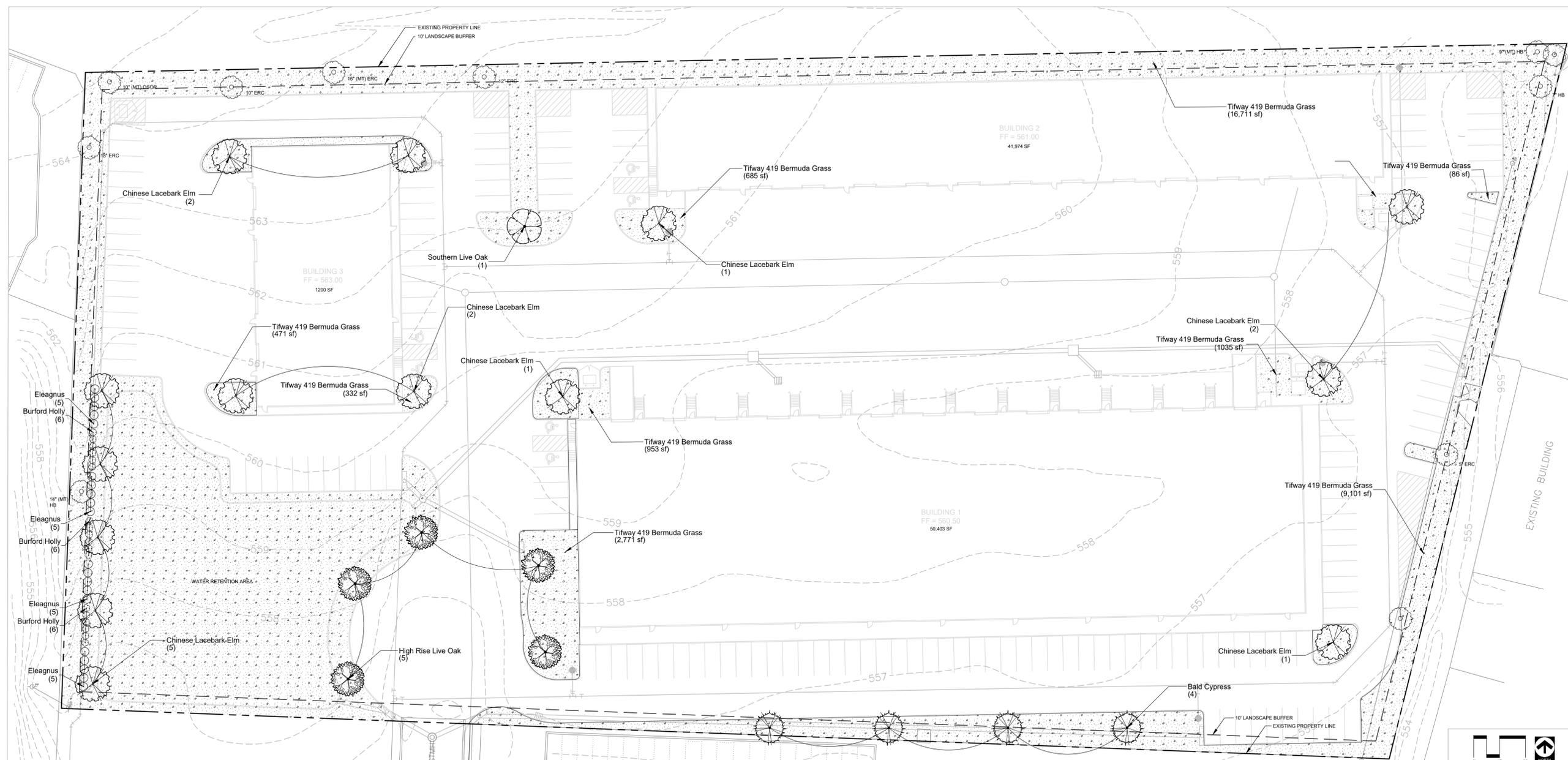
O'BRIEN
Joshua Atkins, AIA
5310 HARVEST HILL ROAD
DALLAS, TX 75230
972.788.1010
josh.atkins@obrienarch.com

OWNER INFORMATION

ROCKWALL URBAN INDUSTRIAL, LP.
13150 COIT RD, SUITE 205
DALLAS, TX 75240
214.457.8198
reid@longbowinterests.com

PROJECT NAME

Rockwall Urban + Industrial Center
CASE NUMBER: _____



PLANTING PLAN

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	45 gal	3" Cal	8'-10' Ht.	4'-6" Spd	1
	Quercus virginiana 'High Rise' / High Rise Live Oak	45 gal	3" Cal	8'-10' Ht.	6'-7" Spd.	5
	Taxodium distichum / Bald Cypress	45 gal	3" Cal	10'-12' Ht.	4'-6" Spd	4
	Ulmus parvifolia / Chinese Lacebark Elm	45 gal	3" Cal	8'-10' Ht.	4'-6" Spd	14
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CAL	HT	SPD	QTY
	Eleagnus x ebbingei / Eleagnus	5 gal		18"-24" Ht.	18"-24" Spd	20
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GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		
	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	SOLID SOD		66,576 sf		

LANDSCAPE REQUIREMENTS

REQUIRED LANDSCAPING		
ZONED LIGHT INDUSTRIAL	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA PROVIDED (%)	10% OF SITE	21% OF SITE
TOTAL LANDSCAPE AREA PROVIDED (SF)	31,598 SF	66,576 SF
TREE MITIGATION		
MITIGATION REQUIREMENTS (inches)	59" CALIPER*	60" CALIPER
* See Sheet L.1.01 for calculations		
PARKING LOT LANDSCAPING		
200 SF MIN/ 2 ROWS OR MORE	REQUIRED	PROVIDED
3 AREAS 200 FT/SQ X 3	600 SF	✓
ONE TREE WITHIN 80' OF REQ. PARKING	✓	
PERMIABLE LANDSCAPE PROVIDED		3,756 SF
SCREENING REQUIREMENTS		
SCREEN TRASH AREAS	N/A	
SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
STREET TREES		
1 TREE / 50' FRONTAGE	REQUIRED	PROVIDED
	1	1

PLANTING NOTES

PREPARATION
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

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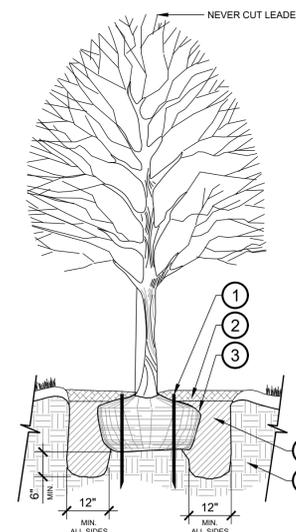
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IRRIGATION
 IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.



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 - (4) LIVING EARTH PLANTING MIX OR APPROVED EQUAL BY LANDSCAPE ARCHITECT. WATER AND TAMP TO REMOVE SIDE AND BOTTOM AIR POCKETS 6" MIN.
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- NOTE:**
 FOR BALL & BURLAP REMOVE WIRE/TWINE FROM AROUND BURLAP. FOLD TOP THIRD DOWN OR CUT/REMOVE PRIOR TO BACKFILL.

1 NEW TREE PLANTING
 N.T.S.

EXISTING TREES



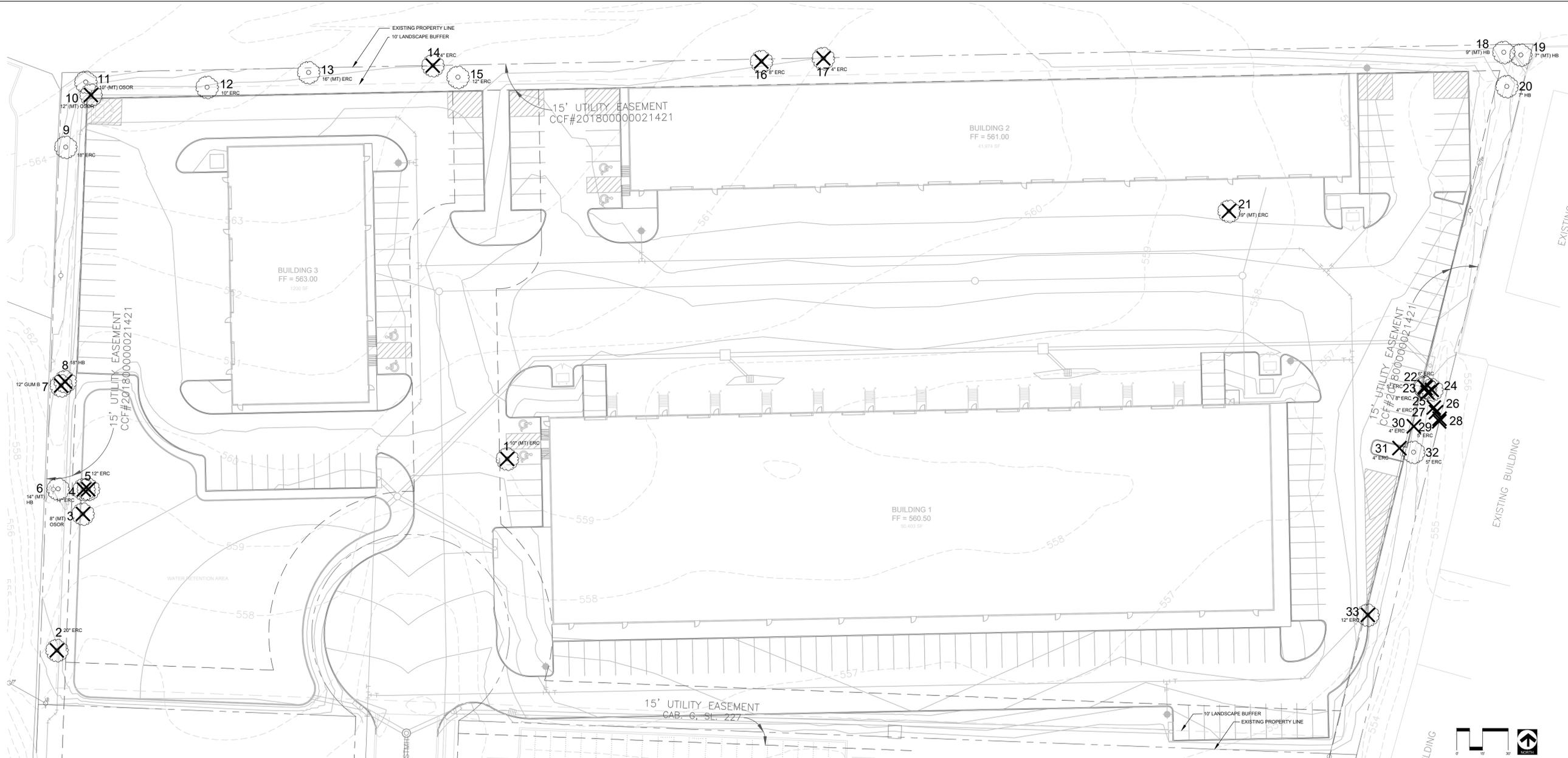
Revision No.	Date	Description



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL A. WILSON, L.S., LICENSE NO. 2068, AS TESTATION OF A SEALED DOCUMENT WITHOUT FURTHER NOTIFICATION TO THE RESPONSIBLE LANDSCAPE ARCHITECT IS AN OFFENSE UNDER TITLE 22, TEXAS ADMINISTRATIVE CODE, CHAPTER 249, SUBCHAPTER 249.001, EXCEPT AS PROVIDED IN THIS DRAWING OR OTHERWISE BY THE OFFICE OF THE REGISTERED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR SURVEYOR. EXPIRES 08/31/2025.

Project No.:	35989
Issued:	
Drawn By:	CAP
Checked By:	MAW
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Sheet Title	

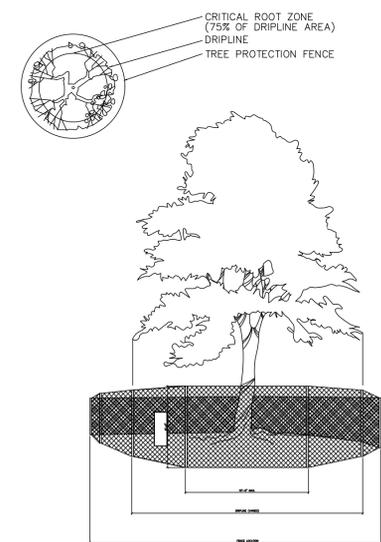
LANDSCAPE PLAN



TREE INVENTORY / MITIGATION

TREE #	SPECIES	SIZE (Inches)	CLASSIFICATION	STATUS	REQ. MITIGATION (Inches)
1	EASTERN RED CEDAR	10 MULTI-TK	NON-PROTECTED	REMOVE	
2	EASTERN RED CEDAR	20	SECONDARY	REMOVE	10
3	OSAGE ORANGE	8 MULTI-TK	NON-PROTECTED	REMOVE	
4	EASTERN RED CEDAR	11	SECONDARY	REMOVE	6
5	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
6	HACKBERRY	14 MULTI-TK	SECONDARY	PRESERVE	
7	GUM BUMILIA	12	PROTECTED	REMOVE	12
8	HACKBERRY	18	SECONDARY	REMOVE	9
9	EASTERN RED CEDAR	18	SECONDARY	PRESERVE	
10	OSAGE ORANGE	12 MULTI-TK	NON-PROTECTED	REMOVE	
11	OSAGE ORANGE	10 MULTI-TK	NON-PROTECTED	PRESERVE	
12	EASTERN RED CEDAR	10	SECONDARY	PRESERVE	
13	EASTERN RED CEDAR	16 MULTI-TK	SECONDARY	PRESERVE	
14	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
15	EASTERN RED CEDAR	12	SECONDARY	PRESERVE	
16	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
17	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
18	HACKBERRY	9 MULTI-TK	NON-PROTECTED	PRESERVE	
19	HACKBERRY	7 MULTI-TK	NON-PROTECTED	PRESERVE	
20	HACKBERRY	7	NON-PROTECTED	PRESERVE	
21	EASTERN RED CEDAR	19 MULTI-TK	SECONDARY	REMOVE	10
22	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
23	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
24	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
25	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
26	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
27	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
28	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
29	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
30	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
31	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
32	EASTERN RED CEDAR	5	NON-PROTECTED	PRESERVE	
33	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
TOTAL					59

PLAN VIEW



EXISTING TREES

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

LANDSCAPE REQUIREMENTS

TREE MITIGATION	
REQUIRED TREES (Inches)	59" CALIPER*
PROVIDED TREES (Inches)	60" CALIPER

* See Sheet L 2.01 for Planting Locations

STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
- Protective fences shall be erected according to City Standards for Tree Protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-0" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
 - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
 - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
 - Wounds to exposed roots, trunk or limbs by mechanical equipment;
 - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
 - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
 - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimized root damage);
 - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
 - Where there are severe space constraints due to tract size, or other special requirements, contact an Arborist to discuss alternatives.

Special Note: Exceptions are permitted for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no silting of stock piling of material or dirt is allowed around trees.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft. in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
- Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs. All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees).

01 TREE PROTECTION DETAIL
 SCALE: N.T.S.

Revision No.	Date	Description



Project No.:	35989
Issued:	10-18-19
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title:	TREESCAPE PLAN

Revision No.	Date	Description

PRELIMINARY
 FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES.

