

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
JULY 9, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(IV) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- (2) Approval of Minutes for the May 28, 2024 Planning and Zoning Commission meeting.

- (3) Approval of Minutes for the June 25, 2024 Planning and Zoning Commission meeting.

(4) **P2024-022 (HENRY LEE)**

Discuss and consider a request by Chuck Lamping of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes, LP for the approval of a Final Plat for Phase 2 of the Terracina Estates Subdivision consisting of 94 single-family residential lots on a 31.331-acre tract of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 82 (PD-82) [*Ordinance No. 18-08*] for Single-Family 10 (SF-10) District land uses, generally located at the terminus of Guadalupe Drive, Mesa Verde Drive and Oakcrest Drive, and take any action necessary.

(5) **SP2024-033 (HENRY LEE)**

Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of TM Terraces, LLC for the approval of a Site Plan for an amenity center on a 0.52-acre parcel of land identified as Lot 18, Block A, Terraces, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, addressed as 1845 Terraces Boulevard, and take any action necessary.

(6) **SP2024-028 (HENRY LEE)**

Discuss and consider a request by Chuck Lamping of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes, LP for the approval of a Site Plan for Phase 2 of the Terracina Estates Subdivision consisting of 94 single-family residential lots on a 31.331-acre tract of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 82 (PD-82) [*Ordinance No. 18-08*] for Single-Family 10 (SF-10) District land uses, generally located at the terminus of Guadalupe Drive, Mesa Verde Drive and Oakcrest Drive, and take any action necessary.

(V) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

(7) **Z2024-028 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by David Naylor of Rayburn Electric Cooperative for the approval of a Zoning Change from Planned Development District 44 (PD-44), Commercial (C) District, and Heavy Commercial (HC) District to Planned

Development District 44 (PD-44) for Commercial (C) District and Heavy Commercial (HC) District land uses for a 95.00-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26; Lots 6, 7, 8, & 9, Block A, Rayburn Country Addition; Lot 1, Block 1, Helwig Addition; and Lot 1, Block A, Estep Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, Heavy Commercial (HC) District, and Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located in between Mims Road, Sids Road, and S. Goliad Street [SH-205], and take any action necessary.

(8) **Z2024-029 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ben Lewis for the approval of a *Specific Use Permit (SUP)* for a *Detached Garage* that exceeds the maximum size and height on a 0.3168-acre parcel of land identified as Lot 3, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 911 N. Alamo Street, and take any action necessary.

(9) **Z2024-030 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

(VI) **ACTION ITEMS**

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(10) **SP2024-025 (ANGELICA GUEVARA)**

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a *Site Plan* for a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In (i.e. HteaO)* on a 0.676-acre parcel of land identified a portion of Lot 3, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

(11) **SP2024-026 (HENRY LEE) [POSTPONED TO THE JULY 30, 2024 PLANNING AND ZONING COMMISSION AGENDA]**

Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall, LLC for the approval of an *Amended Site Plan* for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, address as 1351 Corporate Crossing, and take any action necessary.

(12) **SP2024-031 (HENRY LEE)**

Discuss and consider a request by Neda Hosseiny of Kimley-Horn and Associates, Inc. on behalf of Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a *Site Plan* for *Heavy Manufacturing Facility (i.e. Ballard)* on a 32.00-acre portion of a larger 70.5969-acre parcel of land identified as Lot 1, Block B, Rockwall Technology Park, Phase V Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

(13) **SP2024-032 (HENRY LEE)**

Discuss and consider a request by Salvador Salcedo for the approval of a *Site Plan* for an *Office/Warehouse Building* on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

(14) **Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**

- P2024-020: Final Plat for Lots 1, 2, 3, & 4, Block A, Lee Acres Addition (**APPROVED**)
- P2024-021: Final Plat for Lots 1 & 2, Block A, Borjas Addition (**APPROVED**)
- P2024-023: Replat for Lots 14 & 15, Block A, Stone Creek Retail Addition (**APPROVED**)
- P2024-024: Replat for Lots 8-10, Block A, Walmart Supercenter Addition (**APPROVED**)
- Z2024-024: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 9 Amity Lane (**1<sup>ST</sup> READING; APPROVED**)
- Z2024-025: Specific Use Permit (SUP) for *Solar Energy Collector Panels* at 1290 E. IH-30 (**1<sup>ST</sup> READING; APPROVED**)
- Z2024-026: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 711 Lamar Street (**1<sup>ST</sup> READING; APPROVED**)

(VII) ADJOURNMENT

(15) **Capital Improvement Advisory Committee Meeting (CIAC) [7:00 PM]**

The Capital Improvement Advisory Committee Meeting (CIAC) will be meeting directly after the Planning and Zoning Commission Work Session Meeting to discuss the 2024 Impact Fee Update of Roadway, Water, Wastewater Impact Fees.

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on July 5, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
MAY 28, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## 5 6 I. CALL TO ORDER

7  
8 Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were Dr. Jean Conway, Jay Odom and Kyle Thompson.  
9 Commissioners absent were Vice-Chairman John Womble and Ross Hustings Staff members present were Director of Planning and Zoning Ryan  
10 Miller, Planner Bethany Ross and Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning  
11 and Civil Engineer Madelyn Price. Absent were Senior Planner Henry Lee and Planning Technician Angelica Guevara.

## 12 13 II. APPOINTMENTS

14  
15 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations  
16 and comments for items on the agenda requiring architectural review.

## 17 18 III. OPEN FORUM

19  
20 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public*  
21 *hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens.*  
22 *On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments*  
23 *during the meeting per the Texas Open Meetings Act.*

24  
25 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time.

26  
27 **Matt Scott**  
28 4925 Bear Claw Lane  
29 Rockwall, TX 75032

30  
31 Mr. Scott came forward and expressed his concerns in regards to the re-zoning of the Lofland Farms.

32  
33 **Tim McCallum**  
34 5140 Standing Oak Lane  
35 Rockwall, TX 75032

36  
37 Mr. McCallum came forward and expressed his concerns in regards to the re-zoning of the Lofland Farms.

38  
39 **Leslie Wilson**  
40 535 Cullins Road  
41 Rockwall, TX 75032

42  
43 Mrs. Wilson came forward and expressed her concerns to the re-zoning of the Lofland Farms.

44  
45 **Susan Langdon**  
46 5050 Bear Claw Lane  
47 Rockwall, TX 75032

48  
49 Mrs. Langdon came forward and expressed her concerns in regards to the re-zoning of the Lofland Farms.

50  
51 **Joe Ward**  
52 4920 Bear Claw Lane  
53 Rockwall, TX 75032

54  
55 Mr. Ward came forward and expressed his concerns in regards to the re-zoning of the Lofland Farms.

56  
57 **Cody Barrick**  
58 5459 FM 549  
59 Rockwall, TX 75032

60  
61 Mr. Barrick came forward and expressed his concerns in regards to the re-zoning of the Lofland Farms.

63 Chairman Deckard asked if anyone else who wished to speak to come forward at this time; there being no one indicating such Chairman Deckard  
64 closed the open forum.  
65

#### 66 IV. CONSENT AGENDA 67

68 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified*  
69 *Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*  
70

#### 71 2. **P2024-018 (BETHANY ROSS)**

72 Consider a request by Robert Howman of Glenn Engineering on behalf of Tim Lyssy of the Rockwall Independent School District (RISD) for the  
73 approval of a Vacating Plat and Replat for Lots 2 & 3, Block A, Rockwall CCA Addition being a 79.54-acre parcel of land identified as Lots 2 &  
74 3, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 95 (PD-95) for Neighborhood  
75 Service (NS) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 & 2727 John King  
76 Boulevard, and take any action necessary.  
77

78 Commissioner Conway made a motion to approve Consent Agenda. Commissioner Odom seconded the motion which passed by a vote of 4-0.  
79

#### 80 V. ACTION ITEMS 81

82 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to*  
83 *variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the*  
84 *Municipal Code of Ordinances.*  
85

#### 86 3. **SP2024-019 (HENRY LEE)**

87 Discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval  
88 of a Site Plan for an existing *New Motor Vehicle Dealership for Cars and Light Trucks* on a 5.9613-acre parcel of land identified as Lot 1, Block  
89 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30  
90 OV) District, addressed as 1790 E. IH-30, and take any action necessary.  
91

92 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicants request. In 2007 the Planning and Zoning  
93 commission approved a site plan for a new motor vehicle dealership. At the time the site plan was approved a new motor vehicle was permitted by  
94 right in the Light Industrial (LI) District. However, as Planning and Zoning commission is aware this later changed and we now require a Specific Use  
95 Permit (SUP) for new motor vehicle dealerships in the Light Industrial (LI) District. When the applicant approached staff about expanding the existing  
96 dealership it was determined that a SUP was the easiest way to facilitate that. The applicant has gone through the SUP process already. May of this  
97 year the City Council approved the SUP for this property. After that was approved the applicant submitted a site plan. They are requesting to expand  
98 the existing dealership. The site plan meets all the standards for the Light Industrial (LI) District including the lot area, frontage, depth, setbacks,  
99 building height, parking, landscaping. There are a couple variances associated with this request. Most of them deal with the elevations since  
100 everything else is legally non confirming. Since this is in the Overlay (OV) District any expansion of the existing building must meet the current code.  
101 In this case this case does not meet the minimum masonry materials. The glass curtain wall is considered to meet the masonry panels but on the  
102 back side they are using a stucco material. That will also require a variance since we do not allow stucco within the first 4 feet of the base of the  
103 building. There is also not 20% stone. The current building does incorporate some stone. The final variance would be the primary articulation. The  
104 building is very flat in the front. It does not meet that primary articulation. To offset these variances the applicant has proposed a couple of  
105 compensatory measures. Specifically, they will be upgrading the dumpster enclosure, they're adding landscaping and removing the elevated display  
106 structures, removing the security fence that is blocking cross axes easement. Upgrading the lighting and improving the landscape buffer and  
107 removing the display vehicles from public right away.  
108

109 Commissioner Odom made a motion to approve SP2024-019 with staff recommendations. Commissioner Thompson seconded the motion which  
110 passed by a vote of 4-0.  
111

#### 112 4. **SP2024-022 (HENRY LEE)**

113 Discuss and consider a request by Kenneth Selden on behalf of John McKinney for the approval of an Amended Site Plan for an *office building*  
114 on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas,  
115 zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail, and take any  
116 action necessary.  
117

118 Director of Planning and Zoning Ryan Miller provided a summary regarding the applicant's request. In March of 2023 the Planning & Zoning  
119 commission approved a site plan for an office building and they also granted variances to the articulation requirements to build an office building  
120 on the southwest corner of the property. It is currently zoned Commercial (C) District. The original site plan elevations that the commission previously  
121 approved majority of the building was brick. In April of this year the property owner informed staff of an intention to switch to an r panel roofing.  
122 Instead of the standing seam metal roof. Our current code requires in a commercial district the roof be standing seam metal. This change ultimately  
123 required an exception from the Planning and Zoning Commission. What the applicant is proposing to do in addition to the roof is also change the  
124 exterior materials. They added a stone and are doing that to add more contrast to the building. They will also be using a white brick as opposed to  
125 the red brick. They are making several changes to the overall look of the building. Specifically adding the stone that brings it closer into compliance  
126 with the overlay district requirements.  
127

128 Kenneth Selden

129  
130 Mr. Selden came forward and provided additional details regarding the request.

131  
132 Commissioner Conway made a motion to approve SP2024-022 without the variance. Commissioner Thompson seconded the motion which passed  
133 by a vote of 4-0.

134  
135 5. **SP2024-026 (HENRY LEE)**

136 Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall,  
137 LLC for the approval of an Amended Site Plan for a warehouse/distribution center facility on a 43.237-acre parcel of land identified as Lot 1,  
138 Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay  
139 (FM-549 OV) District, address as 1351 Corporate Crossing, and take any action necessary.

140  
141 Director of Planning and Zoning Ryan Miller provided a summary regarding the applicant's request. In September of 2021 the Planning and Zoning  
142 commission approved a site plan for the construction of a warehouse distribution center. Subsequently an amendment was approved allowing 78,000  
143 sq feet of outside storage and insulation of eight silos and that was associated with another tenant. In February of 2024 the property owner submitted  
144 a fence permit proposing additional outside storage with a fence and this was not delineated in the approved site plan therefore ultimately staff told  
145 the applicant they would have to come back through and request an amendment for the site plan. According to the Unified Development Code (UDC)  
146 outside storage must be screened from public streets and residential zoning districts. The proposed outside storage area that they are proposing  
147 will be screened with a rod iron fence. It will have visibility from corporate crossing. The applicant has stated that they do not want to do the masonry  
148 wall because if they need to change that out for another tenant in the future it would involve having to remove that.

149  
150 Chris Lewis  
151 2600 N Central Expressway  
152 Richardson, TX 75080

153  
154 Mr. Lewis came forward and provided additional details regarding the request.

155  
156 Commissioner Conway made a motion to table SP2024-026 to the June 11<sup>th</sup> meeting. Commissioner Thompson seconded the motion which passed  
157 by a vote of 4-0.

158  
159 6. **MIS2024-009 (BETHANY ROSS)**

160 Discuss and consider a request by Jarod Wicker of RGC's Fence & Deck, LLC on behalf of Larry Spradling for the approval of a Miscellaneous  
161 Case for an Exception to the Fence Requirements for a 0.2620-acre parcel of land identified as Lot 23, Block A, Stonebridge Meadows #5  
162 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 205 Stonebridge Drive, and take any  
163 action necessary.

164  
165 Planner Bethany Ross provided a summary regarding the applicant's request. The applicant is requesting an exception to the residential fence  
166 standards. They are proposing a 6-foot vinyl fence with a 1-foot lattice along the north property line extending 18-feet in the backyard to screen the  
167 neighbor's hot tub and provide a privacy for both properties. According to the UDC the only permitted solid fencing for residential properties is cedar  
168 fence but vinyl can be requested and considered by the planning and zoning commission on a case-by-case basis. The fence does not appear to  
169 negatively impact adjacent properties and neighbors have expressed support for this request.

170  
171 Jerry Wicker

172  
173 Mr. Wicker came forward and provided details regarding the request.

174  
175 Commissioner Thompson made a motion MIS2024-009. Commissioner Odom seconded the motion which passed by a vote of 4-0.

176  
177 7. **MIS2024-010 (BETHANY ROSS)**

178 Discuss and consider a request by Cary B. Scott for the approval of a Miscellaneous Case for an Exception to the fence requirements to allow  
179 tennis court mesh to be affixed to an existing wrought iron fence in conjunction with an existing single-family property being a 0.5054-acre parcel  
180 of land identified as Lot 10, Block B, Promenade Harbor Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10)  
181 District, addressed as 2820 Cavendish Court, and take any action necessary.

182  
183 Planner Bethany Ross provided a summary regarding the request. The applicant is requesting to allow black tennis court mesh to an existing rod  
184 iron fence to remain in place. The mesh was installed prior to City approval. This case was referred to us from the Neighborhood Improvement  
185 Services. This was part of an enforcement action. According to the UDC transparent fencing must be rod iron and between 4-8 feet in height. The  
186 black tennis court mesh is not permitted material. There has been an increase in the use of this material. To mitigate this recent amendment to the  
187 UDC it has gone through to the Planning and Zoning Commission and City Council to explicitly prohibit materials like the black tennis court mesh.  
188 If approved, it would send a precedence for allowing non-permitting fence materials throughout the city and staff believes that the applicant can  
189 achieve a desire screening with the permitted landscape and fence materials that the city allows.