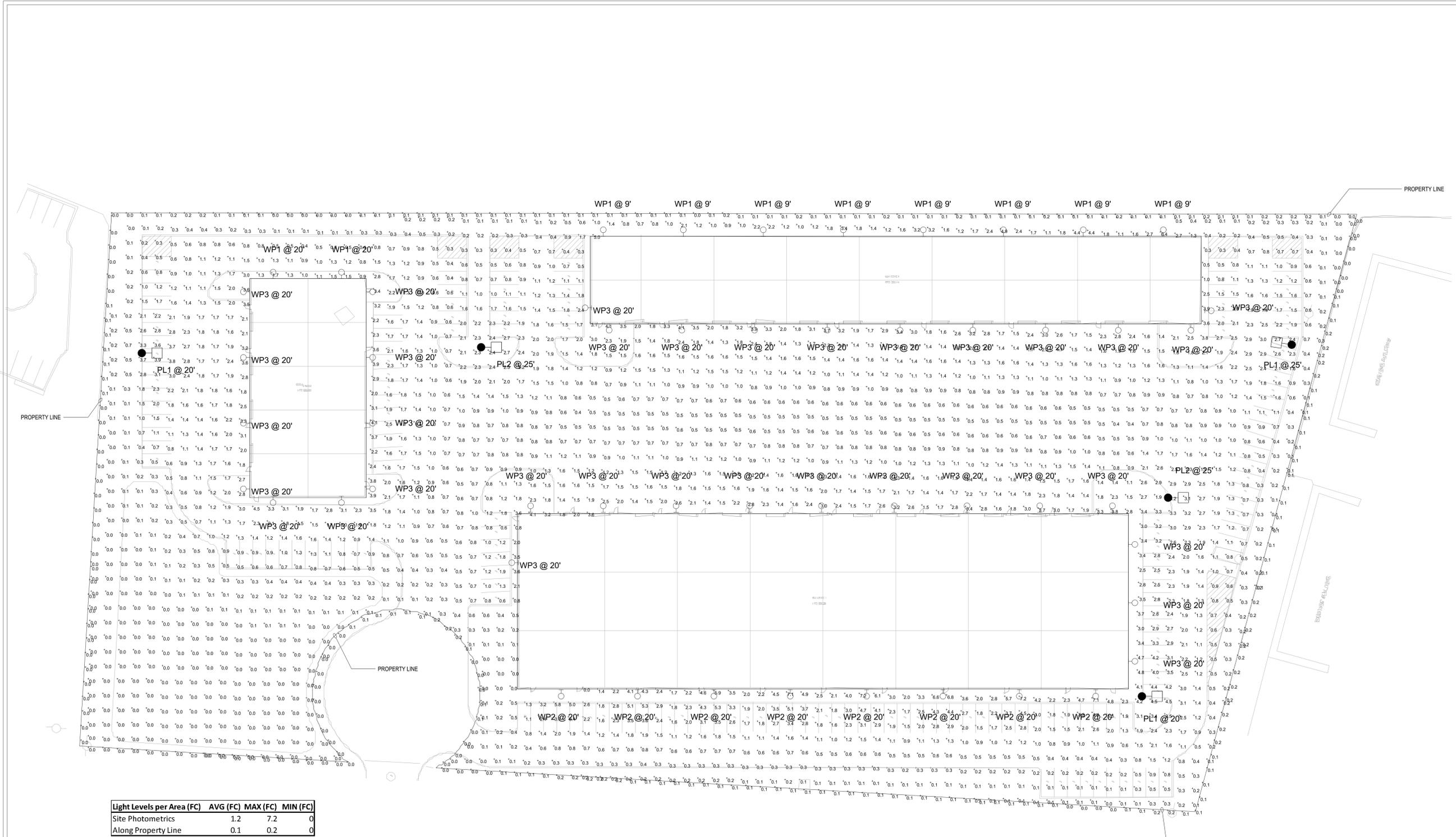


Project No.: 19068
 Issued: OCTOBER 2019
 Drawn By:
 Checked By:
 Scale: AS SHOWN
 Sheet Title: SITE

PHOTOMETRICS

E-102
 Sheet Number

Case Number:



Light Levels per Area (FC)	AVG (FC)	MAX (FC)	MIN (FC)
Site Photometrics	1.2	7.2	0
Along Property Line	0.1	0.2	0

Label	Catalog Number	Description	Lamp	Lamp Lumens	Watts
WP1	WSR LED P1 SR2 40K MVOLT	WSR LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR2 OPTIC TYPE	LED	2251	20
WP2	WST LED P3 40K VF MVOLT	WST LED Performance package 3 4000 K, visual comfort forward throw, MVOLT	LED	6609	50
WP3	WSR LED P4 SR4 40K MVOLT	WSR LED WITH P4-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	LED	6388	61
PL1	DSXO LED P5 40K T2M MVOLT HS	DSXO LED P5 40K T2M MVOLT with houseside shield	LED	9550	89
PL2	DSXO LED P6 40K T5M MVOLT HS	DSXO LED P6 40K T5M MVOLT with houseside shield	LED	11955	134

1 SITE PHOTOMETRICS
 SCALE: 1/32" = 1'-0"



Jordan & Skala Engineers

17855 North Dallas Parkway • Suite 320
 Dallas, TX, 75287
 p. 469.385.1616 • f. 469.385.1615
 Texas Registered Engineering Firm F-4990

Project Number: 1930681 Drawn By: DNH Checked By: JW

SHEET SIZE: 24" x 36"



October 18, 2019
AVO 35989

Korey Brooks, AICP
Senior Planner
Planning and Zoning
City of Rockwall
385 S. Goliad St
Rockwall, Texas 75087

RE: Detention Pond Slope Variance for Rockwall Urban + Industrial Center

Dear Mr. Brooks:

On behalf of Reid Caldwell and Rockwall Urban Industrial, LP we request a variance to section 3.3.4A of the City of Rockwall Standards of Design and Construction that states "Detention ponds shall have a side slope 4:1 or flatter." Based on maximizing the value of this property and the proposed site layout the detention pond will need to have retaining walls in order to meet the City of Rockwall drainage design.

We believe this variance request is reasonable because it is consistent with the developments directly around our site. The site located directly to our south at the NE Corner of Alpha Dr. and Sigma Ct. has retaining walls built as part of its detention system. If there are any questions or concerns please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Matthew Gardner".

Matthew Gardner, P.E.
Civil Engineer
mgardner@halff.com
214-346-6308
HALFF ASSOCIATES, INC.

City of Rockwall Project Plan Review History

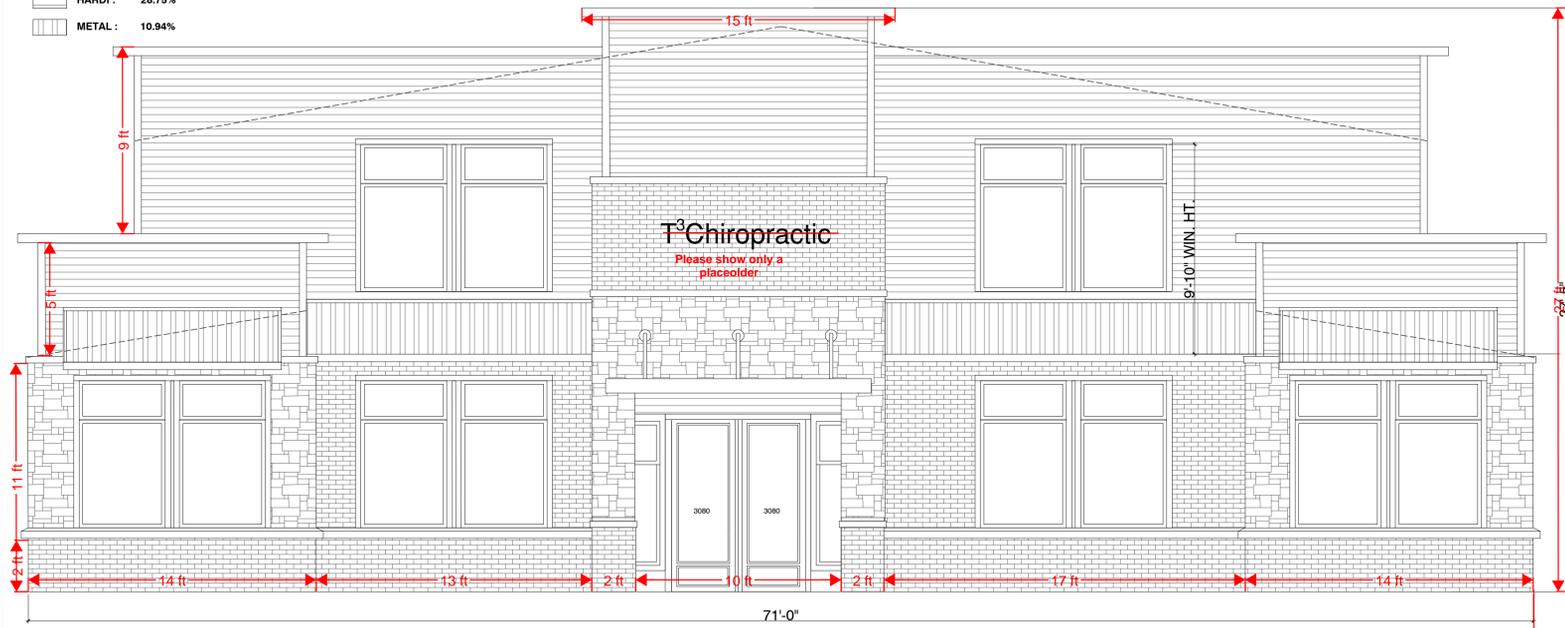


Project Number SP2019-041	Owner ZAPH & ATH PROPERTIES LLC	Applied 10/22/2019	LM
Project Name Site Plan for a Medical Office Building	Applicant LEEANN LATIMER	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 1503 AIRPORT RD		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision COLUMBIA PARK	Tract 2	Block A	Lot No 2
		Parcel No 4296-000A-0002-00-OR	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/22/2019	10/29/2019	10/22/2019		APPROVED	
ENGINEERING	Sarah Johnston	10/22/2019	10/29/2019	10/25/2019	3	COMMENTS	<p>(10/25/2019 9:40 AM SJ)</p> <p>M - Parking near the building or head to head parking to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19</p> <p>M – All fire lanes or drive isles must be a minimum of 24’ wide. Standards of Design and Construction 2.19</p> <p>M - Must show existing and proposed utilities.</p> <p>M - Must label that detention for this property was accounted for in phase 1.</p> <p>M - Minimum easement width is 20' for proposed easements. Standards of Design 5.3.1 and 6.4</p> <p>I - 4% Engineering Fees</p> <p>I - Impact Fees</p> <p>I - Walls 3' and over must be engineered</p> <p>I - Retaining walls to be rock or stone face, No smooth concrete walls</p> <p>I - Must dowell into old paving where trying on</p> <p>I - Must meet all standards of design & Construction</p> <p>I - No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 6.4.1</p>
FIRE	Ariana Hargrove	10/22/2019	10/29/2019	10/24/2019	2	COMMENTS	See notes
							<p>(10/24/2019 3:37 PM AA)</p> <p>IFC 903.2 Approved automatic fire sprinkler systems shall be installed in all new buildings with a fire flow calculation area of 5,000 square feet or greater.</p> <p>The fire-flow calculation area shall be the total floor area of all floor levels within the exterior walls, and under the horizontal projections of the roof of a building.</p> <p>Provide the fire flow calculation area calculation.</p>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
GIS (10/22/2019 3:13 PM LS) Please use the 1503 Airport Rd (75087) address.	Lance Singleton	10/22/2019	10/29/2019	10/22/2019	APPROVED	See comments
PLANNING Please see markups	Korey Brooks	10/22/2019	10/29/2019	10/25/2019	3 COMMENTS	Comments
Police Department SP2019-041 Medical Office Considerations.	Police Department	10/25/2019	11/1/2019	10/25/2019	COMMENTS	Comments
<ul style="list-style-type: none"> • Consider additional security lighting at corners of building and dumpster(s) area. • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing. • Consider mirror(s) on dumpster fencing to reveal any persons inside holding (fencing) area. • Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster (ID Theft, etc.) • Ensure that all lighting is positioned in a manner to minimize glare and reduce all shadows especially at the rear of business. • Consider auxiliary locking system on all entrance and exit doors with keypad or electronic badge requirement. • Consider the placement of bollards at the front of the front and rear of the business to keep a vehicle from being driven through these doors as a breaching tool. They should match the architecture. • Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors. • Consider motion sensor alarms inside the business and motion activated lighting for the interior. • Consider installation of locking mechanisms/bars on rear doors during closed hours. • Consider installation of solid core doors for offices inside the business including the room that houses any monies or safe. Single cylinder locks for all offices and a double cylinder lock for the safe room. • Consider an additional alarm inside the safe room, either attached to the entrance door or safe. • Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage and have IR capability. • Consider camera monitors for the rear of the business to ensure that employees will have a complete and unobstructed view prior to exiting into the rear parking area (Especially after hours). • Consider the addition of security cameras for the interior the business. • Ensure new trees andbushes are trimmed within acceptable standards (Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night. • Consider ground wash lighting around the 10' landscape buffer to eliminate any shadows or dark areas. • Consider additional ground wash lighting around the building to enhance the look and further eliminate any shadows or dark areas. • Utilize plants around all first floor widows that will deter anyone from entering this area (e.g. native bushes or plants that have thorns). • More than willing to speak directly with the business owners or developers about the property. • Interior considerations are not being added without speaking with the business owners/ reps first. 						

BRICK : 47.38%
 STONE : 12.96%
 HARDI : 28.75%
 METAL : 10.94%



FRONT ELEVATION ← West
 SCALE: 1/4" = 1' - 0"

BRICK : 47.36%
 STONE : 6.32%
 HARDI : 15.86%
 METAL : 30.46%



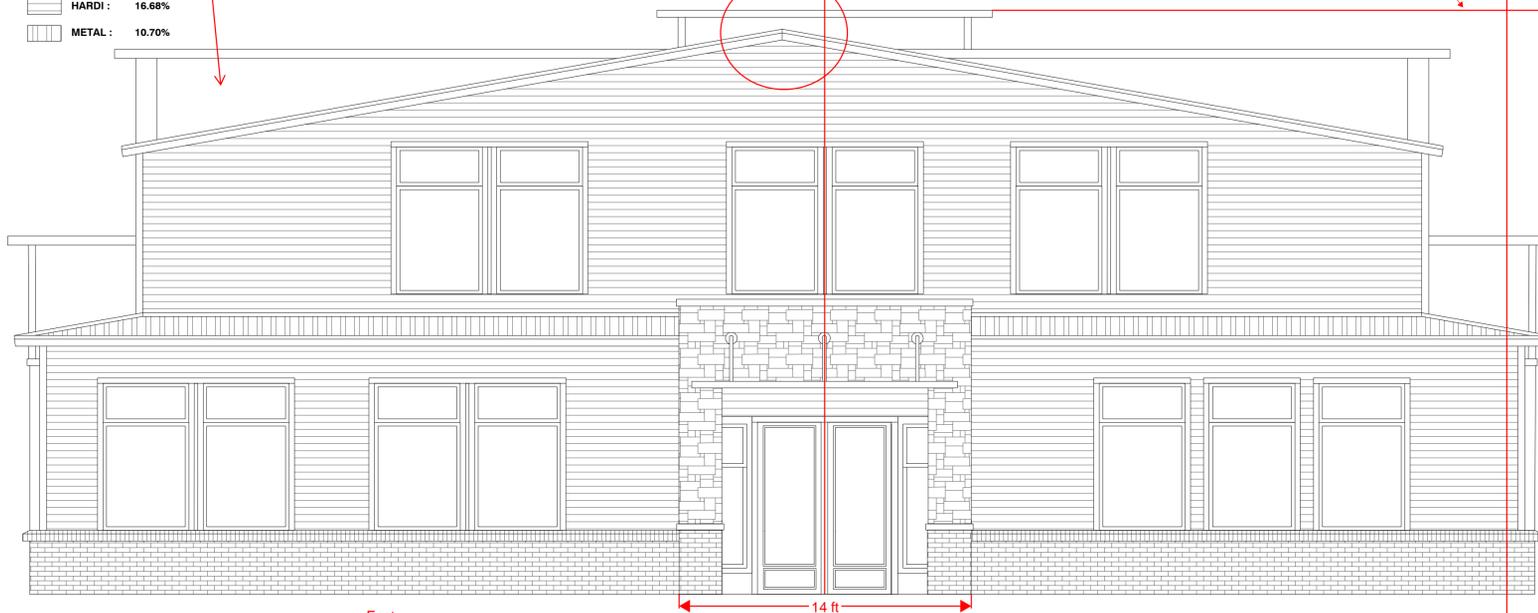
LEFT ELEVATION
 SCALE: 1/4" = 1' - 0"

The tower elements will need to be finished on the back

The gable is not centered with the tower element?

If possible, can you line-up the elevations?

BRICK : 65.46%
 STONE : 7.16%
 HARDI : 16.68%
 METAL : 10.70%



BACK ELEVATION ← East
 SCALE: 1/4" = 1' - 0"

BRICK : 44.42%
 STONE : 6.22%
 HARDI : 15.86%
 METAL : 33.50%



RIGHT ELEVATION ← South (faces Airport Rd)
 SCALE: 1/4" = 1' - 0"
 Landing Point Addition

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

SITE DATA TABLE	
PROPERTY ID	COLUMBIA PARK ADDITION / LOT 2 / BLOCK A
ADDRESS	AIRPORT ROAD, ROCKWALL, TX
ZONING	PD-50 Commercial (C) District
PROPERTY USE / TYPE	OFFICE / B
PROPERTY AREA (GROSS)	24,570 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	27'-5"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED - 1,200
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	32 SPACES
ALL SF TOTALS ARE APPROXIMATE	

BUILDING DEVELOPEMENT	
OWNER	KEVIN LEFERE 469.628.9106 KLEFERE@ZANATAS.COM
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING REESE BAEZ 214.738.8752 RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC. LEE ANN LATIMER 903.268.1167 LATIMERDESIGNGROUP@GMAIL.COM
TENANT	T3 CHIROPRACTICS DR. CASSIDIE 214.606.3980



DRAWN BY:	L.L.
CHECKED BY:	
DATE:	10.16.2019
ISSUED FOR PRE APPROVAL:	10.18.2019
ISSUED FOR PERMIT:	
ISSUED FOR CONSTRUCTION:	
REVISIONS:	

PROJECT/CLIENT:	T3 CHIROPRACTIC OFFICE
LOCATION:	AIRPORT ROAD • ROCKWALL • TX • 75087
DATE:	10.15.2019

CASE # SP2019-041

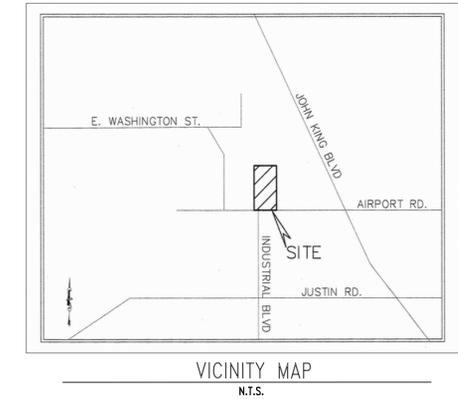
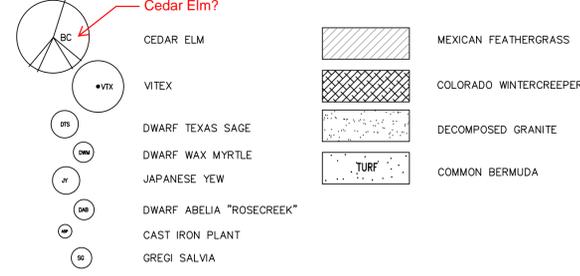
SHEET TITLE:
ELEVATIONS

SHEET NO.:
A - 1.01

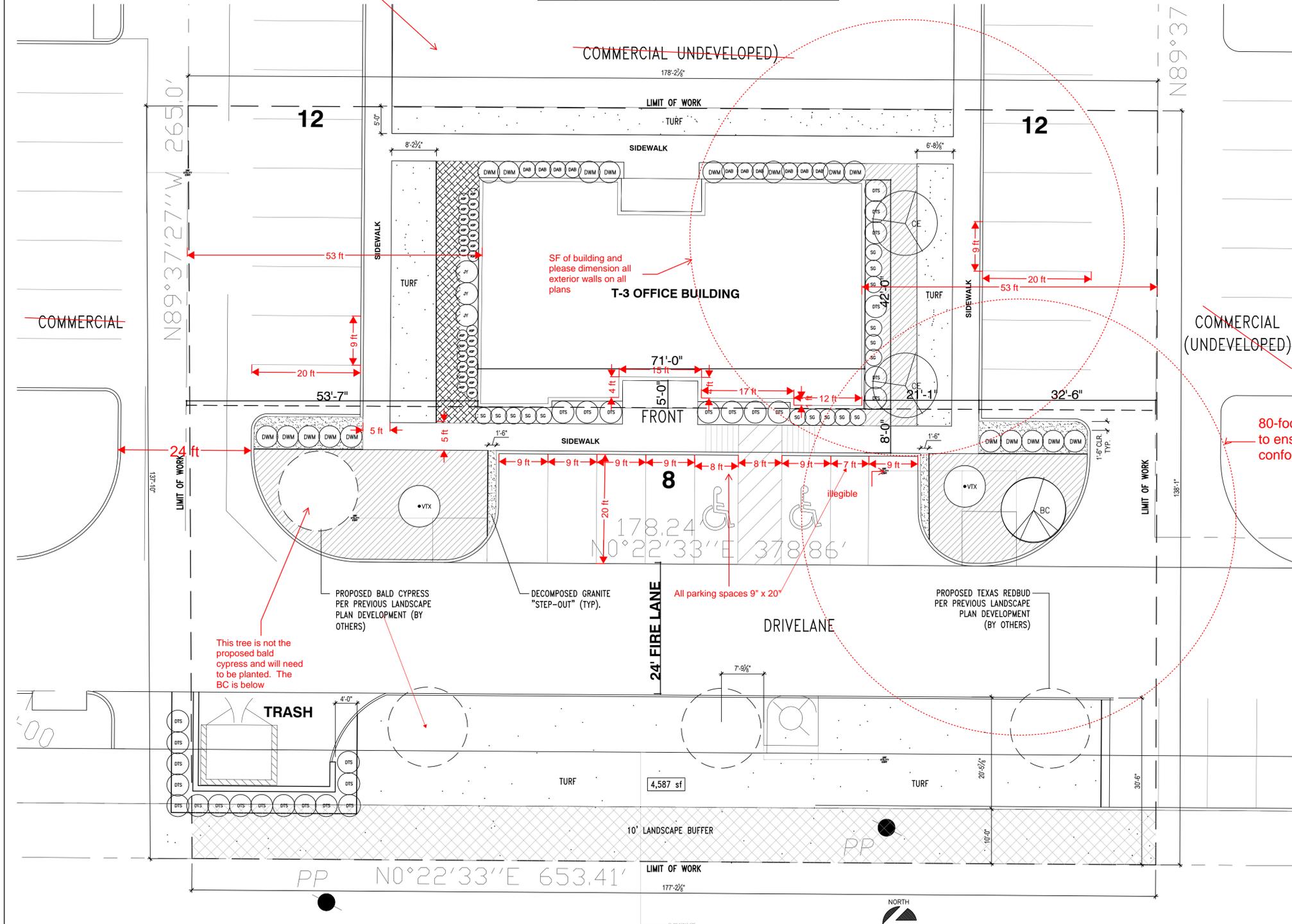
What is this column?

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	00	CEDAR ELM	Ulmus crassifolia	4" CAL.	PLANT WHERE INDICATED
DO	00	TEXAS RED OAK	Acer saccharum laevis	4" CAL.	PLANT WHERE INDICATED
DM	00	VITEX	Vitex	6-8" D.I.D. HT.	PLANT WHERE INDICATED, 12' FROM ADJACENT EXISTING WOODY TRICE
DTS	00	DWARF TEXAS SAGE	Leucophyllum canadense 'Thunder Cloud'	7 GAL.	PLANT 42" O.C. MIN.
DT	00	JAPANESE YEW	Podocarpus nagi	7 GAL.	PLANT 30" O.C. MIN.
DWM	00	DWARF WAX MYRTLE	Myrica pauciflora	7 GAL.	PLANT 30" O.C. MIN.
DAB	00	ROSE CREED DWARF ABELIA	Abelia grandiflora 'Rose Creed'	1 GAL.	PLANT 30" O.C. MIN.
ASP	00	ASPIDISTRA	Aspidistra elatior	3 GAL.	PLANT 24" O.C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AU	00	AUCUBA	Aucuba japonica	3 GAL.	PLANT EVENLY SPACED WHERE INDICATED, 18" SPACING
TMG	00	COLORADO WINTER CREEPER	Euonymus fortunei 'Coloratus'	1 GAL.	PLANT 18" O.C.
TURF	00	COMMON BERMUDA GRASS	Cynodon dactylon	500	LEVEL, SUB GRADE AND ROLL INTO PLACE.

PLANT KEY



Please show all of Lot 2



LANDSCAPE TABULATION
 LOT: .56 AC (24,515 SF)
 BUILDING (FOOTPRINT) : +/- 2,798. SF
 ZONED: C - COMMERCIAL

5.1 LANDSCAPE BUFFER-STRIP
 WEST SIDE (FRONT OF BUILDING) 177. LF
 10' REQUIRED
 10' PROVIDED

5.2 SCREENING OF OFF-STREET LOADING DOCKS
 N/A

5.3 ACCEPTABLE LANDSCAPE MATERIALS
 ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
 ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
 ALL PLANT MATERIAL WILL OF CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS.

5.4 PROTECTION OF LANDSCAPE AREAS:
 ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.

5.5 IRRIGATION:
 AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.

5.6 SCREENING FROM RESIDENTIAL USES (SIDE AND BACK YARDS):
 N/A

5.7 STREET LANDSCAPING:
 N/A

5.8 RIGHT-OF-WAY LANDSCAPING:
 N/A

5.9 PARKING LOT LANDSCAPING:
 PARKING "MORE THAN TWO ROWS OF SPACES" (WITHIN LIMIT OF WORK) = 10,563 SF
 5% OR 200 SF OF LANDSCAPING REQUIRED
 9% AND 984 SF OF LANDSCAPE PROVIDED

5.10 - (DELETED):

5.11 DIMENSIONING OF LANDSCAPE AREA:
 ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
 ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.

5.12 REQUIRED LANDSCAPING:
 ZONED: COMMERCIAL
 A. AMOUNT OF LANDSCAPING
 3,677. SF = 15% OF SITE REQUIRED TO BE LANDSCAPED.
 8,624. SF = 35% OF SITE PROPOSED TO BE LANDSCAPED.

B. LOCATION OF LANDSCAPING
 1,839. SF = 50% REQUIRED IN FRONT YARD
 6,377. SF = 73% OF PROPOSED LANDSCAPE PROVIDED IN FRONT YARD.

C. DETENTION BASIN
 N/A

9.1 MAINTENANCE REQUIREMENTS:
 ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
 A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.

9.2 UTILITY LINES AND RIGHTS-OF-WAY:
 ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLAN MATERIAL.

THERE ARE NO TREES ARE TO BE LOCATED WITHIN 5' OF ANY PUBLIC UTILITY.

TREESCAPING - PROTECTED TREE MITIGATION
 THERE ARE NO PROTECTED TREES EXISTING ON SITE

RYBA Inc.
 Landscape Architecture
 Site Planning
 10670 North Central Express
 6th Floor
 Dallas, TX 75231
 (214) 636-3552
 info@ryba.com
 www.rybadesign.com

STEVEN R. RYBA
 1724
 REGISTERED
 XX/XX/XXXX

DRAWN BY:
DK

CHECKED BY:
SR

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

T3 - Chiropractic Office
 Landing Point
 Rockwall TX

CASE # XXXX

SHEET TITLE:
 LANDSCAPE DEVELOPMENT PLAN (2)

SHEET NO.:
L1.01

RY HALL KEENE
 4.00 ACRES

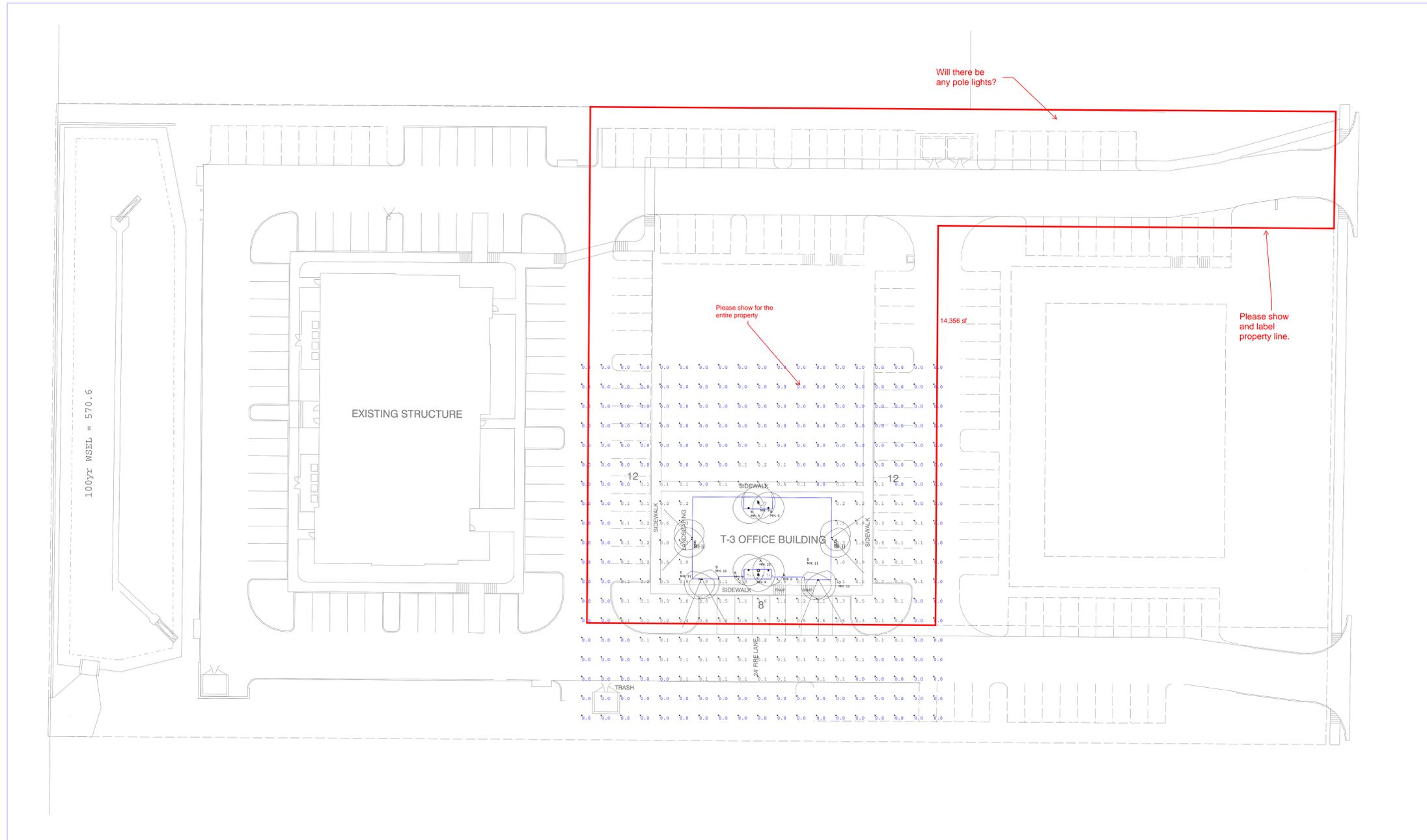
SITE LANDSCAPE - PLAN

RESIDENTIAL
 Please match site plan lot layout

SCALE: 1"=10'-0"

Please add graphic scale

PRELIMINARY 10/15/19
 NOT FOR CONSTRUCTION



Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	A	1	HI LITE_H-15316-B	404	60	1.000	2.261	2.800
⊙	B	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
⊙	C	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
⊙	D	8	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
CANOPY	0	Fc	13.20	14.4	11.8	1.12	
GRADE_Planar	0	Fc	0.20	6.7	0.0	N.A.	