190  
191 Cary Scott  
192 2820 Cavendish Court

193 Rockwall, TX 75087

194  
195 Mr. Scott came forward and provided details in regard to the request.

196  
197 Laura Scott  
198 2820 Cavendish court  
199 Rockwall, TX 75087

200  
201 Mrs. Scott came forward and provided details in regard to the request.

202  
203 Commissioner Odom made a motion to deny MIS2024-010. Commissioner Conway seconded the motion to deny which passed by a vote of 4-0.

204

205 VI. DISCUSSION ITEMS

206

207 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases*  
208 *that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can*  
209 *take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning*  
210 *Commission public hearing and/or action date for the following cases is June 11, 2024.*

211

212 8. **Z2024-024 (ANGELICA GUEVARA)**

213 Hold a public hearing to discuss and consider a request by Samuel F. Sofronie for the approval of a Specific Use Permit (SUP) for Residential  
214 Infill in an Established Subdivision on a 0.3620-acre parcel of land identified as Lot 9 of the Greenlee Addition, City of Rockwall, Rockwall  
215 County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 9 Amity Lane, and take any action necessary.

216

217 Director of Planning and Zoning Ryan Miller provided a summary regarding the request. The applicant is requesting a SUP for a Residential Infill.  
218 The request meets all the requirements for a Single-Family in that district.

219

220 Samuel Sofronie  
221 9 Amenity Lane  
222 Rockwall, TX 75087

223

224 Mr. Sofronie came forward and provided additional details regarding the request.

225

226 Chairman Deckard advised this item will go before the commission for discussion or action on June 11, 2024.

227

228 9. **Z2024-025 (HENRY LEE)**

229 Hold a public hearing to discuss and consider a request by Teshia Brown on behalf of Justin Ripp for the approval of a Specific Use Permit  
230 (SUP) for Solar Energy Collector Panels on the roof of an existing Commercial Indoor Amusement facility (i.e. Shenanigans) situated on a  
231 five (5) acre parcel of land identified as Lot 2, Block A, Park Place Business Centre Addition, City of Rockwall, Rockwall County, Texas, zoned  
232 Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1290 E. IH-30, and take any action necessary.

233

234 Director of Planning and Zoning Ryan Miller provided a summary regarding the request. The applicant is requesting an SUP for Solar Energy  
235 Collector panels on the roof. The back of the building was built without a parapet.

236

237 Nick Paloma

238

239 Mr. Paloma came forward and provided additional details regarding the request.

240

241 Chairman Deckard advised this item will go before the commission for discussion or action on June 11, 2024.

242

243 10. **Z2024-026 (ANGELICA GUEVARA)**

244 Hold a public hearing to discuss and consider a request by Ryszond Waszczvk for the approval of a Specific Use Permit (SUP) for Residential  
245 Infill Adjacent to an Established Subdivision on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of  
246 Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO)  
247 District, addressed as 711 Lamar Street, and take any action necessary.

248

249 Director of Planning and Zoning Ryan Miller provided a summary regarding the request. The applicant is requesting a SUP for a Residential Infill.  
250 This will require an exception to the garage orientation. Everything else is in conformance for this subdivision.

251

252 Chairman Deckard advised this item will go before the commission for discussion or action on June 11, 2024.

253

254 11. **Z2024-027 (RYAN MILLER)**

255 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval  
256 of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR)  
257 District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts

258 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-  
259 acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205  
260 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the  
261 intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.  
262  
263

264 **Director of Planning and Zoning Ryan Miller provided a summary regarding the request. The applicant is requesting a Zoning change from an  
265 Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses.**  
266

267 **Ryan Joyce**  
268 **767 Justin Road**  
269 **Rockwall, TX 75087**  
270

271 **Mr. Joyce came forward and provided additional details in regards to the request.**  
272

273 **Chairman Deckard advised this item will go before the commission for discussion or action on June 11, 2024.**  
274

275 **12. P2024-020 (ANGELICA GUEVARA)**

276 Discuss and consider a request by Barbara Lee for the approval of a *Final Plat* for Lots 1, 2, 3, & 4, Block A, Lee Acres Addition being a ten (10)  
277 acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned  
278 Agricultural (AG) District, addressed as 628 Cornelius Road, and take any action necessary.  
279

280 **Director of Planning and Zoning Ryan Miller informed that this case will be going to Parks Board.**  
281

282 **13. SP2024-023 (HENRY LEE)**

283 Discuss and consider a request by Dub Douphrate & Associates, Inc. on behalf of Crosspoint Community Church for the approval of a *Site Plan*  
284 for *House of Worship* on a 13.92-acre tract of land identified as a portion of Lot 1, Block A, Park Station Addition, City of Rockwall, Rockwall  
285 County, Texas, zoned Planned Development District 87 (PD-87) for General Retail (GR) District land uses, located on the southside of E.  
286 Washington Street east of the intersection of E. Washington Street and Park Place Boulevard, and take any action necessary.  
287

288 **Director of Planning and Zoning Ryan Miller provided a summary regarding the request. The applicant is requesting a Site Plan for House of Worship.**  
289

290 **Dub Douphrate**  
291 **2235 Ridge Road**  
292 **Rockwall, TX 75087**  
293

294 **Mr. Douphrate came forward and provided details regarding the request.**  
295

296 **Chairman Deckard advised this item will go before the commission for discussion or action on June 11, 2024.**  
297

298 **14. SP2024-024 (BETHANY ROSS)**

299 Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Tim Lyssy of the Rockwall Independent School District  
300 (RISD) for the approval of a *Site Plan* for an existing *Public or Private Secondary School* (i.e. *Herman Utley Middle School*) on a 41.649-acre  
301 parcel of land identified as Lot 1, Block 1, Herman E. Utley Middle School Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural  
302 (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1201 T. L. Townsend Drive, and take any action necessary.  
303

304 **Planner Bethany Ross provided a summary regarding the request. The applicant is requesting a site plan. This request complies with density except  
305 for exceptions in the overlay district.**  
306

307 **Tim Lyssy**  
308 **1050 Williams Street**  
309 **Rockwall, TX 75087**  
310

311 **Mr. Lyssy came forward and provided details regarding the request.**  
312

313 **Chairman Deckard advised this item will go before the commission for discussion or action on June 11, 2024.**  
314

315 **15. SP2024-025 (ANGELICA GUEVARA)**

316 Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for  
317 the approval of a *Site Plan* for a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* (i.e. *HteaO*) on a 0.676-acre parcel of land  
318 identified a portion of Lot 3, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District,  
319 situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the intersection of S. Goliad Street [SH-205] and FM-549,  
320 and take any action necessary.  
321

322 **Director of Planning and Zoning Ryan Miller provided a summary regarding the request. The applicant is requesting a site plan for a restaurant.**

323  
324  
325  
326  
327  
328  
329  
330  
331  
332  
333  
334  
335  
336  
337  
338  
339  
340  
341  
342  
343  
344  
345  
346  
347  
348  
349  
350  
351  
352  
353  
354  
355  
356  
357  
358  
359  
360  
361  
362  
363  
364  
365  
366  
367  
368  
369  
370

**Keaton Mai**  
**10755 Sandhill Road**  
**Dallas, TX 75238**

Mr. .Mai came forward and provided additional details in regards to the applicants request.

Chairman Deckard advised this item will go before the commission for discussion or action on June 11, 2024.

16. **SP2024-027 (HENRY LEE)**

Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall, LLC for the approval of an Amended Site Plan for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, address as 1351 Corporate Crossing, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a summary in regard to the request. They are requesting an amended site plan for their building elevations.

Chairman Deckard advised this item will go before the commission for discussion or action on June 11, 2024.

17. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2024-012: Replat for Lots 3, 4, & 5, Block A, North Alamo Addition (**APPROVED**)
- Z2024-016: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* at 605 E. Washington Street (**1<sup>ST</sup> READING; APPROVED**)
- Z2024-017: Text Amendment to the Unified Development Code (UDC) (**1<sup>ST</sup> READING; APPROVED**)
- Z2024-018: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 302 E. Bourn Street (**1<sup>ST</sup> READING; APPROVED**)
- Z2024-019: Specific Use Permit (SUP) for *Guest Quarters/Secondary Living Unit and Agricultural Accessory Building or Barn* for 839 Cornelius Road (**1<sup>ST</sup> READING; APPROVED**)
- Z2024-020: Zoning Change (AG to SFE-1.5 & LI) for 172 Zollner Road (**1<sup>ST</sup> READING; APPROVED**)
- Z2024-021: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 302 Evans Road (**1<sup>ST</sup> READING; APPROVED**)
- Z2024-023: Specific Use Permit (SUP) for *Residence Hotel* along FitSport Life Boulevard (**1<sup>ST</sup> READING; TABLED TO THE JUNE 17, 2024 CITY COUNCIL MEETING**)

Director of Planning and Zoning Ryan Miller provided a brief update about the outcomes of the above referenced cases at the City Council meeting.

VII. ADJOURNMENT

Chairman Deckard adjourned the meeting at 8:09PM

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Derek Deckard, Chairman

Attest:

\_\_\_\_\_  
Melanie Zavala, Planning Coordinator

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
JUNE 25, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## I. CALL TO ORDER

8 Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were Dr. Jean Conway, Jay Odom, Kyle Thompson, Ross Hustings  
9 and John Womble. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross.  
10 Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan  
11 Browning and Civil Engineer Madelyn Price.

## II. APPOINTMENTS

### 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

18 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the architectural  
19 review board meeting.

## III. OPEN FORUM

23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the  
24 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN  
25 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open  
26 Meetings Act.*

28 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being  
29 no one indicating such Chairman Deckard closed the open forum.

## IV. CONSENT AGENDA

33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code  
34 (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

### 2. Approval of Minutes for the May 14, 2024 Planning and Zoning Commission meeting.

### 3. P2024-020 (ANGELICA GUEVARA)

39 Discuss and consider a request by Barbara Lee for the approval of a Final Plat for Lots 1, 2, 3, & 4, Block A, Lee Acres Addition being a 19.56-acre tract of  
40 land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed  
41 as 628 Cornelius Road, and take any action necessary.

### 4. P2024-021 (ANGELICA GUEVARA)

44 Consider a request by Antonio Borjas for the approval of a Final Plat for Lots 1 & 2, Block A, Borjas Addition being a 9.4411-acre tract of land identified as  
45 Tract 3-4 of the J. H. Bailey Survey, Abstract No. 45, City of Rockwall, Rockwall, Texas, zoned Light Industrial (LI) District and Single-Family Estate 1.5 (SFE-  
46 1.5) District, situated in the SH-276 Overlay (SH-276 OV) District, addressed 172 Zollner Road, and take any action necessary.

### 5. P2024-023 (ANGELICA GUEVARA)

49 Consider a request by Clay Cristy of ClayMoore Engineering on behalf of Tim Thompson of Metroplex Acquisition Fund, LP for the approval of a Replat for  
50 Lots 14 & 15, Block A, Stone Creek Retail Addition being a 5.16-acre parcel of land identified as Lot 13, Block A, Stone Creek Retail Addition, City of Rockwall,  
51 Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay  
52 (N. SH-205 OV) District, generally located at the northeast corner of the intersection of N. Goliad Street [SH-205] and Bordeaux Drive, and take any action  
53 necessary.

### 6. P2024-024 (BETHANY ROSS)

56 Consider a request by Hani Elkady of Tarina Group, Inc. on behalf of Michael Eido of Travelers Plaza, LLC for the approval of a Replat for Lots 8-10, Block  
57 A, Walmart Supercenter Addition on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County,  
58 Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of Suncrest  
59 Drive, and take any action necessary.

61 Vice-Chairman Womble made a motion to approve the Consent Agenda. Commissioner Conway seconded the motion which passed by a vote of 6-  
62 0 with 1 open seat.

64 V.PUBLIC HEARING ITEMS

65

66 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*  
67 *submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning*  
68 *Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments*  
69 *to three (3) minutes out of respect for the time of other citizens.*

70

71 7. Z2024-024 (ANGELICA GUEVARA)

72 Hold a public hearing to discuss and consider a request by Samuel F. Sofronie for the approval of a Specific Use Permit (SUP) for Residential Infill in an  
73 Established Subdivision on a 0.3620-acre parcel of land identified as Lot 9 of the Greenlee Addition, City of Rockwall, Rockwall County, Texas, zoned Single-  
74 Family 10 (SF-10) District, addressed as 9 Amity Lane, and take any action necessary.

75

76 Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting the approval of a Specific Use  
77 Permit (SUP) for Residential Infill for the purpose of constructing a single-family home on the subject property. The proposed home appears to meet  
78 most of the requirements for Residential Infill in an Established Subdivision, and the zoning requirements for a property in a Single-Family 10 (SF-10)  
79 District. On May 20, 2024, staff mailed 63 notices to property owners and occupants within 500-feet of the subject property. At this time, staff had not  
80 received any notices regarding the applicant's request.

81

82 Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating  
83 such Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.

84

85 Commissioner Conway made a motion to approve Z2024-024. Vice-Chairman Womble seconded the motion which passed by a vote of 6-0.

86

87 8. Z2024-025 (HENRY LEE)

88 Hold a public hearing to discuss and consider a request by Teshia Brown on behalf of Justin Ripp for the approval of a Specific Use Permit (SUP) for Solar Energy  
89 Collector Panels on the roof of an existing Commercial Indoor Amusement facility (i.e. Shenanigans) situated on a five (5) acre parcel of land identified as Lot 2,  
90 Block A, Park Place Business Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-  
91 30 OV) District, addressed as 1290 E. IH-30, and take any action necessary.

92

93 Planner Henry Lee provided a summary regarding the applicant's request. The applicant is requesting a SUP for solar panels this case specifically  
94 does not meet all our conditional land use standard. Specifically, they don't meet the screening requirement. However, because it isn't fully screened  
95 it will require a SUP. On May 20, 2024, staff mailed out notices to property owners and occupants within 500-feet of the subject property. At this time  
96 staff had only received one notice and it was in favor of the applicant's request.

97

98 Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating  
99 such Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.

100

101 Commissioner Thompson made a motion to approve Z2024-025. Commissioner Conway seconded the motion which passed by a vote of 6-0.

102

103 9. Z2024-026 (ANGELICA GUEVARA)

104 Hold a public hearing to discuss and consider a request by Ryszond Waszczyk for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to  
105 an Established Subdivision on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas,  
106 zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and take  
107 any action necessary.

108

109 Planning Technician Angelica Guevara provided a summary regarding the applicant's request. The applicant is requesting approval of a SUP for  
110 Residential Infill for the purpose of constructing a single-family home. The proposed home meets all of the density and dimensional requirements  
111 for a property in an SF-7 District with the exception of the garage orientation. The proposed garage will be attached but will be located approximately  
112 22-feet, 9-inches in front of the front façade of the home. Staff should note that is not atypical of the area or properties located within the Southside  
113 Overlay District; however, this will require a waiver to the garage orientation. On May 20, 2024, staff mailed 88 notices to property owners and  
114 occupants within 500-feet of the subject property. At this time, staff had not received any notices back regarding the applicant's request.

115

116 Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating  
117 such Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.