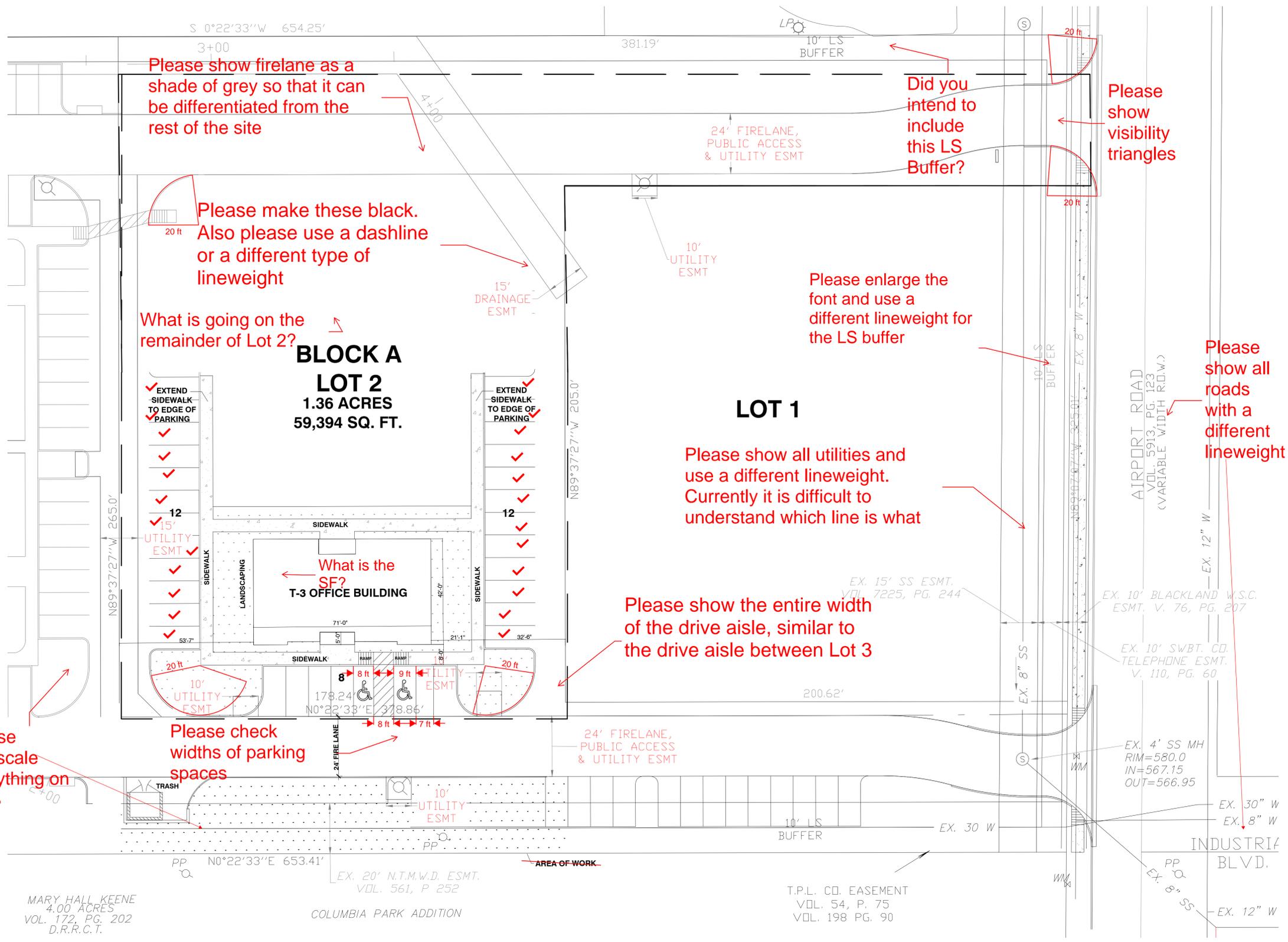
Notes:
 1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are as height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Dynamic lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

DRAWN BY: L.L.
 CHECKED BY:
 DATE: 10.16.2019
 ISSUED FOR PRE APPROVAL: 10.18.2019
 ISSUED FOR PERMIT: 10.18.2019
 ISSUED FOR CONSTRUCTION:
 REVISIONS:
 10.23.2019

PROJECT/CLIENT: T3 CHIROPRACTIC OFFICE
 LOCATION: AIRPORT ROAD • ROCKWALL • TX • 75087
 DATE: 10.15.2019

CASE # XXXX

SHEET TITLE: SITE PLAN
 SHEET NO.: A - 0.01



01 SITE PLAN
 SCALE: 1" = 20' - 0"

Please include a graphic scale

Please note that Lot 2 cannot be subdivided.

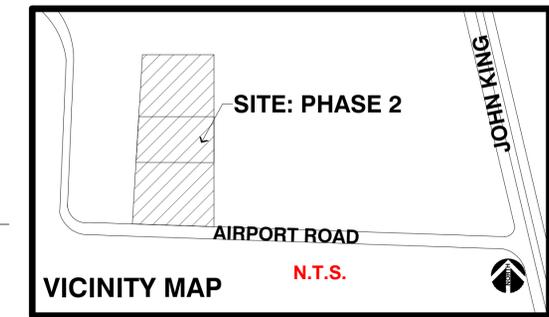
Please provide site data table and developer table as shown on the Landscape Plan

Add building SF

1 space/200--the 1:500 is only for the PD-50 District

SITE NOTES

- TOTAL LOT SQUARE FOOTAGE: 24,670
- IMPERVIOUS AREA: 11,685
- IMPERVIOUS / LANDSCAPE: 48%
- PARKING REQUIREMENTS: 1 SPACE/600 -- 6 SPACES REQUIRED
- HANDICAP SPACES REQUIRED: 1 ACCESSIBLE IN 0-25 SPACES - 2 PROVIDED
- TOTAL PARKING SPACES PROVIDED: 32
- ALL PARKING SPACES AT 9' X 21'



DRAWN BY:
L.L.

CHECKED BY:

DATE:
10.16.2019

ISSUED FOR PRE APPROVAL:
10.18.2019

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE

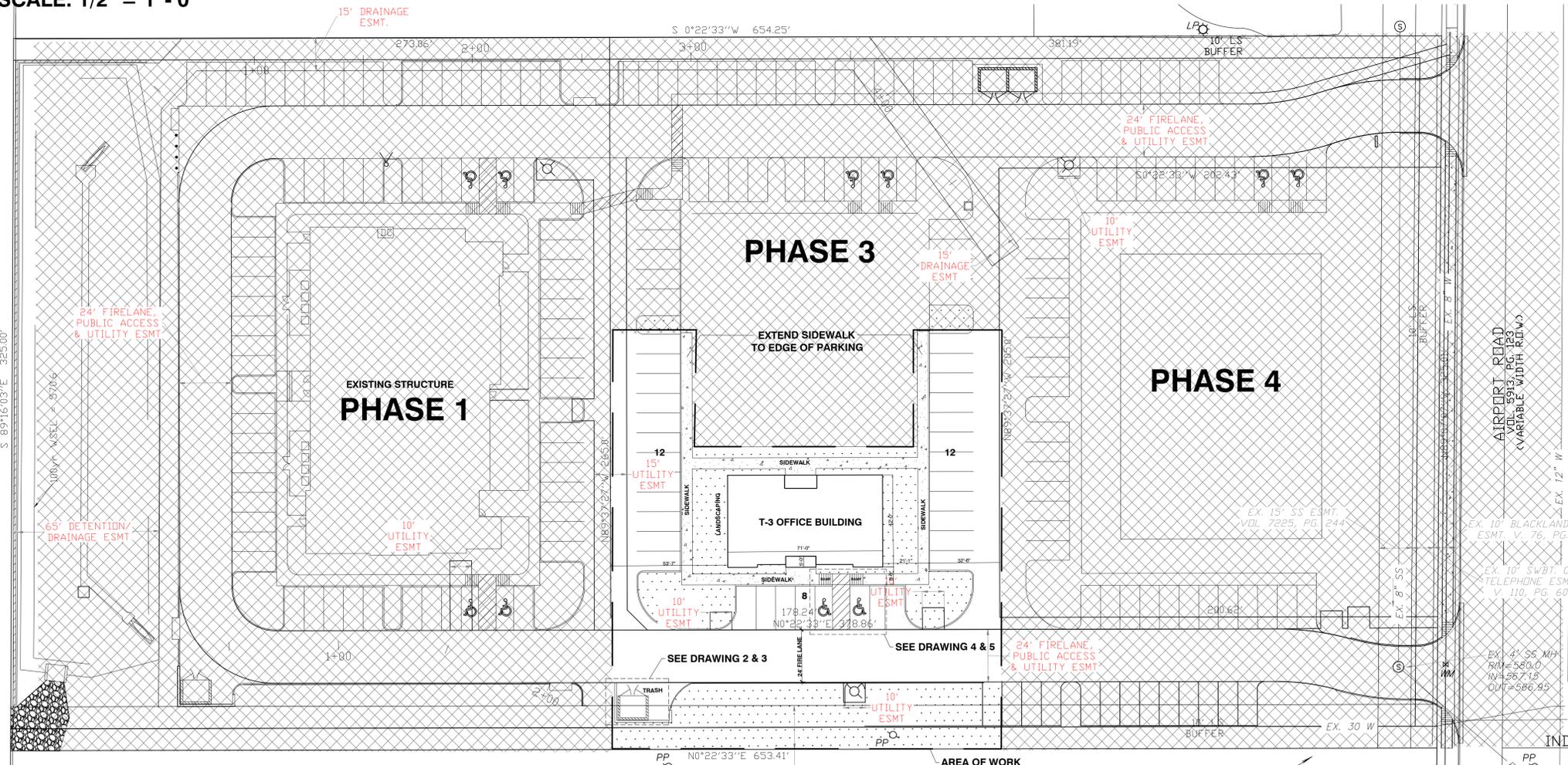
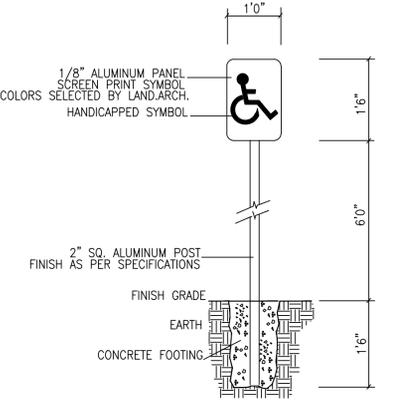
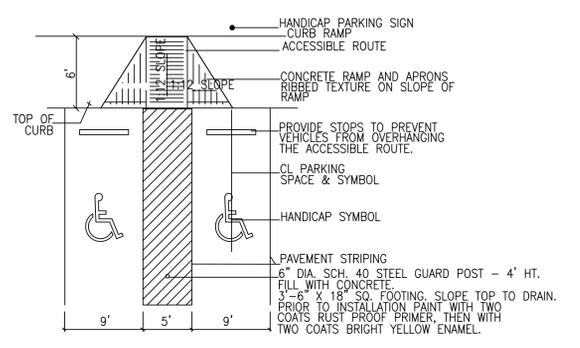
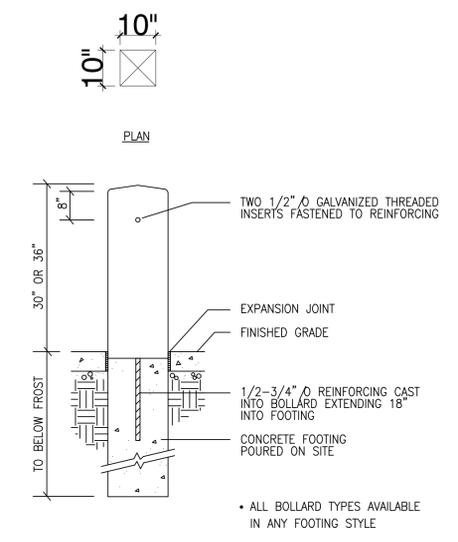
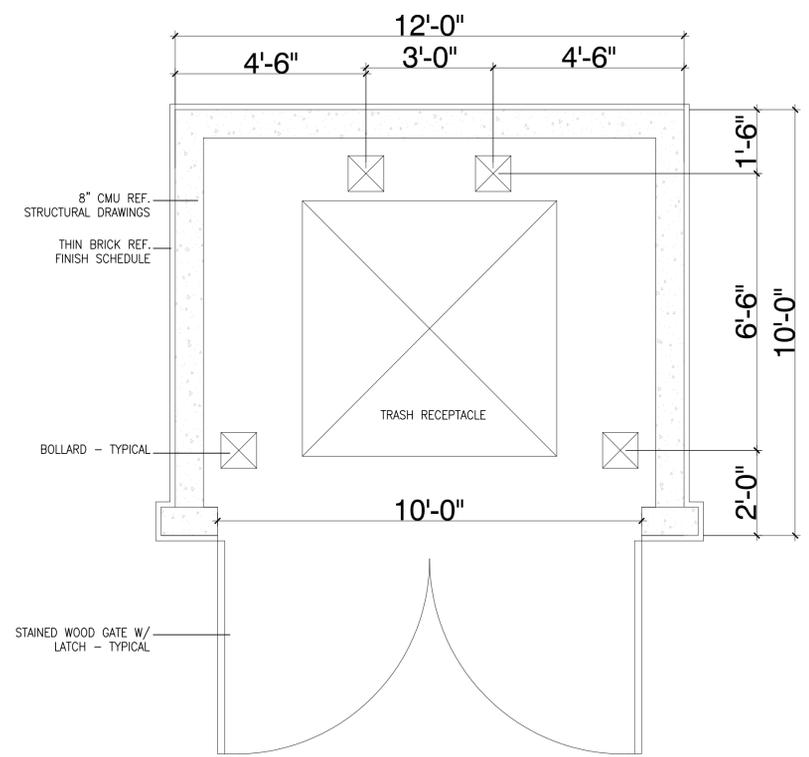
LOCATION:
AIRPORT ROAD • ROCKWALL • TX • 75087

DATE:
10.15.2019

CASE # XXXX

SHEET TITLE:
SITE PLAN

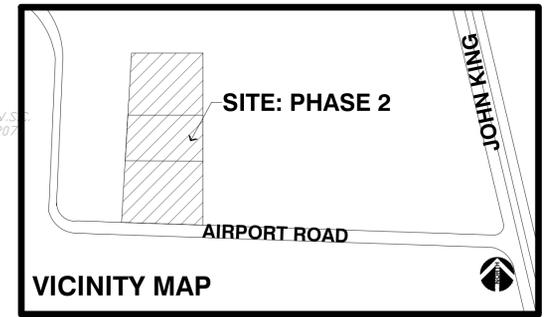
SHEET NO.:
A - 0.01



LEGEND

SITE NOTES

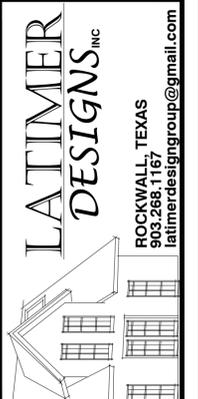
- TOTAL LOT SQUARE FOOTAGE: 24,570
- IMPERVIOUS AREA: 11,685
- IMPERVIOUS / LANDSCAPE: 48%
- PARKING REQUIREMENTS: 1 SPACE / 500 = 5 SPACES REQUIRED
- HANDICAP SPACES REQUIRED: 1 ACCESSIBLE IN 0-25 SPACES - 2 PROVIDED
- TOTAL PARKING SPACES PROVIDED: 32
- ALL PARKING SPACES AT 9' X 21'



01 **SITE PLAN**
SCALE: 1" = 30' - 0"

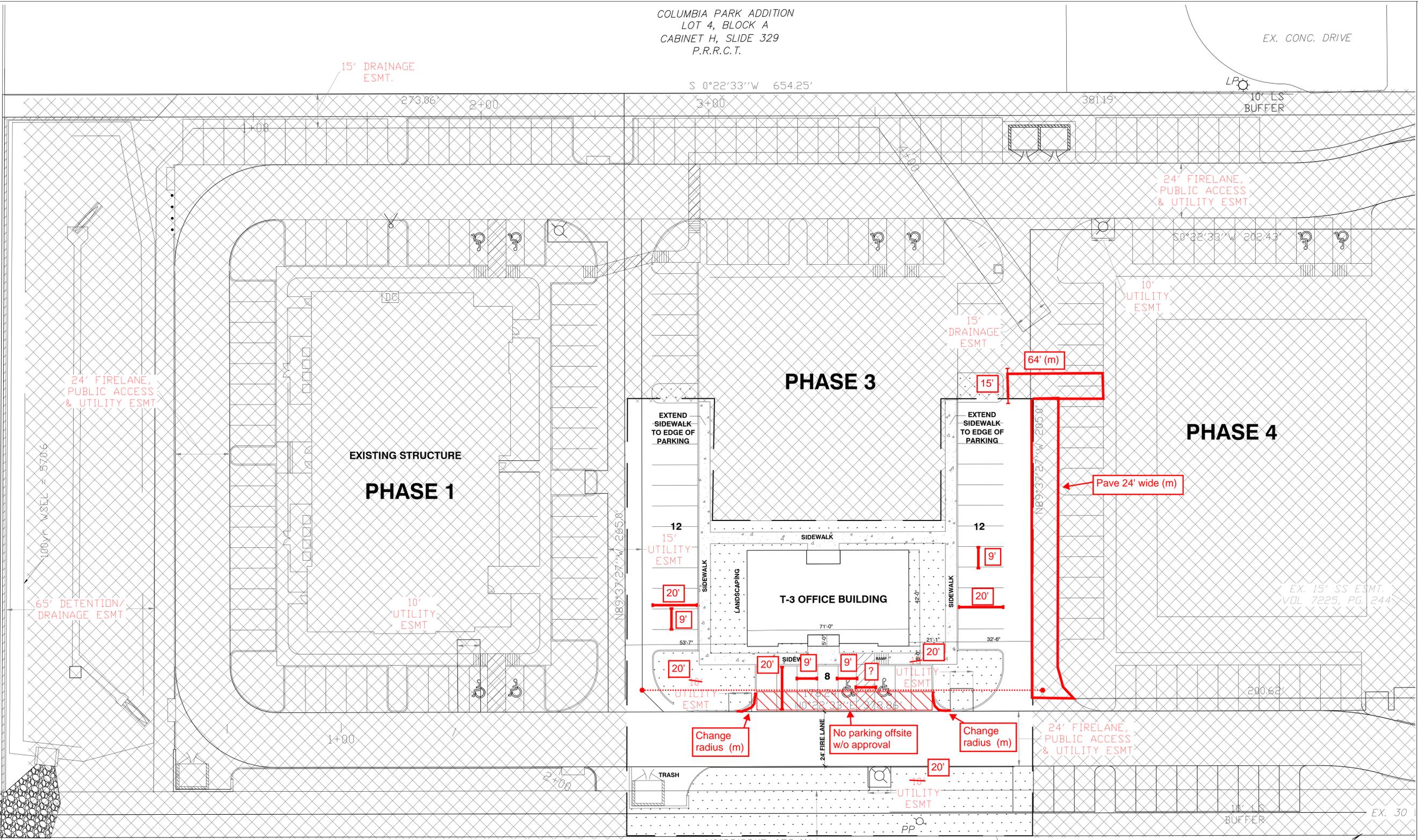
PHASE 2





DRAWN BY: L.L.
 CHECKED BY:
 DATE: 10.16.2019
 ISSUED FOR PRE APPROVAL: 10.18.2019
 ISSUED FOR PERMIT:
 ISSUED FOR CONSTRUCTION:
 REVISIONS:

VOL. 111, PAGE 931
 D.R.R.C.T.
 S. 89°16'03"E 325.00'



- 4% Engineering Fees (i)
- Impact Fees (i)
- Parking to be 20'x9' min (m)
- Minimum easements is 20' (m)
- Walls 3' and over must be engineered (i)
- Retaining walls to be rock or stone face, No smooth concrete walls (i)
- Must dowell into old paving where trying on (i)
- Must meet all standards of design & Construction (i)
- Show proposed and existing utilities (m)
- Need label that detention was provided with phase 1

MARY HALL KEENE
 4.00 ACRES
 VOL. 172, PG. 202
 D.R.R.C.T.

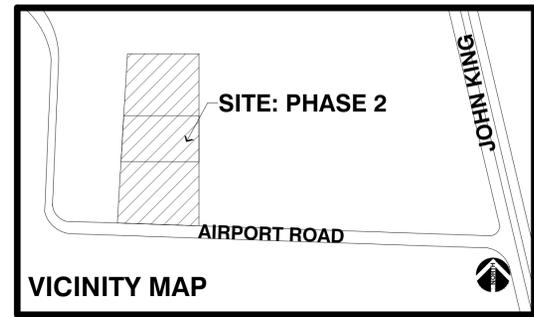
PHASE 2

SITE NOTES

1. TOTAL LOT SQUARE FOOTAGE: 24,670
2. IMPERVIOUS AREA: 11,685
3. IMPERVIOUS / LANDSCAPE: 48%
4. PARKING REQUIREMENTS: 1 SPACE /500 = 5 SPACES REQUIRED
5. HANDICAP SPACES REQUIRED: 1 ACCESSIBLE IN 0-25 SPACES - 2 PROVIDED
6. TOTAL PARKING SPACES PROVIDED: 32
7. ALL PARKING SPACES AT 9' X 21'

T.P.L. CO. EASEMENT
 VOL. 54, P. 75
 VOL. 198 PG. 90

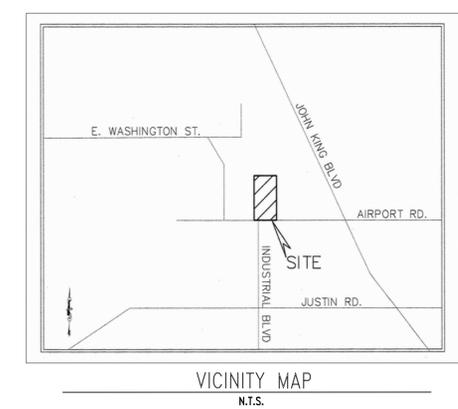
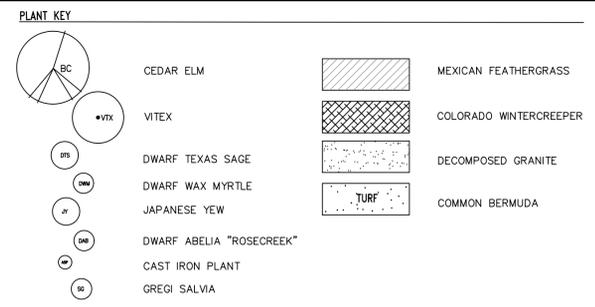
01 SITE PLAN
 SCALE: 1" = 20' - 0"



PROJECT/CLIENT: T3 CHIROPRACTIC OFFICE
 LOCATION: AIRPORT ROAD • ROCKWALL • TX • 75087
 DATE: 10.15.2019

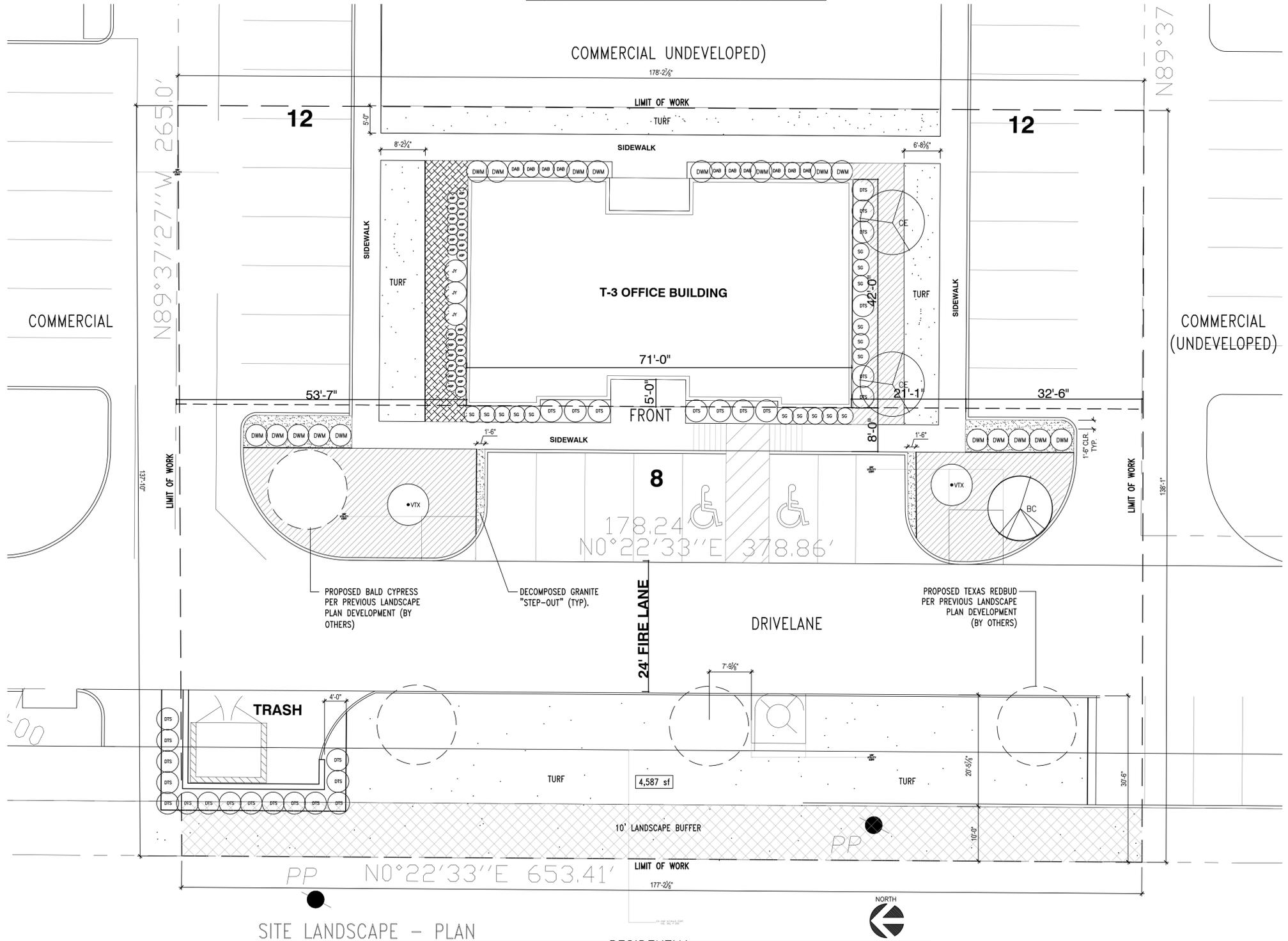
CASE # XXXX
 SHEET TITLE: SITE PLAN
 SHEET NO.: A - 0.01

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	00	CEDAR ELM	<i>Ulmus crassifolia</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
DO	00	TEXAS RED OAK	<i>Acer saccharum laevis</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
DM	00	VITEX	<i>Vitex</i>	6-8" Ø-1.0' HT	PLANT WHERE INDICATED, 10' FROM ADJACENT EXISTING WOODY TRUNK
DTS	00	DWARF TEXAS SAGE	<i>Leucophyllum canadense</i> 'Thunder Cloud'	7 GAL.	PLANT 42" Ø-C. MIN.
DF	00	JAPANESE YEW	<i>Podocarpus nagi</i>	7 GAL.	PLANT 30" Ø-C. MIN.
DWM	00	DWARF WAX MYRTLE	<i>Myrica pauciflora</i>	7 GAL.	PLANT 30" Ø-C. MIN.
DAB	00	ROSE CREEK DWARF ABELIA	<i>Abelia grandiflora</i> 'Rose Creek'	7 GAL.	PLANT 30" Ø-C. MIN.
ASP	00	ASPIDISTRA	<i>Aspidistra elatior</i>	3 GAL.	PLANT 24" Ø-C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AJ	00	AUCUBA	<i>Aucuba japonica</i>	3 GAL.	PLANT EVENLY SPACED WHERE INDICATED, 18" SPACING
WVC	00	COLORADO WINTER CREEPER	<i>Solenaster torulosa</i> 'Colorado'	1 GAL.	PLANT 18" Ø-C.
TURF	00	COMMON BERMUDA GRASS	<i>Cynodon dactylon</i>	500	LEVEL, SUB-GRADE AND ROLL INTO PLACE.