118

119 Commissioner Conway made a motion to approve Z2024-026. Vice-Chairman Womble seconded the motion which passed by a vote of 6-0.

120

121 10. Z2024-027 (RYAN MILLER) [THE APPLICANT IS REQUESTING TO WITHDRAW THIS CASE]

122 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change  
123 from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre  
124 tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25  
125 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural  
126 (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side  
127 of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

128

129 Chairman Deckard made a motion to withdraw Z2024-027. Vice-Chairman Womble seconded the motion which passed by a vote of 6-0.

130

131 VI. ACTION ITEMS

132  
133 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*  
134 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*  
135

136 11. **SP2024-023 (HENRY LEE)**

137 Discuss and consider a request by Dub Douphrate & Associates, Inc. on behalf of Crosspoint Community Church for the approval of a Site Plan for *House of*  
138 *Worship* on a 13.92-acre tract of land identified as a portion of Lot 1, Block A, Park Station Addition, City of Rockwall, Rockwall County, Texas, zoned Planned  
139 Development District 87 (PD-87) for General Retail (GR) District land uses, located on the southside of E. Washington Street east of the intersection of E.  
140 Washington Street and Park Place Boulevard, and take any action necessary.

141  
142 **Senior Planner Henry Lee provided a summary regarding the request. The applicant is requesting a site plan for a House of Worship. Two years ago,**  
143 **there was an amendment to PD-87 to allow this use on the subject property. Therefore, they are coming forward now with the site plan request. They**  
144 **generally meet all the density and dimensional requirements for this property. They meet all the requirements for the PD as well. The only variance**  
145 **they have currently are articulation which ARB did look at this case tonight and they did recommend approval.**

146  
147 **Vice-Chairman Womble asked if there were changes to the surrounding area.**

148  
149 **Dub Douphrate**  
150 **2235 Ridge Road**  
151 **Rockwall, TX 75087**

152  
153 **Mr. Douphrate came forward and provided additional details in regard to the request.**

154  
155 **Commissioner Odom made a motion to approve SP2024-023. Commissioner Hustings seconded the motion which passed by a vote of 6-0.**  
156

157 12. **SP2024-024 (BETHANY ROSS)**

158 Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Tim Lyssy of the Rockwall Independent School District (RISD) for the  
159 approval of a Site Plan for an existing *Public or Private Secondary School (i.e. Herman Utley Middle School)* on a 41.649-acre parcel of land identified as Lot  
160 1, Block 1, Herman E. Utley Middle School Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30  
161 Overlay (IH-30 OV) District, addressed as 1201 T. L. Townsend Drive, and take any action necessary.

162  
163 **Planner Bethany Ross provided a brief summary in regards to the request. The applicant is requesting approval of the expansion of an existing**  
164 **Public secondary school. The expansion meets the majority of the city's code with the exception of the permitted building articulation and the use**  
165 **of artificial turf in the amenity areas. The building also incorporates variances to the masonry materials, stone and four-sided architecture**  
166 **requirements. This is an expansion and the applicant are matching the building. ARB did recommend approval tonight.**

167  
168 **Tim Lyssy**  
169 **1191 TL Townsend**  
170 **Rockwall, TX 75087**

171  
172 **Mr. Lyssy came forward and provided additional details in regards to the request.**

173  
174 **Chairman Deckard made a motion to approve SP2024-024. Commissioner Conway seconded the motion which passed by a vote of 6-0.**  
175

176 13. **SP2024-025 (ANGELICA GUEVARA)**

177 Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of  
178 a Site Plan for a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In (i.e. HteaO)* on a 0.676-acre parcel of land identified a portion of Lot 3, Block A,  
179 Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV)  
180 District, generally located north of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

181  
182 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting the approval of a Site Plan**  
183 **for the purpose of constructing a Restaurant, 2,000 SF or More, with Drive-Through or Drive-In on the subject property. According to the UDC, the**  
184 **Restaurant 2.000 SF or More is permitted by right in a Commercial District. The submitted site plan, landscape plan, photometric plan, and building**  
185 **elevations generally conform to the technical requirements contained within the UDC for a property located within this district with the exception of**  
186 **the following variances one primary and secondary articulation, two roof design standards, and three the 90% masonry requirement. In lieu of these**  
187 **variances, the applicant has indicated the following compensatory measures: One increased landscape buffer along SH205 (from 20-feet to 40-feet),**  
188 **two increased overall open space, three adding parking lot landscaping , four effective and enhanced landscape screening adjacent to the drive-thru**  
189 **lane, five removal of the exterior roof ladder and parapet opening, and six increased natural stone material beyond 20% on the site.**

190  
191 **Michael Hampton**  
192 **10755 Sandhill Road**  
193 **Dallas, TX 75238**

194  
195 **Mr. Hampton came forward and provided additional details in regards to the request.**

196  
197 **Chairman Deckard asked if they would be able to change the color.**

198  
199 **Vice-Chairman Womble asked if they can change the materials.**

200  
201 **Commissioner Conway made a motion to table SP2024-025 till July 9th meeting. Vice-Chairman Womble seconded the motion which passed by vote**  
202 **of 6-0**  
203

204 **14. SP2024-026 (HENRY LEE)**  
205 Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall, LLC for the  
206 approval of an Amended Site Plan for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition,  
207 City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, address as 1351  
208 Corporate Crossing, and take any action necessary.  
209

210 **Senior Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting an amended site plan for a warehouse**  
211 **facility. The UDC does state that screening of outside storage must be 1 foot taller of the material being stored and shall be achieved using a masonry**  
212 **wall and canopy trees. However, the Planning and Zoning commission may approve alternative screening methods. They are requesting a rod iron**  
213 **fence with additional landscaping. The condition of approval was that I shall not exceed more then 8- feet in height or extended above the rod iron**  
214 **fence.**

215 **Vice-Chairman Womble asked where the screening would be.**

216 **Chris Lewis**  
217 **2600 N Central Expwy.**  
218 **Richardson, TX 75080**

219 **Mr. Lewis came forward and provided additional details in regards to the request.**

220 **Commissioner Hustings asked about screen requirements being different.**

221 **Chairman Deckard made a motion to table SP2024-026 till July 9th meeting . Vice-Chairman Womble seconded the motion to table which passed by**  
222 **a vote 6-0.**

223 **15. SP2024-027 (HENRY LEE)**  
224 Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall, LLC for the  
225 approval of an Amended Site Plan for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition,  
226 City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, address as 1351  
227 Corporate Crossing, and take any action necessary.  
228

229 **Senior Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting approval of outside storage. They are also**  
230 **requesting 4 proposed silos as well. They are also requesting the 8-foot rod iron fence.**

231 **Chris Lewis**  
232 **2600 N Central Expwy**  
233 **Richardson, TX 75080**

234 **Mr. Lewis came forward and provided additional details in regards to the request.**

235 **Vice-Chairman Womble made a motion to approve SP2024-027 with staff recommendations. Commissioner Hustings seconded the motion which**  
236 **passed by a vote of 6-0.**

237 **16. SP2024-029 (BETHANY ROSS)**  
238 Discuss and consider a request by Alan Jacob on behalf of Jim Melino of the Cambridge Companies, Inc. for the approval of a Amended Site Plan for a *Self-*  
239 *Service Carwash* on a 6.37-acre tract of land identified as Tract 3-09 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas,  
240 zoned Planned Development District 10 (PD-10) for Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at  
241 the northwest corner of SH-276 and John King Boulevard, and take any action necessary.  
242

243 **Planner Bethany Ross provided a brief summary in regards to the request. On November 15, 2022 a site plan was approved for a self-service car**  
244 **wash with the condition that the applicant come back with an updated landscape plan showing the required detention trees. Since then the applicant**  
245 **has provided an updated landscape plan which included 196 more trees on site. Therefore, the tree mitigation decreased significantly.**

246 **Steven Dunn**  
247 **5830 Preston Fairways Drive**  
248 **Dallas, TX 75252**

249 **Mr. Dunn came forward and provided additional details in regards to the request.**

250 **Commissioner Conway made a motion to approve SP2024-029. Commissioner Odom seconded the motion which passed by a vote of 6-0.**

251 **17. SP2024-032 (HENRY LEE)**

266 Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45- acre parcel of land identified  
267 as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855  
268 Whitmore Drive, and take any action necessary.

269 **Chairman Deckard made a motion to table SP2024-032 till July 9th meeting. Vice-Chairman Womble seconded the motion which passed by a vote of**  
270 **6-0.**

271  
272  
273 **18. MIS2024-011 (ANGELICA GUEVARA)**

274 Discuss and consider a request by Gavin Jones on behalf of Costco Wholesale Corporation for the approval of a Miscellaneous Case for an *Exception* to allow  
275 artificial or synthetic plant materials on a 33.17-acre parcel of land identified as Lot 1R, Block 1, Rockwall Centre Corners Addition, City of Rockwall, Rockwall  
276 County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) District and the SH-276 Overlay (SH-276 OV) District, addressed as  
277 1225 SH-276, and take any action necessary.

278  
279 **Planning Technician Angelica Guevara provided a brief summary in regard to the request. The applicant is requesting the approval of an *Exception***  
280 **to allow artificial turf on a parking lot island to remain in place. Staff should note that this case was referred to the Planning and Zoning Department**  
281 **from the Neighborhood Improvement Services Division as part of an enforcement action on the property. Based on the applicant’s letter, they are**  
282 **requesting to retain the artificial turf on a median in order to further enhance the look of their parking lot. According to the UDC, artificial or synthetic**  
283 **plant materials shall be prohibited on all non-residentially zoned property. In this case, the artificial area was installed approximately one (1) year**  
284 **ago, and the median also consists of natural rock that was placed on the property as a sustainability and water saving measure. Staff should note**  
285 **that the applicant’s request does not seem to negatively impact the overall look of the existing Costco location or its parking lot, and that the artificial**  
286 **landscaping in the median seems to have been well maintained since its installation.**

287  
288 **After some discussion, Commissioner Conway made a motion to deny MIS2024-011. Commissioner Odom seconded the motion to deny which**  
289 **passed by a vote of 6-0.**

290  
291 **19. MIS2024-013 (ANGELICA GUEVARA)**

292 Discuss and consider a request by John Hagaman of Sabre Realty for the approval of a Miscellaneous Case for an *Exception* to allow artificial or synthetic plant  
293 materials on a 10.104-acre parcel of land identified as Lot 3 of the Carlisle Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)  
294 District, situated within IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, addressed as 559 E. IH-30, and take any action necessary.

295  
296 **Planning technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting the approval of an exception**  
297 **to the landscape material requirements to allow the installation of artificial or synthetic plant materials. According to the applicant, artificial turf was**  
298 **installed in some areas on the subject property over two (2) years ago, and is requesting that these areas remain in place. According to the UDC,**  
299 **artificial or synthetic plant materials shall be prohibited on all non-residentially zoned property. As previously stated, the turf was placed on the**  
300 **areas approximately two (2) years ago due to the areas being high pedestrian traffic areas or where grass has been difficult to establish. The applicant**  
301 **has also indicated that this is more aesthetically pleasing and that water runoff has not been affected by the installation of the artificial turf. In**  
302 **addition, the applicant has stated that the artificial turf helps reduce the amount of dust and debris being brought into tenant’s stores in the shopping**  
303 **center.**

304  
305 **John Hagaman**  
306 **30 Shady Dale**  
307 **Rockwall, TX 75032**

308  
309 **Mr. Hagaman came forward and provided additional details in regards to the request.**

310  
311 **Commissioner Thompson asked if there’s something coming up with new regulations.**

312  
313 **Commissioner Thompson asked if there is something that the applicant can resubmit if it gets denied.**

314  
315 **Commissioner Hustings made a motion to approve MIS2024-013. Chairman Deckard seconded the motion and and it failed to pass 4 against 2 in**  
316 **favor. Chairman Deckard made a motion to deny MIS2024-013 without prejudice. Vice-Chairman Womble seconded the motion to deny without**  
317 **prejudice that passed by a vote of 6-0.**

318  
319 **VII. DISCUSSION ITEMS**

320  
321 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*  
322 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*  
323 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*  
324 *following cases is July 9, 2024.*

325  
326 **20. Z2024-028 (RYAN MILLER)**

327 Hold a public hearing to discuss and consider a request by David Naylor of Rayburn Electric Cooperative for the approval of a Zoning Change from Planned  
328 Development District 44 (PD-44), Commercial (C) District, and Heavy Commercial (HC) District to Planned Development District 44 (PD-44) for Commercial (C)  
329 District and Heavy Commercial (HC) District land uses for a 95.00-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26; Lots 6, 7,  
330 8, & 9, Block A, Rayburn Country Addition; Lot 1, Block 1, Helwig Addition; and Lot 1, Block A, Estep Addition, City of Rockwall, Rockwall County, Texas, zoned  
331 Commercial (C) District, Heavy Commercial (HC) District, and Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within  
332 the SH-205 Overlay (SH-205 OV) District, generally located in between Mims Road, Sids Road, and S. Goliad Street [SH-205], and take any action necessary.  
333

334 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. The applicant is requesting a Zoning  
335 Change from Planned Development District 44 (PD-44), Commercial (C) District and Heavy Commercial (HC) District. The applicant is requesting this  
336 to essentially create a campus field.  
337

338 David Naylor  
339 950 Sids Road  
340 Rockwall, TX 75087  
341

342 Mr. Naylor came forward and provided additional details in regards to the request.  
343

344 Commissioner Thompson asked what regulations are for Gun Ranges.  
345

346 Chairman Deckard advised this item will go before the commission for discussion or action on July 9, 2024.  
347

348 21. Z2024-029 (HENRY LEE)

349 Hold a public hearing to discuss and consider a request by Ben Lewis for the approval of a Specific Use Permit (SUP) for a *Detached Garage* that exceeds the  
350 maximum size and height on a 0.3168-acre parcel of land identified as Lot 3, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-  
351 Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 911 N. Alamo Street, and take any action necessary.  
352

353 Senior Planner Henry Lee provided additional details in regards to the request. The applicant is requesting a SUP for a detached garage that exceeds  
354 the maximum size and height.  
355

356 Ben Lewis  
357 911 N. Alamo Road  
358 Rockwall, TX 75087  
359

360 Mr. Lewis came forward and provided additional details in regards to the request.  
361

362 Chairman Deckard advised this item will go before the commission for discussion or action on July 9, 2024.  
363

364 22. Z2024-030 (ANGELICA GUEVARA)

365 Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an*  
366 *Established Subdivision* on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned  
367 Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.  
368

369 Planning Technician Angelia Guevara provided a brief summary in regards. This is a request for a Residential Infill at 329 Harbor Landing. Staff is  
370 currently working with the applicant regarding staff comments. The proposed home meets all of the requirements for a home in this Harbor Landing,  
371 Phase 2 subdivision with the exception of the roof pitch and the garage orientation.  
372

373 Chairman Deckard advised this item will go before the commission for discussion or action on July 9, 2024.  
374

374 23. P2024-022 (HENRY LEE)

375 Discuss and consider a request by Chuck Lamping of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes, LP for the approval  
376 of a Final Plat for Phase 2 of the Terracina Estates Subdivision consisting of 94 single-family residential lots on a 31.331-acre tract of land identified as Tract 16  
377 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 82 (PD-82) [*Ordinance No. 18-*  
378 *08*] for Single-Family 10 (SF-10) District land uses, generally located at the terminus of Guadalupe Drive, Mesa Verde Drive and Oakcrest Drive, and take any  
379 action necessary.  
380

381 Senior Planner Henry Lee advised this will go to Parks Board on July 2, 2024.  
382

383 Chairman Deckard advised this item will go before the commission for discussion or action on July 9, 2024.  
384

385 24. SP2024-028 (HENRY LEE)

386 Discuss and consider a request by Chuck Lamping of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes, LP for the approval  
387 of a Site Plan for Phase 2 of the Terracina Estates Subdivision consisting of 94 single-family residential lots on a 31.331-acre tract of land identified as Tract  
388 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 82 (PD-82) [*Ordinance No.*  
389 *18-08*] for Single-Family 10 (SF-10) District land uses, generally located at the terminus of Guadalupe Drive, Mesa Verde Drive and Oakcrest Drive, and take  
390 any action necessary.  
391

392 Senior Planner Henry Lee advised this will go to Parks Board on July 2, 2024. However, staff should note that there are parking improvements that  
393 were not included in Phase one that will be including into phase two.  
394

395 Chairman Deckard advised this item will go before the commission for discussion or action on July 9, 2024.  
396

397 25. SP2024-031 (HENRY LEE)

398 Discuss and consider a request by Neda Hosseiny of Kimley-Horn and Associates, Inc. on behalf of Phil Wagner of the Rockwall Economic Development  
399 Corporation (REDC) for the approval of a Site Plan for *Heavy Manufacturing Facility (i.e. Ballard)* on a 32.00-acre portion of a larger 77.148-acre tract of land  
400 identified as Tract 6 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at  
401 the southwest corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

402  
403  
404  
405  
406  
407  
408  
409  
410  
411  
412  
413  
414  
415  
416  
417  
418  
419  
420  
421  
422  
423  
424  
425  
426  
427  
428  
429  
430  
431  
432  
433  
434  
435  
436  
437  
438  
439  
440  
441  
442  
443  
444  
445  
446  
447  
448  
449  
450  
451  
452  
453  
454  
455  
456

Senior Planner Henry Lee provided a brief summary in regards to the request. They are requesting approval of a site plan for a heavy manufacturing facility. Staff is working through comments with the applicant in regards to their variances.