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STEVEN R. RYBA
 1724
 REGISTERED
 XX/XX/XXXX



LANDSCAPE TABULATION
 LOT: .56 AC (24,515 SF)
 BUILDING (FOOTPRINT) : +/- 2,798. SF
 ZONED: C - COMMERCIAL

5.1 LANDSCAPE BUFFER-STRIP
 WEST SIDE (FRONT OF BUILDING) 177. LF
 10' REQUIRED
 10' PROVIDED

1/TREE PER 50 LF, 3 TREES REQUIRED
 1/TREE PER 50 LF, 3 TREES PROVIDED

LANDSCAPE AREA SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.

5.2 SCREENING OF OFF-STREET LOADING DOCKS
 N/A

5.3 ACCEPTABLE LANDSCAPE MATERIALS
 ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
 ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
 ALL PLANT MATERIAL WILL OF CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS.

5.4 PROTECTION OF LANDSCAPE AREAS:
 ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.

5.5 IRRIGATION:
 AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.

5.6 SCREENING FROM RESIDENTIAL USES (SIDE AND BACK YARDS):
 N/A

5.7 STREET LANDSCAPING:
 N/A

5.8 RIGHT-OF-WAY LANDSCAPING:
 N/A

5.9 PARKING LOT LANDSCAPING:
 PARKING "MORE THAN TWO ROWS OF SPACES" (WITHIN LIMIT OF WORK) = 10,563 SF
 5% OR 200 SF OF LANDSCAPING REQUIRED
 9% AND 984 SF OF LANDSCAPE PROVIDED

1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.

5.10 - (DELETED):

5.11 DIMENSIONING OF LANDSCAPE AREA:
 ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
 ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.

5.12 REQUIRED LANDSCAPING:
 ZONED: COMMERCIAL
 A. AMOUNT OF LANDSCAPING
 3,677. SF = 15% OF SITE REQUIRED TO BE LANDSCAPED.
 8,624. SF = 35% OF SITE PROPOSED TO BE LANDSCAPED.

B. LOCATION OF LANDSCAPING
 1,839. SF = 50% REQUIRED IN FRONT YARD
 6,377. SF = 73% OF PROPOSED LANDSCAPE PROVIDED IN FRONT YARD.

C. DETENTION BASIN
 N/A

9.1 MAINTENANCE REQUIREMENT:
 ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
 A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.

9.2 UTILITY LINES AND RIGHTS-OF-WAY:
 ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.

THERE ARE NO TREES ARE TO BE LOCATED WITHIN 5' OF ANY PUBLIC UTILITY.

TREESCAPE - PROTECTED TREE MITIGATION
 THERE ARE NO PROTECTED TREES EXISTING ON SITE

DRAWN BY:
DK

CHECKED BY:
SR

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

T3 - Chiropractic Office
 Landing Point
 Rockwall TX

CASE # XXXX

SHEET TITLE:
 LANDSCAPE DEVELOPMENT PLAN (2)

SHEET NO.:
L1.01

RY HALL KEENE
 4.00 ACRES

SITE LANDSCAPE - PLAN

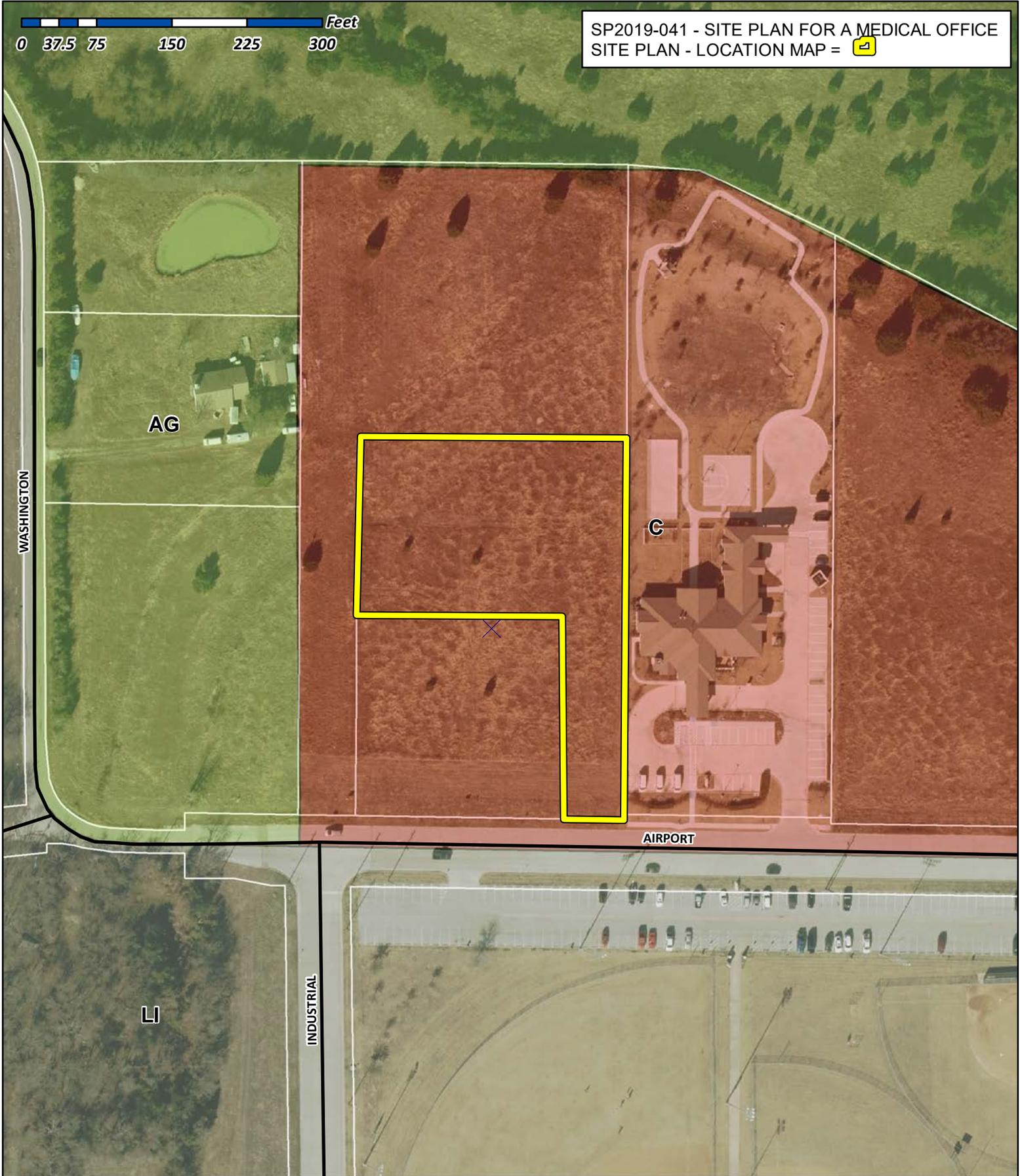
RESIDENTIAL

SCALE: 1"=10'-0"

PRELIMINARY 10/15/19
 NOT FOR CONSTRUCTION

0 37.5 75 150 225 300 Feet

SP2019-041 - SITE PLAN FOR A MEDICAL OFFICE
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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COLUMBIA PARK ADDITION
 LOT 4, BLOCK A
 CABINET H, SLIDE 329
 P.R.R.C.T.

EX. CONC. DRIVE

15' DRAINAGE
 ESMT.

S 0°22'33"W 654.25'

10' LS
 BUFFER

273.86' 2+00

3+80

381.19'

24' FIRELANE,
 PUBLIC ACCESS
 & UTILITY ESMT

50°22'33"W 202.43'

10'
 UTILITY
 ESMT

15'
 DRAINAGE
 ESMT

24' FIRELANE,
 PUBLIC ACCESS
 & UTILITY ESMT

EXISTING STRUCTURE

PHASE 1

PHASE 3

PHASE 4

EXTEND
 SIDEWALK
 TO EDGE OF
 PARKING

EXTEND
 SIDEWALK
 TO EDGE OF
 PARKING

12
 15'
 UTILITY
 ESMT

12

100' MSEL = 570.6

65' DETENTION/
 DRAINAGE ESMT

10'
 UTILITY
 ESMT

T-3 OFFICE BUILDING

EX. 15' SS ESMT.
 VOL. 7225, PG. 244

10'
 UTILITY
 ESMT

UTILITY
 ESMT

24' FIRELANE,
 PUBLIC ACCESS
 & UTILITY ESMT

10'
 UTILITY
 ESMT

PP N0°22'33"E 653.41'

EX. 20' N.T.M.V.D. ESMT.
 VOL. 561, P. 252

AREA OF WORK

MARY HALL KEENE
 4.00 ACRES
 VOL. 172, PG. 202
 D.R.R.C.T.

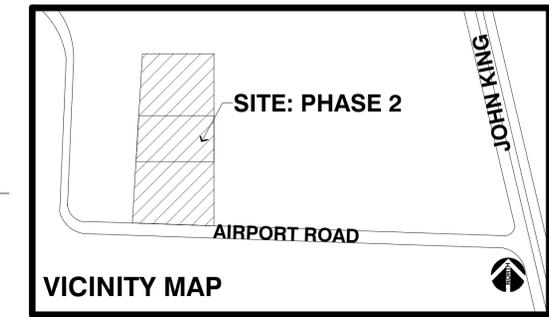
PHASE 2

T.P.L. CO. EASEMENT
 VOL. 54, P. 75
 VOL. 198 PG. 90

01 **SITE PLAN**
 SCALE: 1" = 20' - 0"

SITE NOTES

- TOTAL LOT SQUARE FOOTAGE: 24,670
- IMPERVIOUS AREA: 11,685
- IMPERVIOUS / LANDSCAPE: 48%
- PARKING REQUIREMENTS: 1 SPACE / 500 = 5 SPACES REQUIRED
- HANDICAP SPACES REQUIRED: 1 ACCESSIBLE IN 0-25 SPACES - 2 PROVIDED
- TOTAL PARKING SPACES PROVIDED: 32
- ALL PARKING SPACES AT 9' X 21'



**LATIMER
 DESIGNS** INC
 ROCKWALL, TEXAS
 903.268.1167
 latimerdesigngroup@gmail.com

DRAWN BY:
 L.L.

CHECKED BY:

DATE:
 10.16.2019

ISSUED FOR PRE APPROVAL:
 10.18.2019

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
 T3 CHIROPRACTIC OFFICE

LOCATION:
 AIRPORT ROAD • ROCKWALL • TX • 75087

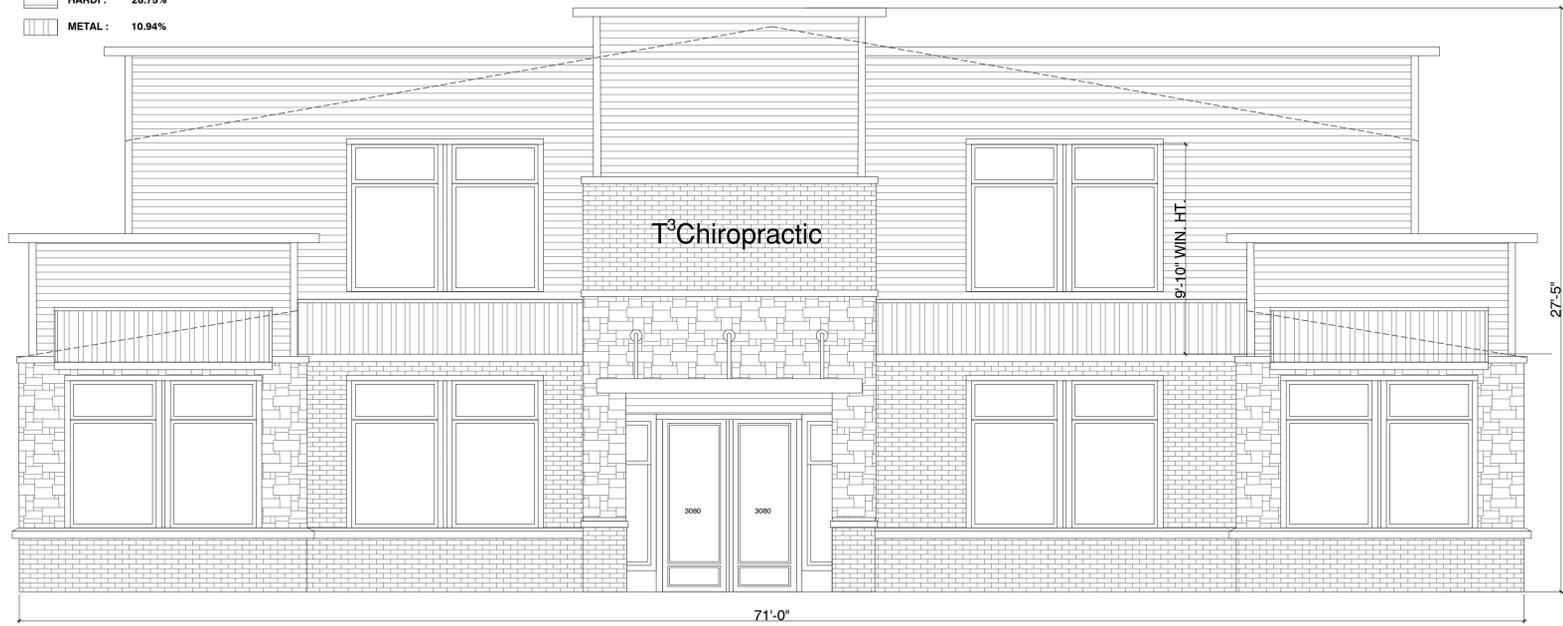
DATE:
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CASE # XXXX

SHEET TITLE:
SITE PLAN

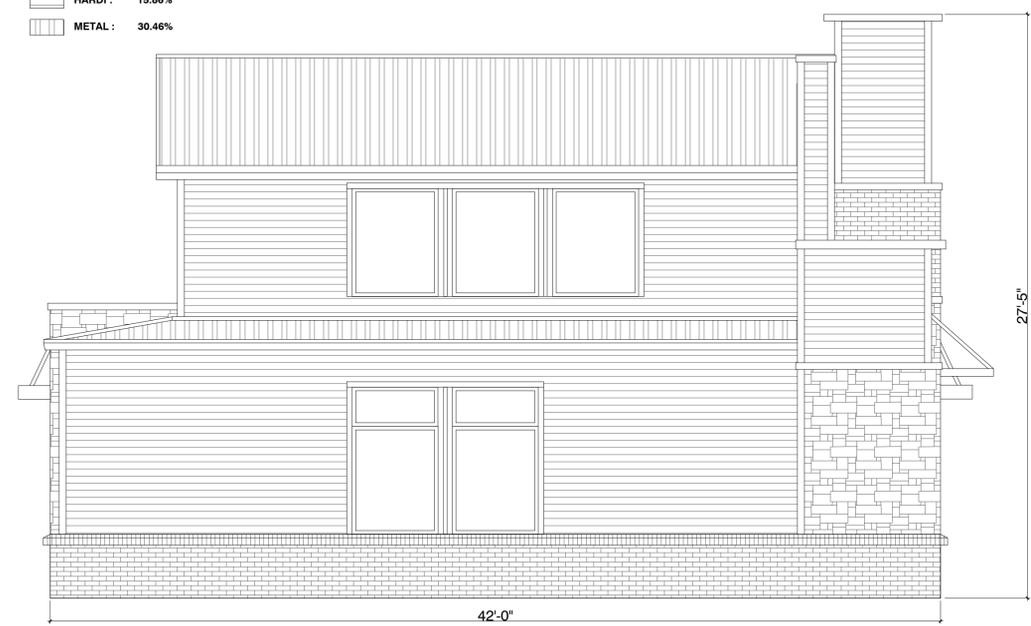
SHEET NO.:
A - 0.01

- BRICK : 47.38%
- STONE : 12.96%
- HARDI : 28.75%
- METAL : 10.94%



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 47.36%
- STONE : 6.32%
- HARDI : 15.86%
- METAL : 30.46%