Phil Wagner  
2600 Observation Trail  
Rockwall, TX 75032

Mr. Wagner came forward and provided additional details in regards to the request.

Chairman Deckard advised this item will go before the commission for discussion or action on July 9, 2024.

26. SP2024-033 (HENRY LEE)

Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of TM Terraces, LLC for the approval of a *Site Plan* for an amenity center on a 0.52-acre parcel of land identified as Lot 18, Block A, Terraces, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, addressed as 1845 Terraces Boulevard, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting approval of a site plan for an amenity center. Staff is working through comments with the applicant.

Ryan Joyce  
767 Justin Road  
Rockwall, TX 75087

Mr. Joyce came forward and provided additional details in regards to the request.

Chairman Deckard advised this item will go before the commission for discussion or action on July 9, 2024.

27. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2024-018: Replat for Lots 2 & 3, Block A, Rockwall CCA Addition (**APPROVED**)
- Z2024-016: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* at 605 E. Washington Street (**2<sup>nd</sup> READING; APPROVED**)
- Z2024-017: Text Amendment to the Unified Development Code (UDC) (**2<sup>nd</sup> READING; APPROVED**)
- Z2024-018: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 302 E. Bourn Street (**2<sup>nd</sup> READING; APPROVED**)
- Z2024-019: Specific Use Permit (SUP) for *Guest Quarters/Secondary Living Unit and Agricultural Accessory Building or Barn* for 839 Cornelius Road (**2<sup>nd</sup> READING; APPROVED**)
- Z2024-020: Zoning Change (AG to SFE-1.5 & LI) for 172 Zollner Road (**2<sup>nd</sup> READING; APPROVED**)
- Z2024-021: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 302 Evans Road (**2<sup>nd</sup> READING; APPROVED**)

Director of Planning and Zoning Ryan Miller provided a brief update about the outcomes of the above referenced cases at the City Council meeting.

VIII. ADJOURNMENT

Chairman Deckard adjourned the meeting at 9:00PM

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Derek Deckard, Chairman

Attest:  
\_\_\_\_\_  
Melanie Zavala, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 9, 2024  
**APPLICANT:** Chuck Lamping; *Engineering Concepts and Design, LP*  
**CASE NUMBER:** P2024-022; *Final Plat for Phase 2 of the Terracina Estates Subdivision*

---

### SUMMARY

Discuss and consider a request by Chuck Lamping of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes, LP for the approval of a *Final Plat* for Phase 2 of the Terracina Estates Subdivision consisting of 94 single-family residential lots on a 31.331-acre tract of land identified as Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 82 (PD-82) [*Ordinance No. 18-08*] for Single-Family 10 (SF-10) District land uses, generally located at the terminus of Guadalupe Drive, Mesa Verde Drive and Oakcrest Drive, and take any action necessary.

### PLAT INFORMATION

- Purpose.** The purpose of the applicant's request is to *Final Plat* a 31.331-acre parcel of land (*i.e. Tract 16 of the J. A. Ramsey Survey, Abstract No. 186*) for the establishment of 94 single-family residential lots and two (2) open space lots (*i.e. Lots 15-25, Block D; Lot 1, Block F; Lots 1-6, Block G; Lots 1-27, Block H; Lots 1-30, Block J; Lots 1-20, Block K, Terracina Estates Phase 2 Subdivision*). The proposed *Final Plat* also lays out the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) for this phase of the residential subdivision. In accordance with the development schedule outlined within *Section 7* of the PD Ordinance [*PD-82; Ordinance No. 18-08*] the applicant has submitted a PD Site Plan [*Case No. SP2024-028*] concurrently with this case.
- Background.** The subject property was annexed on July 21, 1997 by *Ordinance No. 97-14*. On June 20, 2016, the City Council approved a request to rezone an 81.49-acre portion of the subject property from an Agricultural (AG) District to Planned Development District 82 (PD-82) [*Ordinance No. 16-43*] for a single-family residential subdivision that would consist of 204 single-family residential lots [*Case No. Z2016-013*]. On September 15, 2017, the owner of the subject property requested to amend Planned Development District 82 (PD-82) to incorporate an additional 59.065-acre tract of land into the existing 81.49-acre tract of land, creating a 140.55-acre subdivision. This request was denied by the City Council on November 6, 2017 [*Case No. Z2017-046*]. On November 28, 2017, the Planning and Zoning Commission approved a consideration of substantial change allowing the applicant to resubmit a zoning application. The new request proposed the incorporation of an additional 39.00-acres of open space (*i.e. the antenna tower park*), providing larger lots, and adding an additional 2.24-acre private park. This new request also changed the overall density of the development reducing it from 2.50 units per acre to 1.50 units per acre. On January 2, 2018, the City Council approved the amendment to Planned Development District 82 (PD-82) [*Ordinance No. 18-08; Case No. Z2017-063*]. On June 15, 2020, the City Council approved a final plat [*Case No. P2020-020*] for Phase 1 of the Terracina Subdivision. On September 15, 2020, the Planning and Zoning Commission approved a site plan [*Case No. SP2020-020*] for Phase 1 of the Terracina Subdivision. On February 20, 2024, the City Council approved a preliminary plat [*Case No. P2024-003*] for Phase 2 of the Terracina Subdivision.
- Parks Board.** Per the zoning ordinance for Planned Development District 82 (PD-82) [*Ordinance No. 18-08*], Phase 1 & 2 were not required to pay pro-rata equipment fees or cash-in-lieu of land fees. In lieu of these fees, the development was to incorporate a fully developed nine (9) acre public park that is to be maintained by the Homeowner's Association (HOA). Phase 1 of the Terracina Subdivision provided the majority of the amenities for the park including a hike and bike trail, playground, and pavilion. The Parks Board reviewed the proposed development plan for the remaining amenities on July 2, 2024 and recommended approval by a vote of 7-0. This approval included the addition of a picnic area and plaza to the park.

- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for Phase 2 of the Terracina Estates Subdivision staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Final Plat; and,
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision Terracina Estates, Phase 2

Lot

Block

General Location West of Rochelle Road and south of Timber Creek Estates Neighborhood

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD - 82

Current Use VACANT

Proposed Zoning PD - 82

Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 31.331

Lots [Current]

Lots [Proposed] 94

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BLOOMFIELD HOMES LP

Applicant PETITT-ECD

Contact Person CLINT VINCENT

Contact Person CHUCK LAMPING

Address 1900 W KIRKWOOD BLVD.

Address 1600 N. COLLINS BLVD.

SUITE 2300B

SUITE 3300

City, State & Zip SOUTHLAKE, TEXAS 76092

City, State & Zip RICHARDSON, TEXAS 75080

Phone 817-416-1572

Phone 214-403-3589

E-Mail clint@bloomfieldhomes.net

E-Mail chuck@petitt-ecd.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Clint Vincent [Owner] the undersigned, who stated the information on this application to be true and certified the following:

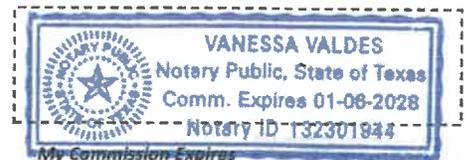
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 926.62, to cover the cost of this application, has been paid to the City of Rockwall on this the 13<sup>th</sup> day of June, 20 24. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

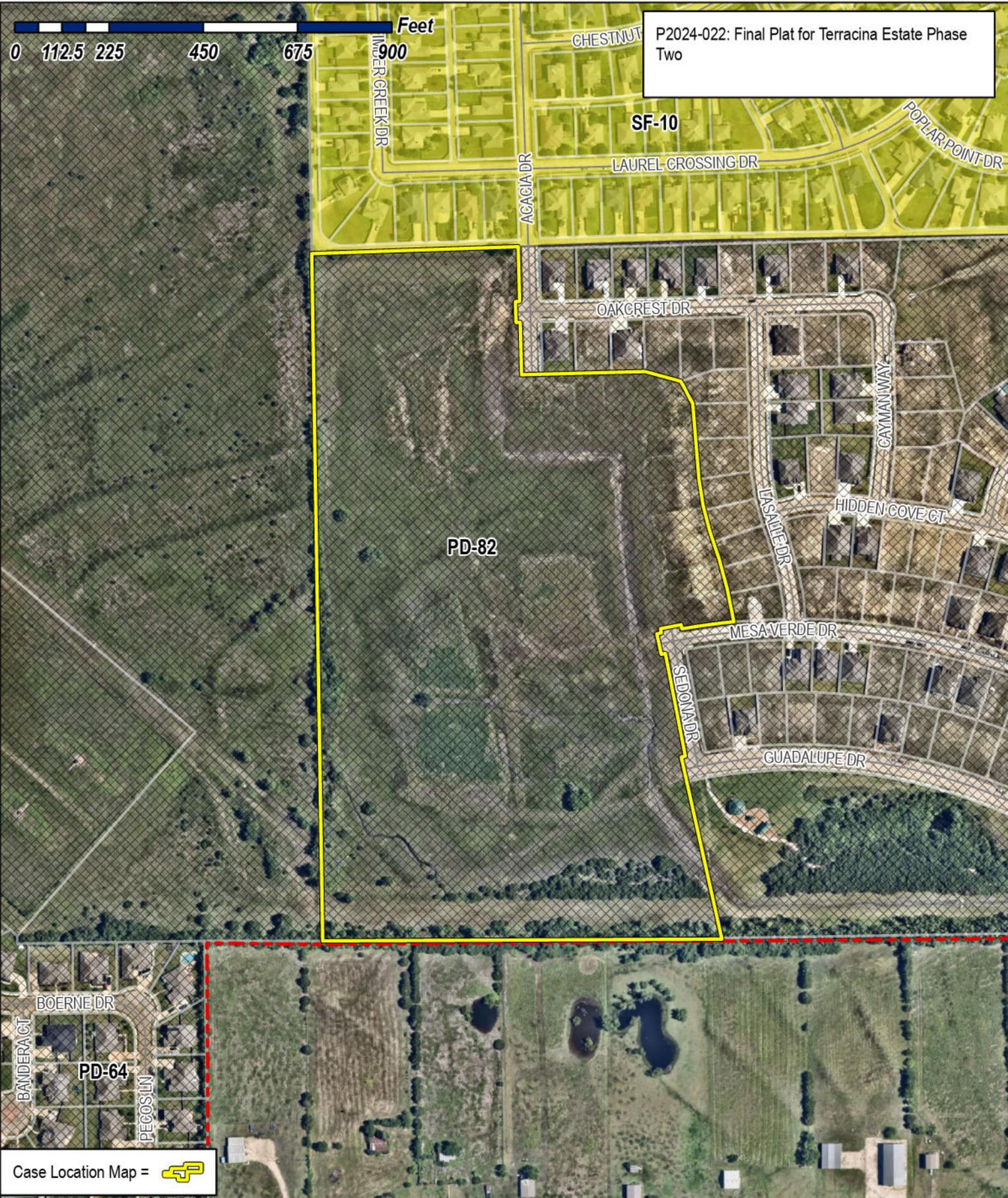
Given under my hand and seal of office on this the 13<sup>th</sup> day of June, 20 24.

Owner's Signature

*Clint Vincent*  
*V. Valdes*

Notary Public in and for the State of Texas





P2024-022: Final Plat for Terracina Estate Phase Two

0 112.5 225 450 675 900 Feet

PD-82

SF-10

BOERNE DR  
BANDERACT  
PECOS LN  
PD-64

Case Location Map =

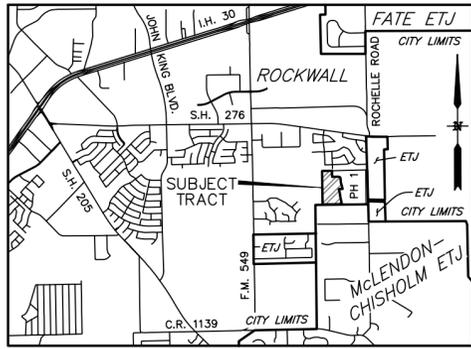


# City of Rockwall

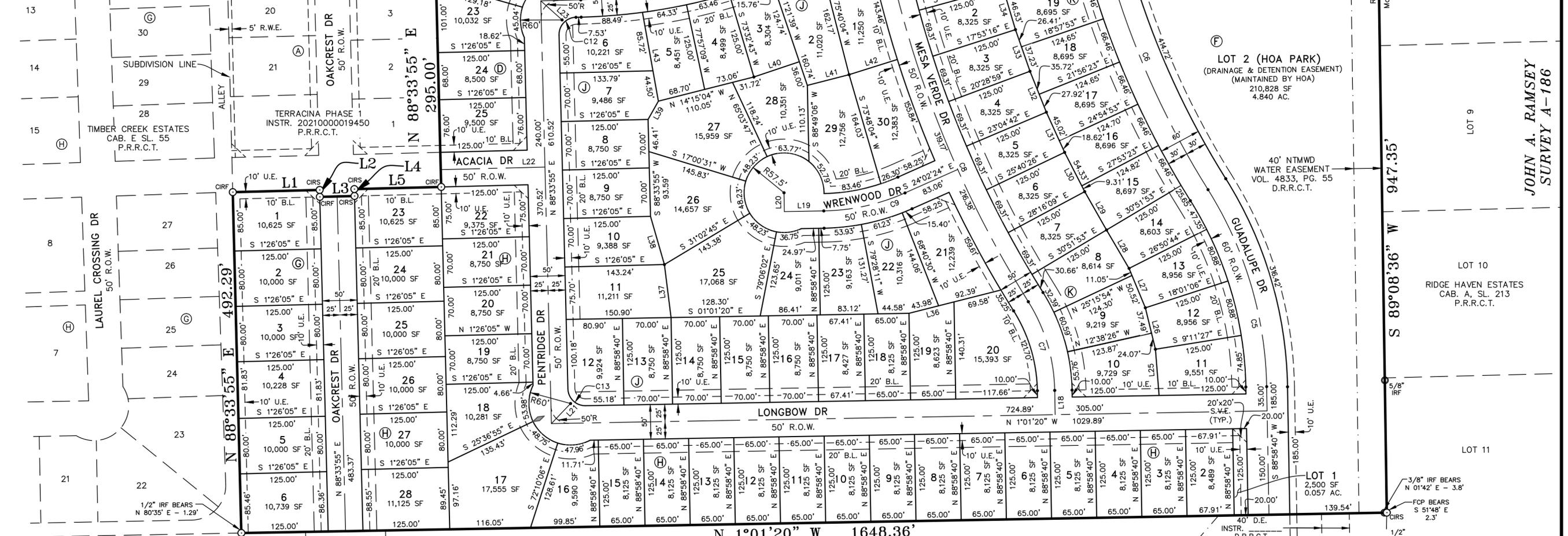
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP  
N.T.S.



N 1°01'20" W 1648.36'

JOHN A. RAMSEY  
SURVEY A-186

CALLED 59.065 AC.  
BLOOMFIELD HOMES, LP  
INSTR. 2018000012449  
D.R.R.C.T.

40' NTMWD WATER EASEMENT  
VOL. 4962, PG. 296  
D.R.R.C.T.

TERRACINA ESTATES  
PHASE 2

LOTS 15-25, BLOCK D; LOT 2, BLOCK F;  
LOTS 1-6, BLOCK G; LOTS 1-28, BLOCK H;  
LOTS 1-30, BLOCK J; & LOTS 1-20, BLOCK K  
BEING

94 RESIDENTIAL LOTS,  
1 OPEN SPACE LOT AND 1 PARK LOT  
31.331 ACRES OR 1,364,769 SQ. FT.

SITUATED IN THE  
JOHN A. RAMSEY SURVEY, A-186  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**PETTIT - ECD**  
CIVIL ENGINEERING/SURVEYING/CONSTRUCTION  
ADMINISTRATION

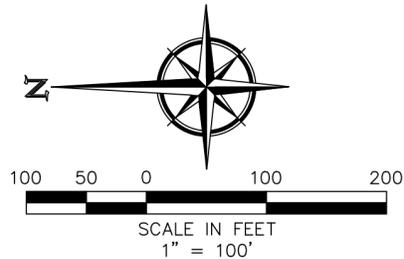
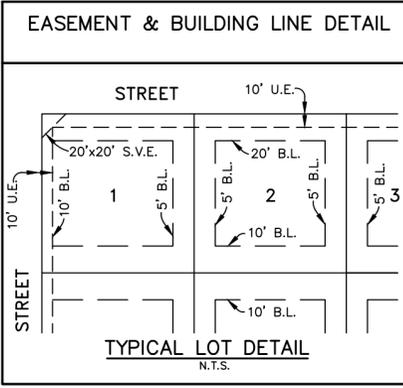
TBPELS FIRM REGISTRATION  
ENGINEERING FIRM #001145 SURVEYING FIRM #10194792  
1600 N. COLLINS BLVD. SUITE 3300 RICHARDSON, TX 75080  
201 WINDCO CIR. SUITE 100 WYLIE, TX 75098 (972) 941-8400

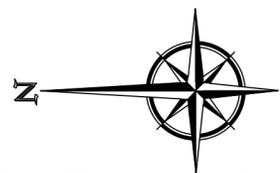
ZONING  
1.96 DWELLING UNITS PER ACRE  
(MAX OVERALL DENSITY)  
[ORD. NO. 18-08-PD-82]

OPEN SPACE LOT = 0.057 AC.  
PARK = 4.840 AC.  
94 DWELLING UNITS  
3.00 UNITS PER ACRE

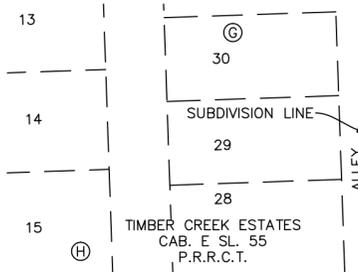
OWNER/DEVELOPER  
**BLOOMFIELD HOMES L.P.**  
1900 W KIRKWOOD BLVD, SUITE 2300B  
SOUTHLAKE, TEXAS 76092  
PHONE: 817-416-1572

LEGEND	
IRF	IRON ROD FOUND
CIRF	5/8 INCH IRON ROD WITH CAP STAMPED "ADAMS SURVEYING CO" FOUND
CIRS	5/8 INCH IRON ROD WITH CAP STAMPED "PETITT-ECD 6134" SET
FCP	FENCE CORNER POST FOUND
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
B.L.	BUILDING SETBACK LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
R.W.E.	RETAINING WALL EASEMENT (TO BE MAINTAINED BY PROPERTY OWNER OR HOA)
S.V.E.	SIDEWALK & VISIBILITY EASEMENT
HOA	HOMEOWNERS ASSOCIATION
◆	INDICATES CHANGE IN STREET NAME





100 50 0 100 200  
SCALE IN FEET  
1" = 100'



ROCKWALL CITY LIMITS  
MCLENDON CHISHOLM ETU

JOHN A. RAMSEY  
SURVEY A-186

TEMPORARY ACCESS EASEMENT  
INSTR. \_\_\_\_\_  
D.R.R.C.T.

**JOHN A. RAMSEY  
SURVEY A-186**

CALLED 59.065 AC.  
BLOOMFIELD HOMES, LP  
INSTR. 2018000012449  
D.R.R.C.T.

40' D.E.  
INSTR. \_\_\_\_\_  
D.R.R.C.T.

FINAL PLAT  
**TERRACINA ESTATES  
PHASE 2**

LOTS 15-25, BLOCK D; LOT 2, BLOCK F;  
LOTS 1-6, BLOCK G; LOTS 1-28, BLOCK H;  
LOTS 1-30, BLOCK J; & LOTS 1-20, BLOCK K  
BEING

94 RESIDENTIAL LOTS,  
1 OPEN SPACE LOT AND 1 PARK LOT  
31.331 ACRES OR 1,364,769 SQ. FT.

SITUATED IN THE  
**JOHN A. RAMSEY SURVEY, A-186**  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**PETTIT - ECD**

CIVIL ENGINEERING/SURVEYING/CONSTRUCTION  
ADMINISTRATION

TBPELS FIRM REGISTRATION  
ENGINEERING FIRM #001145 SURVEYING FIRM #10194792

1600 N. COLLINS BLVD. SUITE 3300 RICHARDSON, TX 75080

201 WINDCO CIR. SUITE 100 WYLIE, TX 75098 (972) 941-8400

ZONING  
1.96 DWELLING UNITS PER ACRE  
(MAX OVERALL DENSITY)  
[ORD. NO. 18-08-PD-82]

OPEN SPACE LOT = 0.057 AC.  
PARK = 4.840 AC.  
94 DWELLING UNITS  
3.00 UNITS PER ACRE

OWNER/DEVELOPER  
**BLOOMFIELD HOMES L.P.**  
1900 W KIRKWOOD BLVD, SUITE 2300B  
SOUTHLAKE, TEXAS 76092  
PHONE: 817-416-1572

**BENCHMARKS:**

- CP-2 - "X" cut on back of curb on the south side of Guadeloupe Drive approximately 1,250 feet west of Rochelle Road.  
Elevation = 578.60
- CP-3 - "X" cut on back of curb on the south side of Oakcrest Drive approximately 20' west of Lasalle Drive  
Elevation = 562.98'

LOT SIZE TABLE							
BLOCK	LOT NO.	AREA	ACREAGE	BLOCK	LOT NO.	AREA	ACREAGE
D	15	9,412	0.216	J	3	8,304	0.191
D	16	8,696	0.200	J	4	8,499	0.195
D	17	8,376	0.192	J	5	8,451	0.194
D	18	8,651	0.199	J	6	10,221	0.235
D	19	8,458	0.194	J	7	9,486	0.218
D	20	8,400	0.193	J	8	8,750	0.201
D	21	10,017	0.230	J	9	8,750	0.201
D	22	13,381	0.307	J	10	9,388	0.216
D	23	10,032	0.230	J	11	11,211	0.257
D	24	8,500	0.195	J	12	9,924	0.228
D	25	9,500	0.218	J	13	8,750	0.201
F	2	210,828	4.840	J	14	8,750	0.201
G	1	10,625	0.244	J	15	8,750	0.201
G	2	10,000	0.230	J	16	8,750	0.201
G	3	10,000	0.230	J	17	8,427	0.193
G	4	10,228	0.235	J	18	8,125	0.187
G	5	10,000	0.230	J	19	8,623	0.198
G	6	10,739	0.247	J	20	15,393	0.353
H	1	2,500	0.057	J	21	12,239	0.281
H	2	8,489	0.195	J	22	10,316	0.237
H	3	8,125	0.187	J	23	9,163	0.210
H	4	8,125	0.187	J	24	9,011	0.207
H	5	8,125	0.187	J	25	17,068	0.392
H	6	8,125	0.187	J	26	14,657	0.336
H	7	8,125	0.187	J	27	15,959	0.366
H	8	8,125	0.187	J	28	10,345	0.237
H	9	8,125	0.187	J	29	12,760	0.293
H	10	8,125	0.187	J	30	12,383	0.284
H	11	8,125	0.187	K	1	10,747	0.247
H	12	8,125	0.187	K	2	8,325	0.191
H	13	8,125	0.187	K	3	8,325	0.191
H	14	8,125	0.187	K	4	8,325	0.191
H	15	8,125	0.187	K	5	8,325	0.191
H	16	9,590	0.220	K	6	8,325	0.191
H	17	17,555	0.403	K	7	8,325	0.191
H	18	10,281	0.236	K	8	8,614	0.198
H	19	8,750	0.201	K	9	9,219	0.212
H	20	8,750	0.201	K	10	9,729	0.223
H	21	8,750	0.201	K	11	9,551	0.219
H	22	9,375	0.215	K	12	8,956	0.206
H	23	10,625	0.244	K	13	8,956	0.206
H	24	10,000	0.230	K	14	8,603	0.198
H	25	10,000	0.230	K	15	8,697	0.200
H	26	10,000	0.230	K	16	8,696	0.200
H	27	10,000	0.230	K	17	8,695	0.200
H	28	11,125	0.255	K	18	8,695	0.200
J	1	11,250	0.258	K	19	8,695	0.200
J	2	11,020	0.253	K	20	11,545	0.265

LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 1°26'05" E	125.00'
L2	S 88°33'55" W	10.00'
L3	S 1°26'05" E	50.00'
L4	N 88°33'55" E	10.00'
L5	S 1°26'05" E	125.00'
L6	S 74°39'57" E	88.77'
L7	S 27°50'10" E	60.72'
L8	S 9°02'55" E	64.32'
L9	S 14°35'37" E	62.88'
L10	S 18°37'29" E	67.02'
L11	S 15°12'53" E	74.64'
L12	S 11°22'18" E	81.90'
L13	N 10°58'09" W	10.20'
L14	S 79°01'51" W	50.00'
L15	S 10°58'09" E	10.20'
L16	S 12°16'48" E	50.00'
L17	S 10°58'09" E	250.04'
L18	S 88°58'40" W	35.00'
L19	N 1°01'20" W	56.74'
L20	S 88°58'40" W	27.24'
L21	S 46°26'05" E	40.00'
L22	S 1°26'05" E	150.00'

LINE TABLE		
NO.	DIRECTION	DISTANCE
L23	S 41°55'38" W	41.19'
L24	S 1°26'05" E	57.53'
L25	S 85°30'11" W	66.96'
L26	S 76°23'43" W	61.57'
L27	S 67°34'05" W	61.57'
L28	S 59°41'23" W	64.21'
L29	S 60°25'59" W	63.64'
L30	N 63°01'42" E	63.64'
L31	N 65°37'26" E	63.64'
L32	N 68°13'09" E	63.64'
L33	N 70°48'53" E	63.64'
L34	N 73°24'36" E	63.64'
L35	S 76°21'39" W	81.00'
L36	N 14°16'45" W	66.78'
L37	S 82°52'23" W	77.17'
L38	N 73°57'31" E	72.34'
L39	N 60°38'26" W	30.28'
L40	S 18°33'56" E	69.05'
L41	S 14°29'17" E	62.00'
L42	S 17°28'56" E	72.75'
L43	S 79°53'09" W	130.22'
L44	N 10°58'09" W	31.71'

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	4°32'28"	1580.00'	62.65'	125.23'	S 82°12'29" W	125.19'
C2	0°24'15"	1580.00'	5.57'	11.15'	S 77°55'20" W	11.15'
C3	0°22'28"	1530.00'	5.00'	10.00'	S 77°54'26" W	10.00'
C4	0°26'52"	1280.00'	5.00'	10.00'	S 77°41'16" W	10.00'
C5	30°59'26"	555.00'	153.87'	300.19'	N 73°28'57" E	296.55'
C6	19°28'37"	1250.00'	214.53'	424.92'	S 67°43'32" W	422.88'
C7	30°59'27"	250.00'	69.31'	135.22'	N 73°28'57" E	133.58'
C8	19°43'58"	1555.00'	270.45'	535.55'	S 67°51'13" W	532.91'
C9	23°01'04"	300.00'	61.08'	120.52'	S 12°31'52" E	119.71'
C10	18°23'27"	800.00'	129.51'	256.78'	S 10°37'48" E	255.68'
C11	8°51'23"	800.00'	61.95'	123.66'	N 15°23'50" W	123.53'
C12	90°00'00"	25.00'	25.00'	39.27'	N 46°26'05" W	35.36'
C13	89°35'15"	25.00'	24.82'	39.09'	S 43°46'18" W	35.23'

NOTES:

- The bearings and coordinates shown and recited hereon are referenced to the Texas Coordinate System of 1983 – North Central Zone No. 4202 – NAD83. All distances are surface distances with a surface to grid scale factor of 1.000146135
- Subdivision property corners are 5/8-inch iron rods with caps marked "PETITT-ECD 6134" found or set, unless noted otherwise. Lot corners are 5/8-inch iron rods with cap marked "PETITT- ECD 6134" set or an "X" cut set in concrete, unless otherwise noted. When a retaining wall or screening fence has been placed at the rear lot corner, a 5/8-inch iron rod may be set five feet (5') from the rear lot corner along the side lot line
- Subject tract is located in Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to Federal Emergency Management Area Flood Insurance Rate Maps for Ellis County, Texas and incorporated areas ~ Map Number 48397C0045L, Effective Date September 26, 2008. Floodplain lines plotted hereon are graphically shown according to this map and should be considered approximate.
- All Open Space tracts, Drainage, & Detention Easements will be maintained, repaired and replaced by the Homeowners Association.
- Lot 1, Block H and Lot 2, Block F will be dedicated to the Homeowners Association. They will be maintained by the Homeowners Association.
- Retaining Walls in the Lot 2, Block F (Park Area) will be maintained, repaired and replaced by the Homeowners Association.
- Driveway depth must be 25' or more between the front of garage and edge of sidewalk.
- Retaining Walls in Residential Lots will be maintained, repaired and replaced by the Property Owners.
- The flood information shown on this plat is based on the August 20, 2020 Terracina Detention Study completed by McLendon Hydrology and Engineering, LLC.
- Subdivider's statement: Selling a portion of this addition by metes and bounds is unlawful and a violation of the subdivision ordinance of the city and chapter 212, municipal regulation of subdivisions and property development, of the Texas Local Government Code, and shall be subject to the city withholding utilities and building permits.
- Public improvement statement: It shall be the policy of the city to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the city. The approval of a subdivision plat by the city does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the city of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the subdivision ordinance of the city.
- Drainage and detention easements: The property owner and Homeowners Association shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- Fire lanes: All fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire lanes shall be constructed in accordance with the approved civil engineering plans for both on-site and off-site fire lane improvements.
- Street appurtenances: All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the homeowner's association (HOA).
- The source of water for this subdivision will be the City of Rockwall.
- The method of wastewater disposal for this subdivision will be connecting to the City of Rockwall existing systems and facilities.