LEFT ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 65.46%
- STONE : 7.16%
- HARDI : 16.68%
- METAL : 10.70%



BACK ELEVATION
SCALE: 1/4" = 1' - 0"

- BRICK : 44.42%
- STONE : 6.22%
- HARDI : 15.86%
- METAL : 33.50%



RIGHT ELEVATION
SCALE: 1/4" = 1' - 0"

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

SITE DATA TABLE	
PROPERTY ID	COLUMBIA PARK ADDITION / LOT 2 / BLOCK A
ADDRESS	AIRPORT ROAD, ROCKWALL, TX
ZONING	PD-50
PROPERTY USE / TYPE	OFFICE / B
PROPERTY AREA (GROSS)	24,570 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	27'-5"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	32 SPACES
ALL SF TOTALS ARE APPROXIMATE	

BUILDING DEVELOPMENT	
OWNER	KEVIN LEFERE 469.628.9106 KLEFERE@ZANATAS.COM
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING REESE BAEZ 214.738.8752 RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC. LEE ANN LATIMER 903.268.1167 LATIMERDESIGNGROUP@GMAIL.COM
TENANT	T3 CHIROPRACTICS DR. CASSIDIE 214.606.3980



DRAWN BY:	L.L.
CHECKED BY:	
DATE:	10.16.2019
ISSUED FOR PRE APPROVAL:	10.18.2019
ISSUED FOR PERMIT:	
ISSUED FOR CONSTRUCTION:	
REVISIONS:	

PROJECT/CLIENT:	T3 CHIROPRACTIC OFFICE
LOCATION:	AIRPORT ROAD • ROCKWALL • TX • 75087
DATE:	10.15.2019

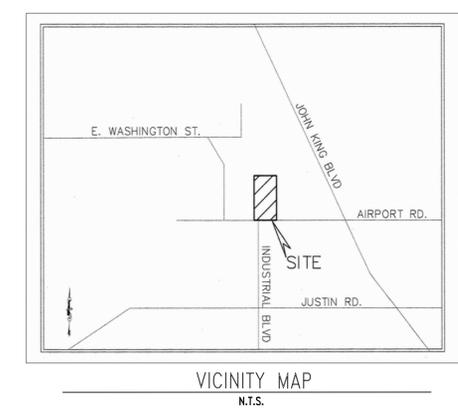
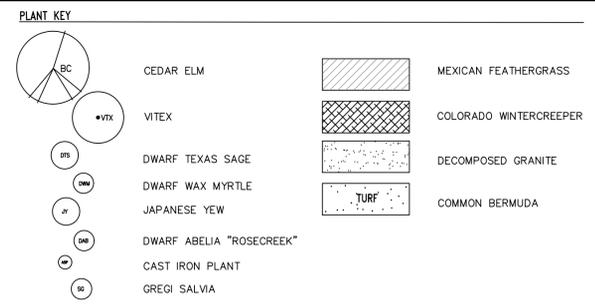
CASE #	
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SHEET TITLE:	ELEVATIONS
SHEET NO.:	A - 1.01



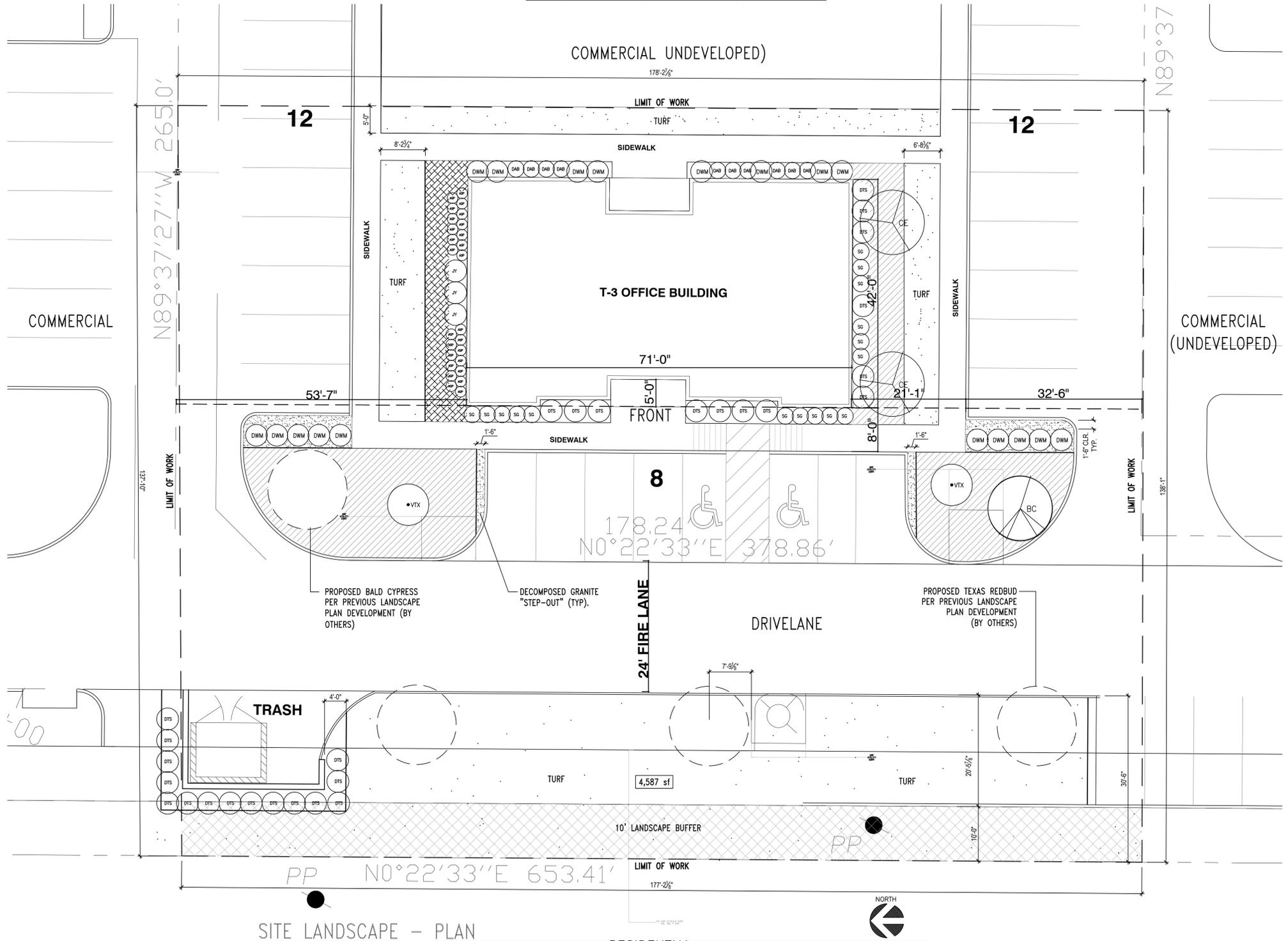
T³ Chiropractic

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	00	CEDAR ELM	<i>Ulmus crassifolia</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
DO	00	TEXAS RED OAK	<i>Acer saccharum laevis</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
DM	00	VITEX	<i>Vitex</i>	6-8" Ø-1.0' HT	PLANT WHERE INDICATED, 10' FROM ADJACENT EXISTING WOODY TRUNK
DTS	00	DWARF TEXAS SAGE	<i>Leucophyllum canadense</i> 'Thunder Cloud'	7 GAL.	PLANT 42" Ø-C. MIN.
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DWM	00	DWARF WAX MYRTLE	<i>Myrica pauciflora</i>	7 GAL.	PLANT 30" Ø-C. MIN.
DAB	00	ROSE CREEK DWARF ABELIA	<i>Abelia grandiflora</i> 'Rose Creek'	7 GAL.	PLANT 30" Ø-C. MIN.
ASP	00	ASPIDISTRA	<i>Aspidistra elatior</i>	3 GAL.	PLANT 24" Ø-C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AJ	00	AUCUBA	<i>Aucuba japonica</i>	3 GAL.	PLANT EVENLY SPACED WHERE INDICATED, 18" SPACING
WVC	00	COLORADO WINTER CREEPER	<i>Solenaster torulosa</i> 'Colorado'	1 GAL.	PLANT 18" Ø-C.
TURF	00	COMMON BERMUDA GRASS	<i>Cynodon dactylon</i>	500	LEVEL, SUB-GRADE AND ROLL INTO PLACE.



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STEVEN R. RYBA
 1724
 REGISTERED
 XX/XX/XXXX



- LANDSCAPE TABULATION**
 LOT: .56 AC (24,515 SF)
 BUILDING (FOOTPRINT) : +/- 2,798. SF
 ZONED: C - COMMERCIAL
- 5.1 LANDSCAPE BUFFER-STRIP**
 WEST SIDE (FRONT OF BUILDING) 177. LF
 10' REQUIRED
 10' PROVIDED
- 1/TREE PER 50 LF, 3 TREES REQUIRED
 1/TREE PER 50 LF, 3 TREES PROVIDED
- LANDSCAPE AREA SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.
- 5.2 SCREENING OF OFF-STREET LOADING DOCKS**
 N/A
- 5.3 ACCEPTABLE LANDSCAPE MATERIALS**
 ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
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 ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.
- 5.5 IRRIGATION:**
 AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.
- 5.6 SCREENING FROM RESIDENTIAL USES (SIDE AND BACK YARDS):**
 N/A
- 5.7 STREET LANDSCAPING:**
 N/A
- 5.8 RIGHT-OF-WAY LANDSCAPING:**
 N/A
- 5.9 PARKING LOT LANDSCAPING:**
 PARKING "MORE THAN TWO ROWS OF SPACES" (WITHIN LIMIT OF WORK) = 10,563 SF
 5% OR 200 SF OF LANDSCAPING REQUIRED
 9% AND 984 SF OF LANDSCAPE PROVIDED
- 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.
- 5.10 - (DELETED):**
- 5.11 DIMENSIONING OF LANDSCAPE AREA:**
 ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
 ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
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 ZONED: COMMERCIAL
 A. AMOUNT OF LANDSCAPING
 3,677. SF = 15% OF SITE REQUIRED TO BE LANDSCAPED.
 8,624. SF = 35% OF SITE PROPOSED TO BE LANDSCAPED.
- B. LOCATION OF LANDSCAPING
 1,839. SF = 50% REQUIRED IN FRONT YARD
 6,377. SF = 73% OF PROPOSED LANDSCAPE PROVIDED IN FRONT YARD.
- C. DETENTION BASIN
 N/A
- 9.1 MAINTENANCE REQUIREMENT:**
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 ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.
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- TREESCAPE - PROTECTED TREE MITIGATION
 THERE ARE NO PROTECTED TREES EXISTING ON SITE

DRAWN BY:
DK

CHECKED BY:
SR

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

T3 - Chiropractic Office
 Landing Point
 Rockwall TX

CASE # XXXX

SHEET TITLE:
 LANDSCAPE DEVELOPMENT PLAN (2)

SHEET NO.:
L1.01

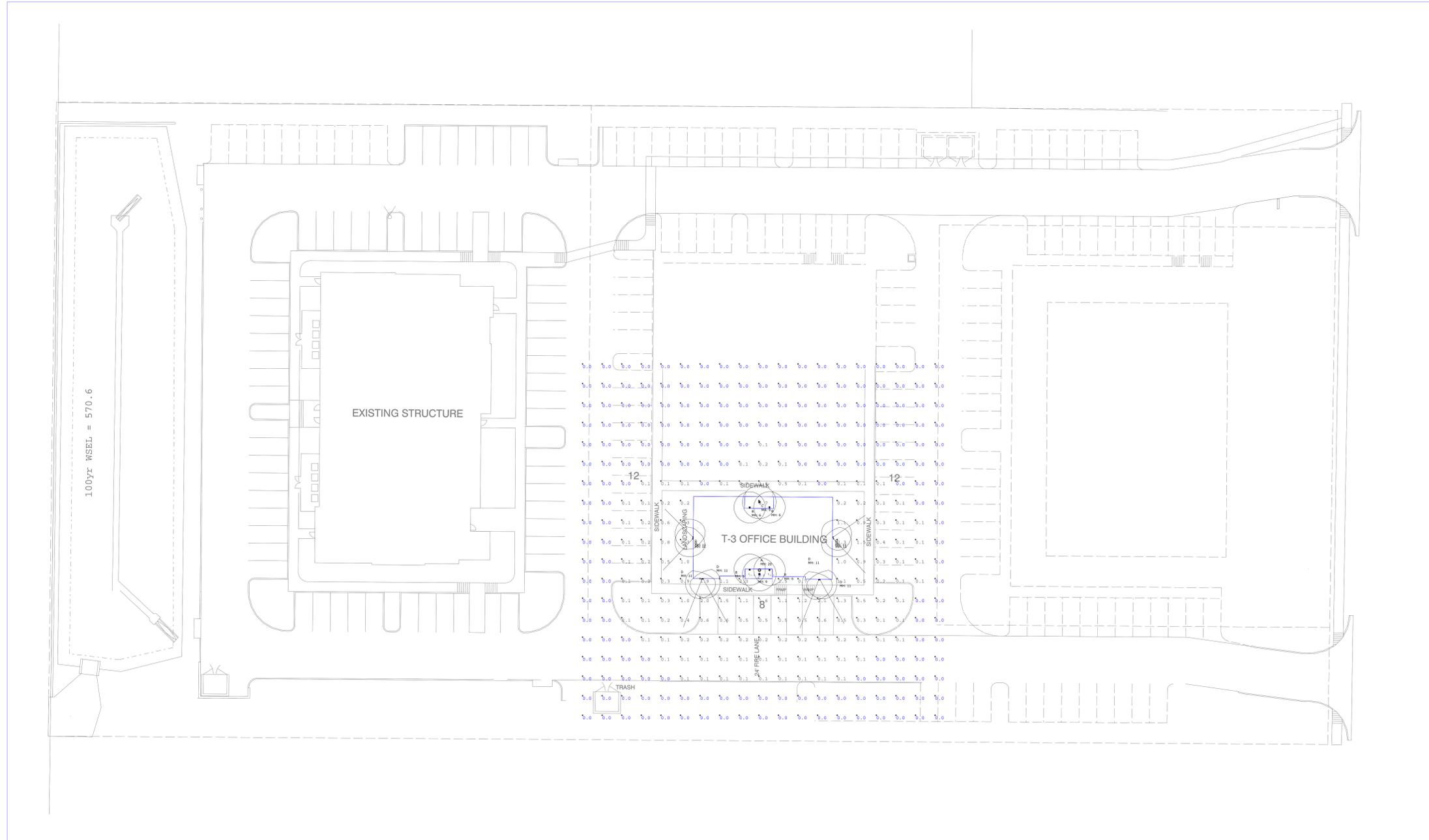
RY HALL KEENE
 4.00 ACRES

SITE LANDSCAPE - PLAN

RESIDENTIAL

SCALE: 1"=10'-0"