APPROVAL CERTIFICATE

APPROVED:  
I hereby certify that the above and forgoing subdivision TERRACINA, PHASE 2, being an addition to the City of Rockwall, Texas was approved by the city council of the City of Rockwall, Texas on the \_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
MAYOR OF THE CITY OF ROCKWALL

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION CHAIRMAN

\_\_\_\_\_  
CITY SECRETARY

\_\_\_\_\_  
CITY ENGINEER

BENCHMARKS:

- CP-2 – "X" cut on back of curb on the south side of Guadeloupe Drive approximately 1,250 feet west of Rochelle Road.

Elevation = 578.60

- CP-3 – "X" cut on back of curb on the south side of Oakcrest Drive approximately 20' west of Lasalle Drive

Elevation = 562.98'

ZONING  
1.96 DWELLING UNITS PER ACRE  
(MAX OVERALL DENSITY)  
[ORD. NO. 18-08-PD-82]

OPEN SPACE LOT = 0.057 AC.  
PARK = 4.840 AC.  
9.00 DWELLING UNITS  
3.00 UNITS PER ACRE

OWNER/DEVELOPER  
**BLOOMFIELD HOMES L.P.**  
1900 W KIRKWOOD BLVD, SUITE 2300B  
SOUTHLAKE, TEXAS 76092  
PHONE: 817-416-1572

FINAL PLAT  
TERRACINA ESTATES  
PHASE 2  
LOTS 15-25, BLOCK D; LOT 2, BLOCK F;  
LOTS 1-6, BLOCK G; LOTS 1-28, BLOCK H;  
LOTS 1-30, BLOCK J; & LOTS 1-20, BLOCK K  
BEING  
94 RESIDENTIAL LOTS,  
1 OPEN SPACE LOT AND 1 PARK LOT  
31.331 ACRES OR 1,364,769 SQ. FT.

SITUATED IN THE  
JOHN A. RAMSEY SURVEY, A-186  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**PETITT - ECD**  
CIVIL ENGINEERING/SURVEYING/CONSTRUCTION  
ADMINISTRATION

TBPELS FIRM REGISTRATION  
ENGINEERING FIRM #001145 SURVEYING FIRM #10194792  
1600 N. COLLINS BLVD. SUITE 3300 RICHARDSON, TX 75080  
201 WINDCO CIR. SUITE 100 WYLIE, TX 75098  
(972) 941-8400

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS BLOOMFIELD HOMES, LP, BEING THE OWNER OF A TRACT OF land situated in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a 31.331-acre tract of land situated in the John A. Ramsey Survey, Abstract 186, City of Rockwall, Rockwall County, Texas and being part of a called 81.49-acre tract of land described in deed to Bloomfield Homes, LP, as recorded in Instrument Number 20170000022672, Deed Records, Rockwall County, Texas (DRRCT), and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with cap stamped PETITT-ECD 6134 set (hereinafter called "iron rod set") for the southwest corner of Terracina Phase 1, an addition to the City of Rockwall, Texas according to the Final Plat thereof as recorded in Instrument Number 20210000019450 Plat Records Rockwall, County, Texas (PRRCT), and being in the common line of said 81.49-acre tract and Ridge Haven Estates, an addition to Rockwall County, Texas according to the Final Plat thereof as recorded in Cabinet A, Slide 213, PRRCT;

THENCE South 89 degrees 08 minutes 36 seconds West with said common line, a distance of 947.35 feet to an iron rod set for the southwest corner of said 81.49-acre tract also being the southeast corner of a called 59.065-acre tract of land described in deed to Bloomfield Homes, LP, recorded in Instrument Number 20180000012449, from which a 3/8-inch iron rod found bears North 01 degrees 42 minutes East, a distance of 3.8 feet;

THENCE North 01 degrees 01 minute 20 seconds West with the common line of said 81.49-acre tract and said 59.065-acre tract, a distance of 1,648.36 feet to an iron rod set for the northwest corner of said 81.49-acre tract and being the most southerly southwest corner of Timber Creek Estates, an addition to the City of Rockwall, Texas according to the Final Plat thereof, recorded in Cabinet E, Slide 55, PRRCT from which a 1/2-inch iron rod found bears North 80 degrees 35 minutes East, a distance of 1.29 feet;

THENCE North 88 degrees 33 minutes 55 seconds East with the common line of said 81.49-acre tract and said Timber Creek Estates a distance of 492.29 feet to a 5/8-inch iron rod with cap stamped ADAMS SURVEYING CO. found (hereinafter called "iron rod with cap found") for the northwest corner of said Terracina Estates, Phase 1;

THENCE with the west line of said Terracina Phase 1, the following courses;

- South 01 degrees 26 minutes 05 seconds East, a distance of 125.00 feet to an iron rod set for corner;
• South 88 degrees 33 minutes 55 seconds West, a distance of 10.00 feet to an iron rod with cap found for corner;
• South 01 degrees 26 minutes 05 seconds East, a distance of 50.00 feet to an iron rod set for corner;
• North 88 degrees 33 minutes 55 seconds East, a distance of 10.00 feet to an iron rod set for corner;
• South 01 degrees 26 minutes 05 seconds East, a distance of 125.00 feet to an iron rod with cap found for corner
• North 88 degrees 33 minutes 55 seconds West, a distance of 295.00 feet to an iron rod with cap found for corner;
• South 74 degrees 39 minutes 57 seconds East, a distance of 88.77 feet to a 5/8-inch iron rod found for corner;
• South 27 degrees 50 minutes 10 seconds East, a distance of 60.72 feet to a 5/8-inch iron rod found for corner;
• South 04 degrees 38 minutes 17 seconds East, a distance of 181.25 feet to an iron rod with cap found for corner;
• South 09 degrees 02 minutes 55 seconds East, a distance of 64.32 feet to an iron rod set for corner;
• South 14 degrees 35 minutes 37 seconds East, a distance of 62.88 feet to an iron rod set for corner;
• South 18 degrees 37 minutes 29 seconds West, a distance of 67.02 feet to an iron rod set for corner;
• South 15 degrees 12 minutes 53 seconds East, a distance of 74.64 feet to an iron rod set for corner;
• South 11 degrees 22 minutes 18 seconds West, a distance of 81.90 feet to an iron rod set for the beginning of a non-tangent curve to the left;
• Southwesterly, with said curve, which has a central angle of 04 degrees 32 minutes 28 seconds, a radius of 1,580.00 feet, a chord that bears South 82 degrees 12 minutes 29 seconds West, with a chord length of 125.19 feet and an arc length of 125.23 feet to an iron rod set for the end of said curve;
• North 10 degrees 58 minutes 09 seconds West, a distance of 10.20 feet to an iron rod set for corner;
• South 79 degrees 01 minutes 51 seconds West, a distance of 50.00 feet to an iron rod set for corner;
• South 10 degrees 58 minutes 09 seconds East, a distance of 10.20 feet to an iron rod set for the beginning of a non-tangent curve to the left;
• Southwesterly, with said curve, which has a central angle of 00 degrees 24 minutes 15 seconds, a radius of 1,580.00 feet, a chord that bears South 77 degrees 55 minutes 20 seconds West, with a chord length of 11.15 feet and an arc length of 11.15 feet to an iron rod with cap found for the end of said curve;
• South 12 degrees 16 minutes 48 seconds East, a distance of 50.00 feet to an iron rod with cap found for the beginning of a non-tangent curve to the right;
• Northeasterly, with said curve, which has a central angle of 00 degrees 22 minutes 28 seconds, a radius of 1,530.00 feet, a chord that bears South 77 degrees 54 minutes 26 seconds East, with a chord length of 10.00 feet and an arc length of 10.00 feet to an iron rod set for the end of said curve;

- South 10 degrees 58 minutes 09 seconds East, a distance of 250.04 feet to an iron rod set for the beginning of a non-tangent curve to the left;
• Southwesterly, with said curve, which has a central angle of 00 degrees 26 minutes 52 seconds, a radius of 1,280.00 feet, a chord that bears South 77 degrees 41 minutes 16 seconds West, with a chord length of 10.00 feet and an arc length of 10.00 feet to an iron rod set for the end of said curve;
• South 12 degrees 32 minutes 10 seconds East, a distance of 443.09 feet to the POINT OF BEGINNING AND CONTAINING 1,364,769 square feet or 31.331 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the TERRACINA, PHASE 2, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the TERRACINA, PHASE 2 subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The city will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the city regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the city; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the city.

7. Property owner shall be responsible for maintaining, repairing and replacing all systems within the drainage and detention easements.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

FOR: BLOOMFIELD HOMES, LP, a Texas limited partnership
BY: Bloomfield Properties, Inc.
a Texas corporation, General Partner

BY: Donald J. Dykstra, President

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST (IF APPLICABLE)

LENDER:
NAME:
TITLE:

STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, on this day personally appeared Donald J. Dykstra, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of Texas
My Commission Expires:

STATE OF TEXAS
COUNTY OF \_\_\_\_\_

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, James Mark Whitkanack, a Registered Public Surveyor of the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

James Mark Whitkanack
Registered Professional Land Surveyor
State Of Texas No. 6134

FINAL PLAT
TERRACINA ESTATES
PHASE 2

LOTS 15-25, BLOCK D; LOT 2, BLOCK F;
LOTS 1-6, BLOCK G; LOTS 1-28, BLOCK H;
LOTS 1-30, BLOCK J; & LOTS 1-20, BLOCK K
BEING

94 RESIDENTIAL LOTS,
1 OPEN SPACE LOT AND 1 PARK LOT
31.331 ACRES OR 1,364,769 SQ. FT.

SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PETITT - ECD

CIVIL ENGINEERING/SURVEYING/CONSTRUCTION
ADMINISTRATION
TBPES FIRM REGISTRATION
ENGINEERING FIRM #001145 SURVEYING FIRM #10194792
1600 N. COLLINS BLVD. 201 WINDCO CIR.
SUITE 3300 SUITE 100
RICHARDSON, TX 75080 WYLIE, TX 75098
(972) 941-8400

ZONING
1.96 DWELLING UNITS PER ACRE
(MAX. OVERALL DENSITY)
[ORD. NO. 18-08-PD-82]

OPEN SPACE LOT = 0.057 AC.
PARK = 4.840 AC.
94 DWELLING UNITS
3.00 UNITS PER ACRE

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1900 W KIRKWOOD BLVD, SUITE 2300B
SOUTHLAKE, TEXAS 76092
PHONE: 817-416-1572



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission  
**FROM:** Henry Lee, *Senior Planner*  
**DATE:** July 9, 2024  
**SUBJECT:** SP2024-033; *PD Site Plan for the Terraces Subdivision Amenity Center*

---

The applicant, Cody Johnson of Johnson Volk Consulting, is requesting the approval of a site plan for the amenity center within the Terraces Subdivision. The Terraces Subdivision is situated on a 115.80-acre tract of land (*i.e. Tracts 10-02, 10-03, 13, 25, 25-01, & 26 of the W. Dalton Survey, Abstract No. 72; Tracts 4 & 4-01, of the M. B. Jones Survey, Abstract No. 122*) that is generally located east of N. John King Boulevard between FM-1141 and E. SH-66. Phase 1 and Phase 2 of the Terraces Subdivision was approved for a *Final Plat* [Case No. P2023-007 & P2024-011] and a *PD Site Plan* [Case No. SP2023-012 & SP2024-016] in accordance with the submittal schedule contained in the Planned Development District ordinance. As part of this site plan application, the applicant has submitted a site plan, landscape plan, hardscape plan, and building elevations for the proposed amenity center.

The site plan submitted by the applicant indicates a restroom building, equipment building, two (2) shade structures, swimming pool, and parking lot will be constructed on the subject property. The landscape plan shows that all of the required landscaping as stipulated by the Planned Development District ordinance will be provided, and that the pool equipment will be screened in accordance with the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). The hardscape plan details the location of all sidewalks and trails, the pool, and each fence types associated with the development. The submitted site plan, landscape plan, hardscape plan, and building elevations all conform to the applicable technical requirements contained in Planned Development District 93 (PD-93) and the Unified Development Code (UDC). Since the proposed site plan conforms to the technical requirements, this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 9, 2024 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Amenity Center within Terraces

SUBDIVISION: Terraces

LOT: 18

BLOCK: A

GENERAL LOCATION: at the corner of Terraces Boulevard and Canyon Drive

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Single Family Residential

CURRENT USE: Private Recreational Center

PROPOSED ZONING: Single Family Residential

PROPOSED USE: Private Recreational Center

ACREAGE: .52

LOTS [CURRENT]: 1

LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: TM Terraces, LLC

APPLICANT: Johnson Volk Consulting

CONTACT PERSON: \_\_\_\_\_

CONTACT PERSON: Cody Johnson

ADDRESS: 4416 W. Lovers Lane Suite 200

ADDRESS: 704 Central Parkway East  
Suite 1200

CITY, STATE & ZIP: Dallas, TX 75209

CITY, STATE & ZIP: Plano, TX 75074

PHONE: (214)577-1431

PHONE: (972) 201-3100

E-MAIL: \_\_\_\_\_

E-MAIL: cody.johnson@johnsonvolk.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bobby Harrell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF June 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF June 20 24

OWNER'S SIGNATURE: \_\_\_\_\_

*Bobby Harrell*  
*Betsy Lea Luttrell*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Betsy Lea Luttrell  
 Notary ID #129487170  
 My Commission Expires  
 July 12, 2025  
 MY COMMISSION EXPIRES 07.12.2025