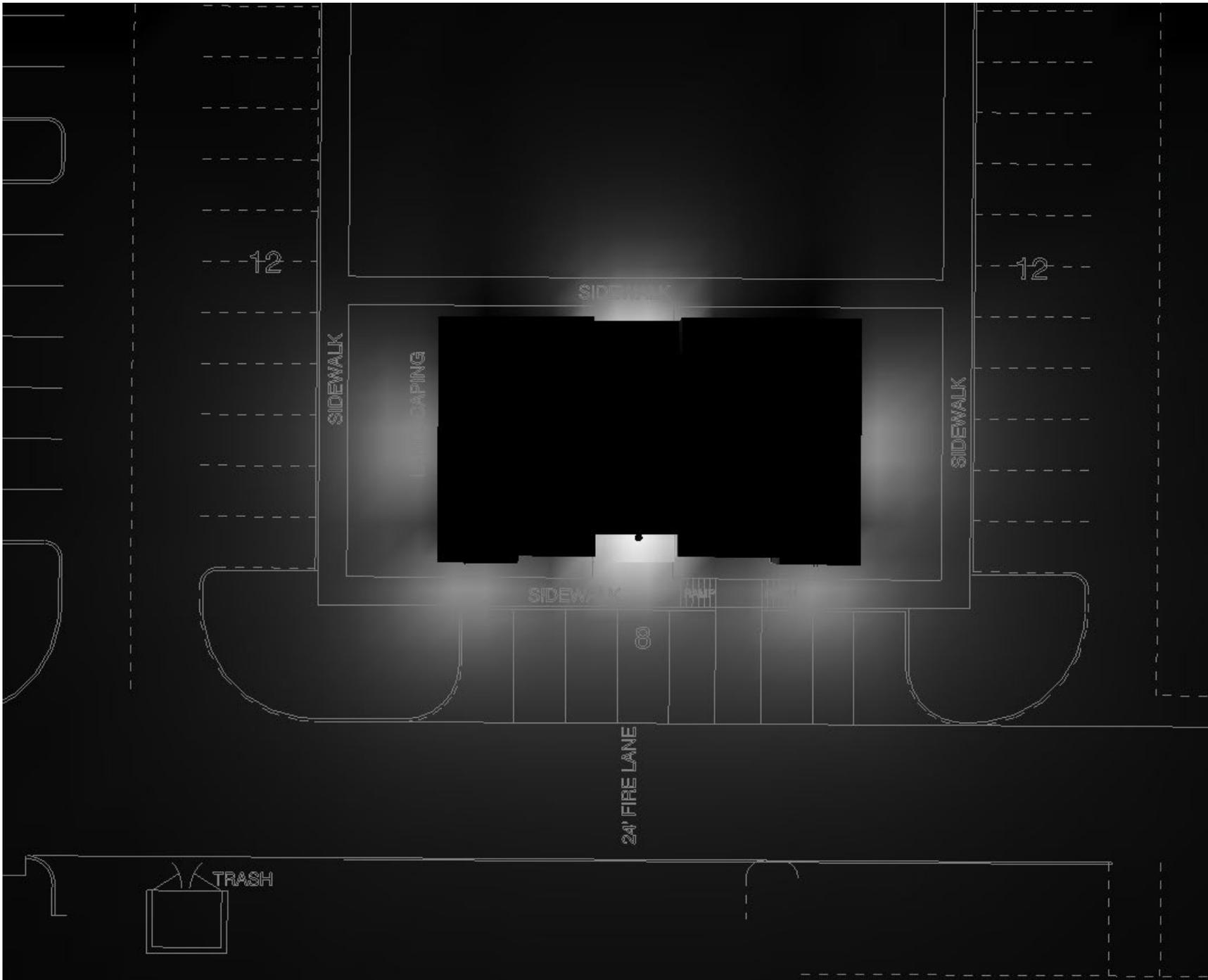
PRELIMINARY 10/15/19
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Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	A	1	HI LITE_H-15316-B	404	60	1.000	2.261	2.800
⊕	B	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
⊕	C	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
⊙	D	8	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
CANOPY	0	Fc	13.20	14.4	11.8	1.12	
GRADE_Planar	0	Fc	0.20	6.7	0.0	N.A.	

Notes:
 1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are as height indicated in summary table.
 3. Hanging heights are designated on drawing with "Ht".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Dynamic lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





CITY OF ROCKWALL

ARCHITECTURAL REVIEW BOARD MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Architectural Review Board
FROM: David Gonzales, Planning & Zoning Manager
DATE: October 29, 2019
SUBJECT: SP2019-039.; *Amended Building Elevations for 3005 N. Goliad Street*

On July 9, 2019, the Planning and Zoning Commission approved a site plan [*i.e.* SP2019-023] for a strip retail center that will be constructed at 3005 N. Goliad Street. On October 18, 2019, the applicant Matthew King of Matthew King Architect submitted an application requesting approval of an amended site plan for the purpose of changing the exterior materials of the approved building. The applicant's request does not change the buildings' elevations, only the color of the limestone from a light tan to a darker (*i.e.* Austin Mist) limestone. Additionally, the color pallet of the stucco appears to be generally the same color as was previously approved. Despite the changes to the colors of the limestone (and stucco), the building will maintain conformance with the North SH-205 Overlay (*N. SH-205 OV*) District standard for natural stone; however, the Architectural Review Board (ARB) is tasked with evaluating the proposed color change to the elevations for compatibility with the surrounding area. Staff will be available at the meeting.



SP2019-039 - AMENDED SITE PLAN FOR 3005 N. GOLIAD STREET
 SITE PLAN - LOCATION MAP = [yellow square icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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Rendering - Approved Colors and Materials (07.19.2019)



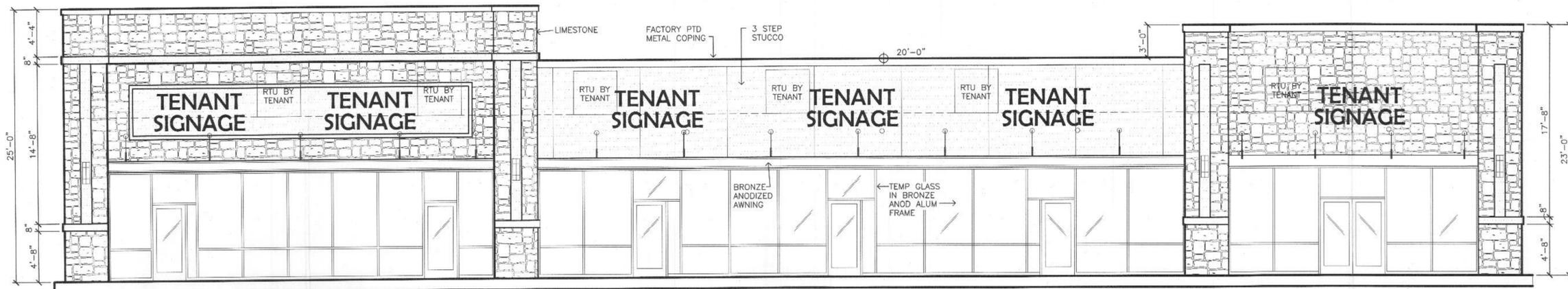
Proposed Color Change





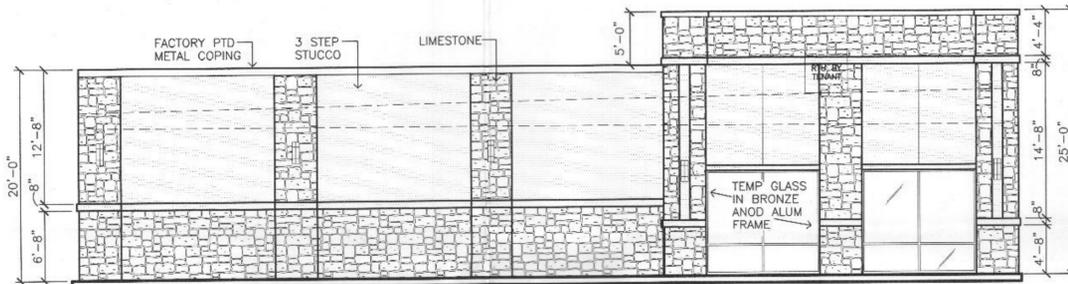
September 3, 2019

DO NOT SCALE
 THESE PLANS



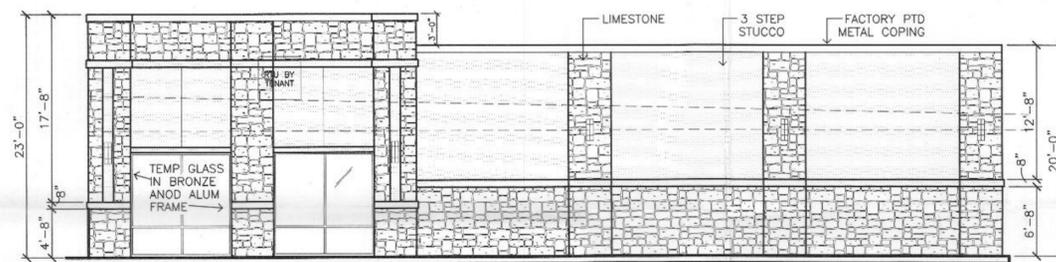
1 east elevation
 scale: 3/16" = 1'-0"

EAST FACADE: 1,503 SF (NO WINDOWS & DOORS)
 STONE: 859 SF, 57%
 3 STEP STUCCO: 644 SF, 43%



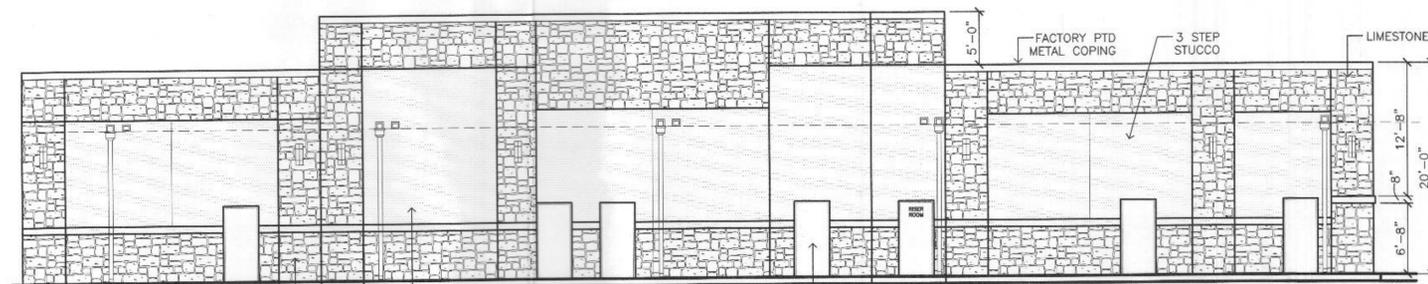
2 south elevation
 scale: 1/8" = 1'-0"

SOUTH FACADE: 1,930 SF
 STONE: 1,034 SF, 53%
 3 STEP STUCCO: 896 SF, 47%



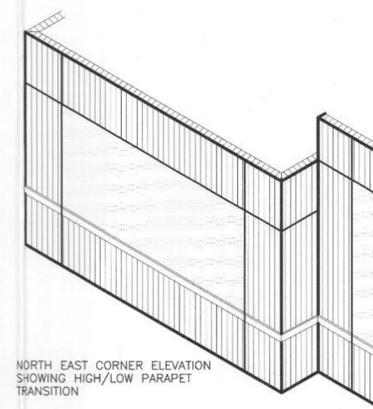
3 north elevation
 scale: 1/8" = 1'-0"

NORTH FACADE: 1,803 SF
 STONE: 918 SF, 51%
 3 STEP STUCCO: 885 SF, 49%



4 west elevation
 scale: 1/8" = 1'-0"

WEST FACADE: 2,949 SF
 STONE: 1,598 SF, 54%
 3 STEP STUCCO: 1,460 SF, 46%



NORTH EAST CORNER ELEVATION
 SHOWING HIGH/LOW PARAPET
 TRANSITION

- 3 STEP STUCCO**
- EXTERIOR MATERIALS:**
1. STOREFRONT, AWNINGS & ROOFING: DARK BRONZE ANODIZED ALUMINUM.
 2. PIPS COLOR: SW 7047 PORPOISE
 3. STONE: 1 1/2" THICK SILVER MIST LIMESTONE; CALL CARTER LYON AT SPECIFIED PRODUCTS
- SUBMIT SAMPLES TO OWNER TO CONFIRM

Owner:
 DA 3009 Goliad Partners, LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 Site plan submittal 6-6-19
 Site plan REVISIONS 7-1-19
 Permit issue: 9-3-19
 Facade REV 10-18-19

Sheet Number:
A3
 Exterior Elevations

Gonzales, David

From: mattking@mkingarchitect.com
Sent: Monday, October 21, 2019 11:35 AM
To: Gonzales, David
Cc: 'Cary Albert'; 'Carter Lyon'; 'Jackie Albert SCH FZ Austin'
Subject: FW: JSP Silvermist Oklahoma Stone Info

David, below are pictures from the quarry of the silver mist limestone on pallets. You can see the silver edges of the stone w/ the colored face.

Would it be possible for you to print copies of these pictures to include w/ my submittal? I have also attached below how they handle the outside corners so you don't see the grey edges. This is a different stone, but it show the edge arrangement.



Thanks,

Matt King – Architect

ARCHITECTURE • REAL ESTATE

Cell: 972-841-9678 • Office: 469-742-0678

Email: mattking@mkingarchitect.com

Web: www.mkingarchitect.com

Victory has a Sound

From: Carter Lyon <carter@specifiedproductsinc.com>

Sent: Monday, October 21, 2019 10:43 AM

To: mattking@mkingarchitect.com

Subject: FW: JSP Silvermist Oklahoma Stone Info

From: Zac Griffith

Sent: Monday, October 21, 2019 10:29 AM

To: Carter Lyon <carter@specifiedproductsinc.com>

Subject: JSP Silvermist Oklahoma Stone Info

Carter, below are some pics and our testing data and the quarry address showing that the Silvermist stone is a natural quarried stone from Stigler that we quarry and then thin cut.





Zac Griffith
817-243-2207 cell
Jacobs Stone Products
www.jacobsstone.com

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STUCCO: SW 7047 PORPOISE



RENDERING



EMERALD ONE JUSTIN MIST

PROJECT INFORMATION

PROJECT: ALBERT RETAIL
3005 N. GOLIAD
ROCKWALL, TEXAS 75087

OWNER: DA 3005 GOLIAD PARTNERS, LP
14114 DALLAS FERRY SUITE 870
DALLAS, TX 75254

ARCHITECT: MATTHEW KING
PH: 469-742-0878

DATE: OCTOBER 18, 2019

MATERIAL SAMPLE BOARD