Case Location Map = 

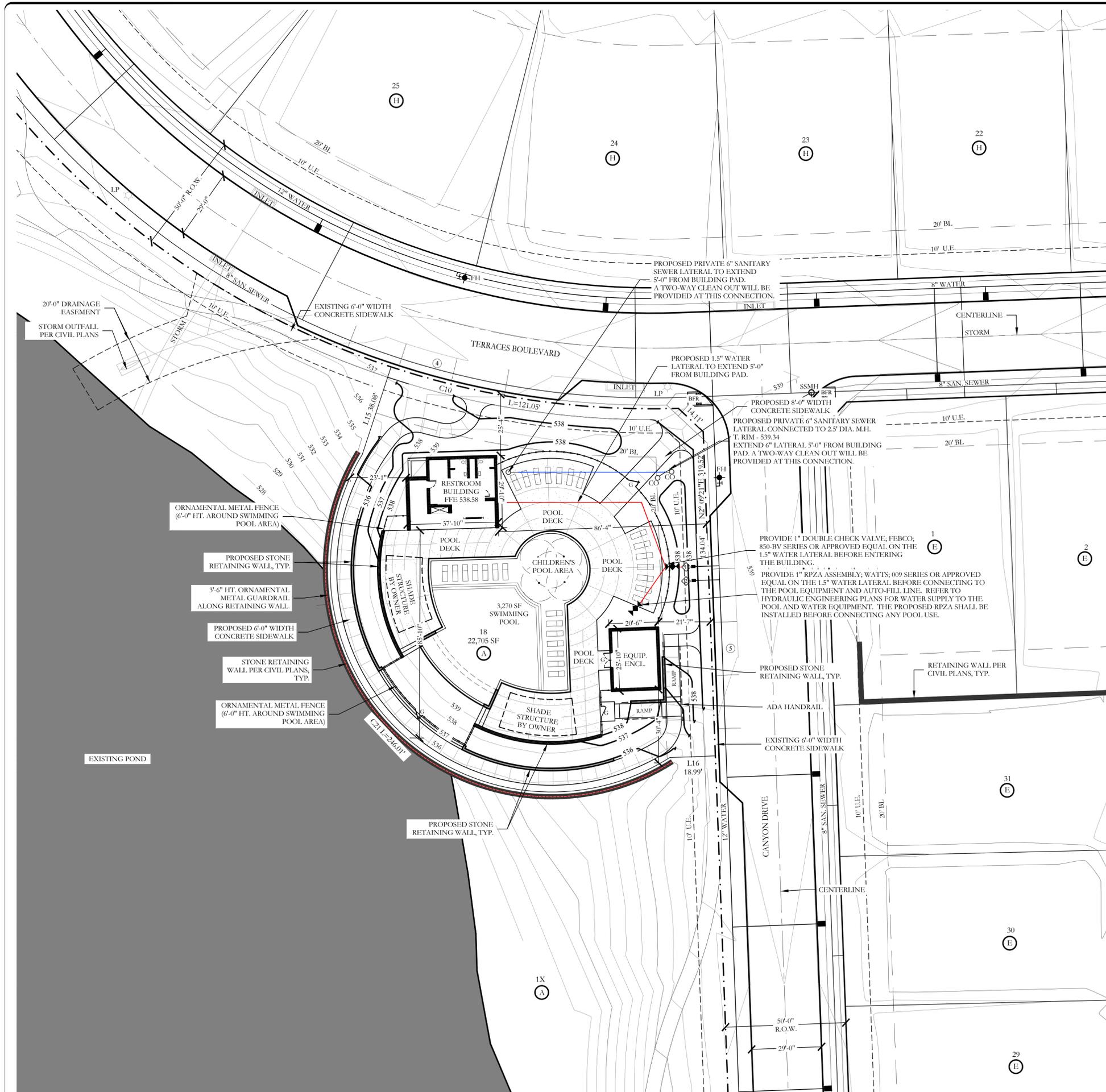


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**LEGEND**

④	EXISTING PARKING COUNT	◊	EXISTING 1.5" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	◊	EXISTING 1.5" IRRIGATION WATER METER
FH	EXISTING FIRE HYDRANT	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
○	EXISTING SANITARY SEWER MANHOLE	—	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
—	EXISTING WATER MAIN W/ VALVE	—	PROPOSED STONE RETAINING WALL
—	EXISTING SANITARY SEWER	—	RETAINING WALL PER CIVIL PLANS TYP.
—	EXISTING STORM	—	ADA HANDRAIL
—	EXISTING CURB INLET	—	3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
—	RIGHT-OF-WAY	—	
LP	LIGHT POLE	—	
- - 538 - -	EXISTING CONTOUR INTERVAL		
- - 538 - -	PROPOSED CONTOUR INTERVAL		
FFE 538.58	FINISHED FLOOR ELEVATION		

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**WATER METER SCHEDULE**

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	IRR.	SAN. SERVICE SIZE
◊	1.5"	1.5"	X		6"
◊	1.5"	1.5"		X	

**SITE INFORMATION**

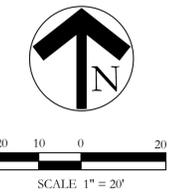
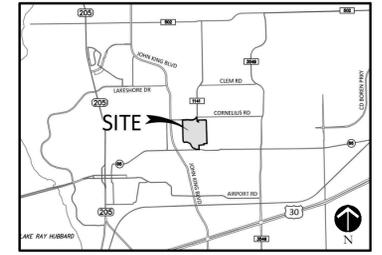
SINGLE FAMILY RESIDENTIAL  
PROPOSED USE: PRIVATE RECREATION CENTER  
LAND AREA: 0.52 ACRES  
22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET  
BUILDING HEIGHT: 19'-8" (3 STORY)  
POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET  
POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 (1,652/22,705)  
LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF  
PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%  
INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF



**SITE PLAN**  
**TERRACES**  
**LOT 18, BLOCK A**  
**~AMENITY CENTER~**

- SITE PLAN NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
  - FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
  - ALL PARKING ON SITE IS EXISTING.
  - THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
  - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.

BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER/DEVELOPER:**  
TM TERRACES, LLC  
4416 W. LOVERS LANE SUITE 200  
DALLAS, TEXAS 75209  
PH. 214-577-1431  
CONTACT: BOBBY HARRELL  
BOBBY@TERRADFW.COM

**LANDSCAPE ARCHITECT/CIVIL ENGINEER:**  
JOHNSON VOLK CONSULTING  
704 CENTRAL PARKWAY EAST, SUITE 1200  
PLANO, TEXAS 75074  
PH. 972-201-3100  
CONTACT: CODY JOHNSON, RLA, ASLA, LI  
CODY.JOHNSON@JOHNSONVOLK.COM



June 14, 2024

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**BUILDING MATERIAL CALCULATIONS**

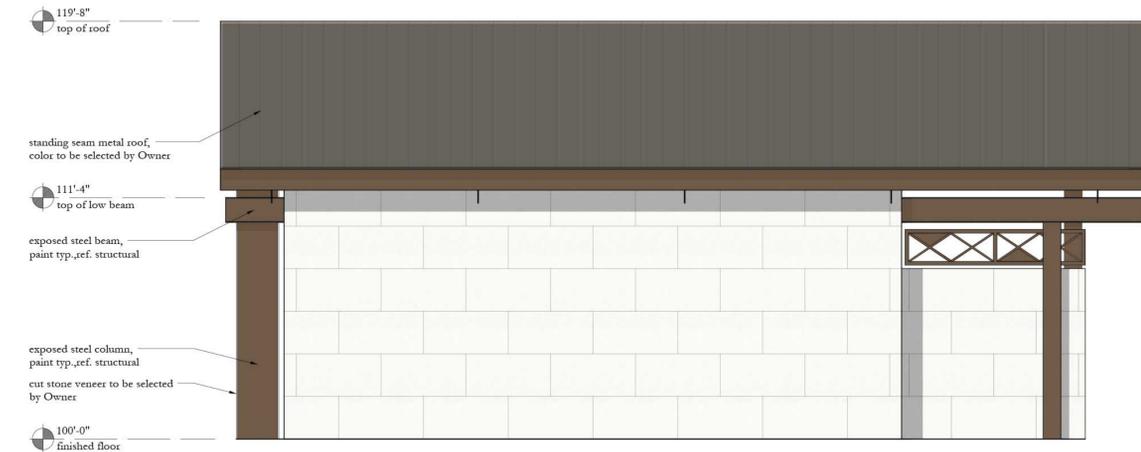
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	438 S.F.	-	535 S.F.	-	385 S.F.	-	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIIHA FIBER CEMENT SIDING	-	-	-	-	187 S.F.	48.57%	-	-
SECONDARY MATERIALS	-	-	165 S.F.	30.84%	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	165 S.F.	30.84%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	-	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



4 EAST ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"



3 NORTH ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"



2 WEST ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

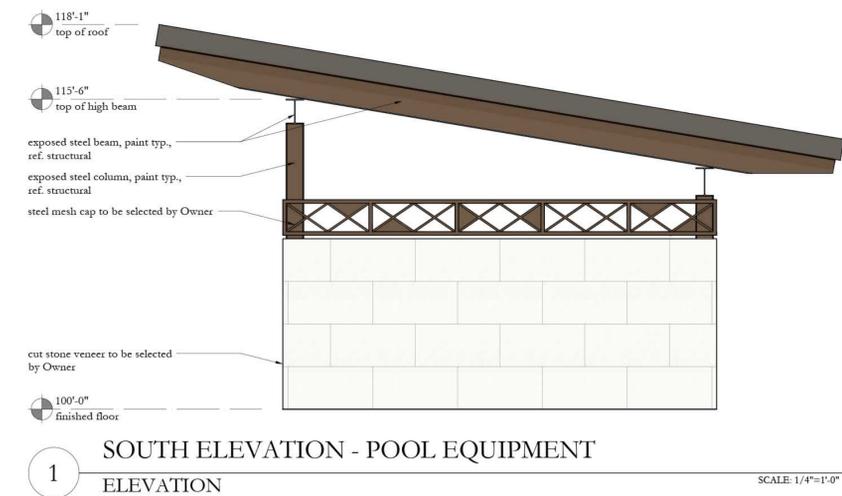
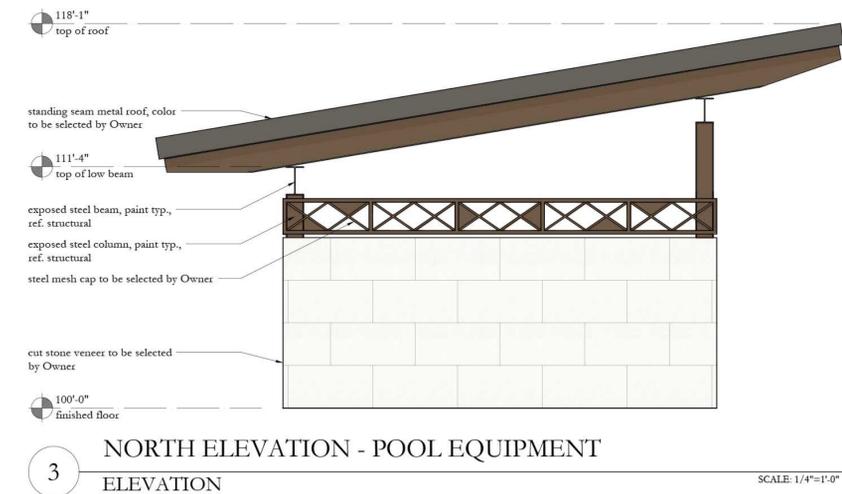
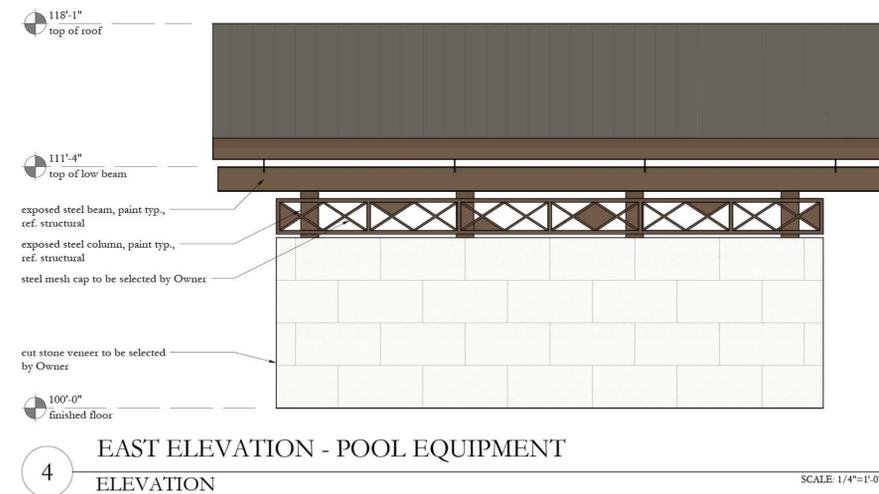
\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

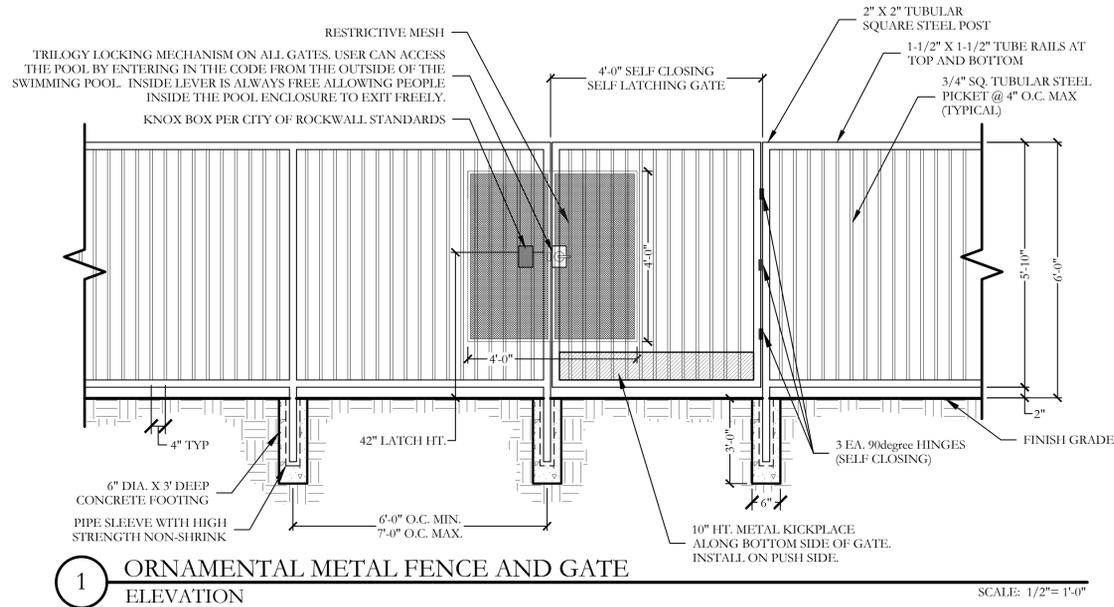
\_\_\_\_\_  
 Director of Planning and Zoning

**BUILDING MATERIAL CALCULATIONS**

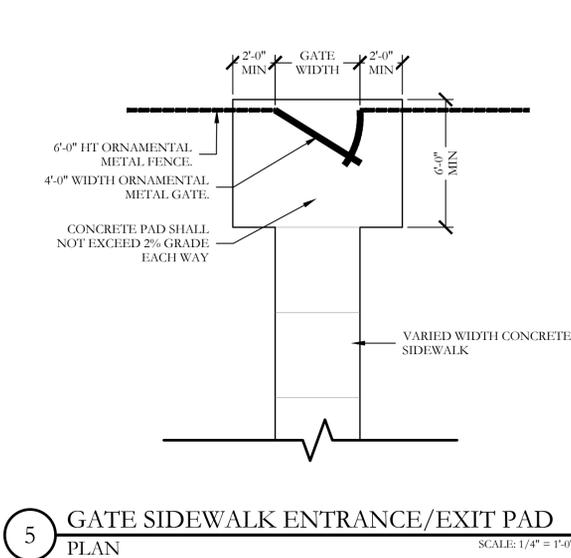
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	164 S.F.	-	164 S.F.	-	206 S.F.	-	206 S.F.	-
PRIMARY MATERIAL TOTALS	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
CUT STONE VENEER	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	-	-	91 S.F.	56.87%
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	46 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS





1 ORNAMENTAL METAL FENCE AND GATE ELEVATION SCALE: 1/2" = 1'-0"



5 GATE SIDEWALK ENTRANCE/EXIT PAD PLAN SCALE: 1/4" = 1'-0"

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

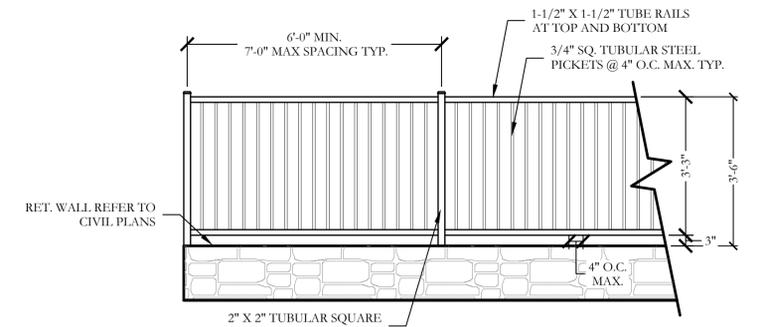
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

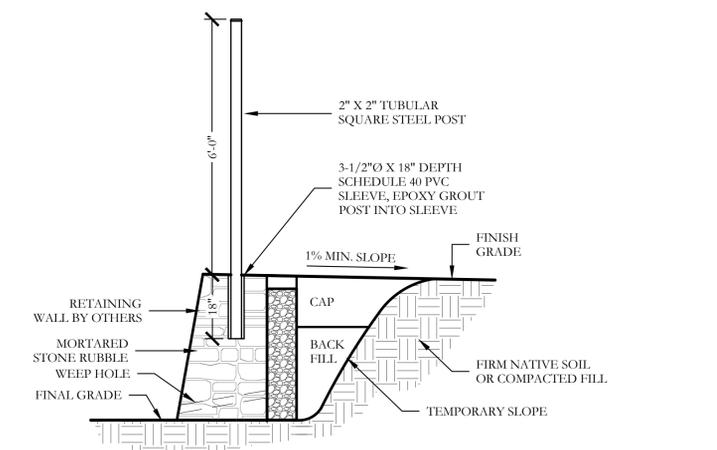
\_\_\_\_\_  
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

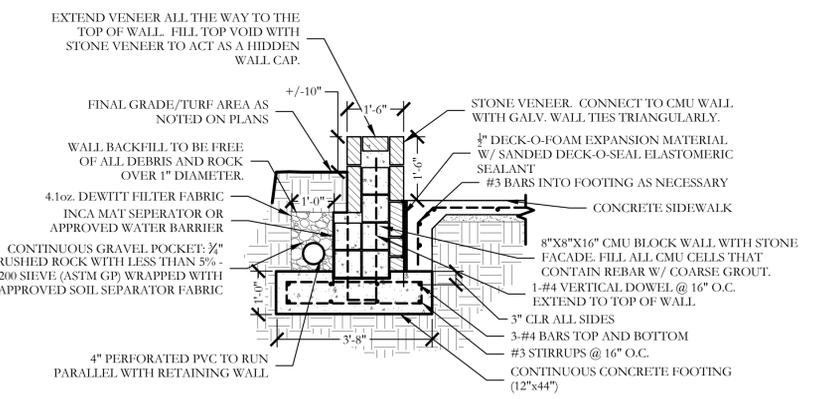


6 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL ELEVATION SCALE: 1/2" = 1'-0"

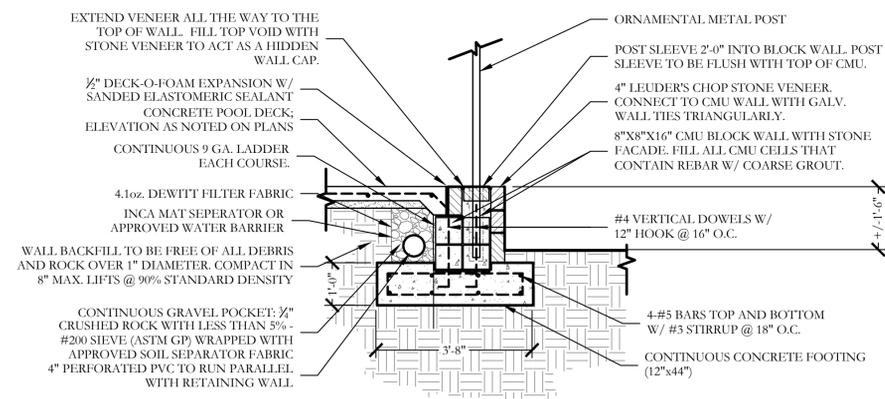


2 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2" = 1'-0"

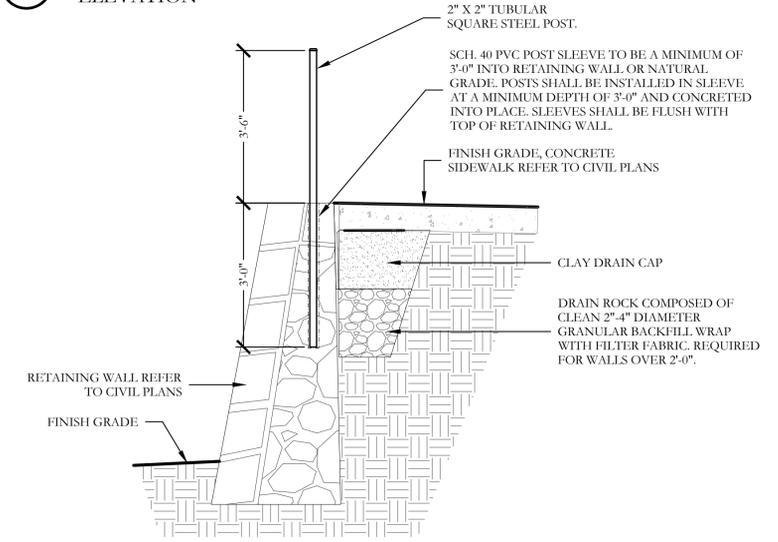
- ### ORNAMENTAL METAL FENCE NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
  - ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
  - ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
  - PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
  - ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
  - ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
  - FENCE MEMBER SIZES TO BE AS FOLLOWS:
    - PICKETS, 3/4" SQUARE 16 GA.
    - RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
    - POSTS, 2" SQUARE 11 GA.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
  - CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
  - GATE IS TO BE SELF CLOSING. FALCON B561DHD626 SATIN CHROME DANE SFC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
  - POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
  - POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
  - LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
  - RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL.



3 VARYING HT. STONE RETAINING/SEAT WALL SECTION SCALE: 1/2" = 1'-0"



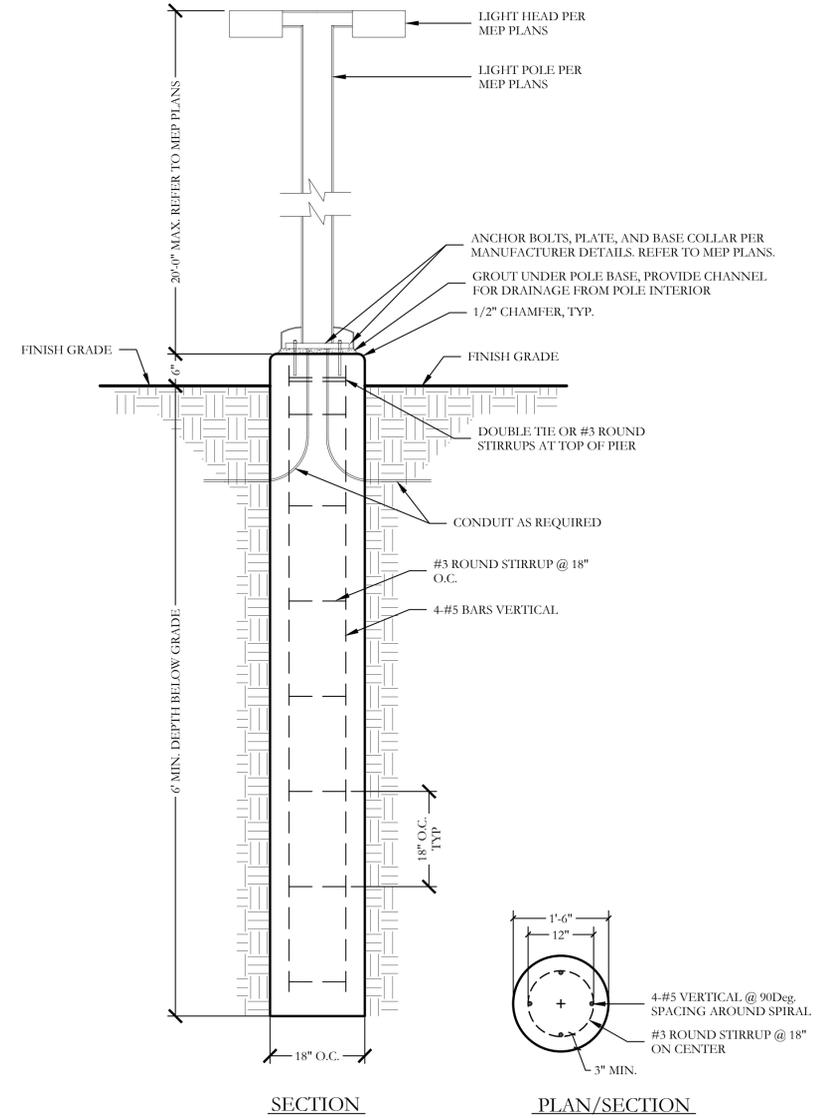
4 RETAINING WALL W/ POOL DECK SECTION SCALE: 1/2" = 1'-0"



7 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL SECTION SCALE: 1/2" = 1'-0"

- ### RET. WALL NOTES
- WALL DESIGN NOT BASED ON LOADING FROM STRUCTURAL OR VEHICULAR SURCHARGES OR VISIBLE SIGNS OF GROUNDWATER.
  - VERTICAL EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 25'.
  - BACKFILL MATERIAL TO CONSIST OF LOW P.I. SOILS FREE OF ORGANIC DEBRIS.
  - DESIGN BASED ON MINIMAL WIND LOADING TO ATTACHED ORNAMENTAL FENCING.
  - MORTAR SHALL BE TYPE M BASED ON ASTM C270 WITH REINFORCING STEEL CONSISTING OF FY=60KSI PER ASTM A615.
  - BASED ON EXTREME DROUGHT CONDITIONS IN THE AREA, WATERING OF ADJACENT SOILS (AS NEEDED) IS REQUIRED FOR PROPER MAINTENANCE OF ALL STRUCTURES.

\\nc\pl\proj\landscape\GIS\dir\projsets\jvc022\obj\jvc022-01.dwg



1 LIGHT POLE WITHIN POOL AREA  
PLAN/SECTION

SCALE: 3/4" = 1'-0"

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

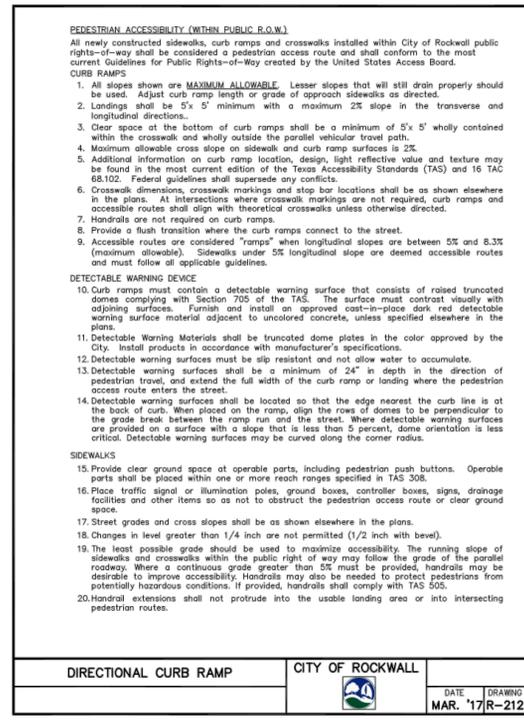
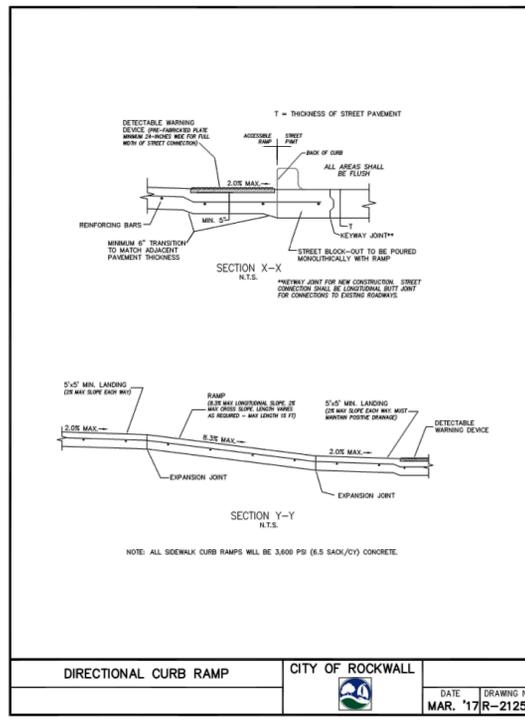
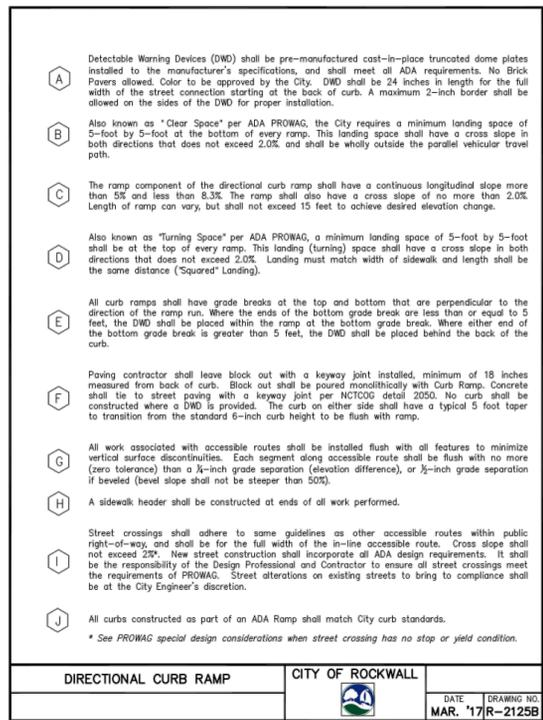
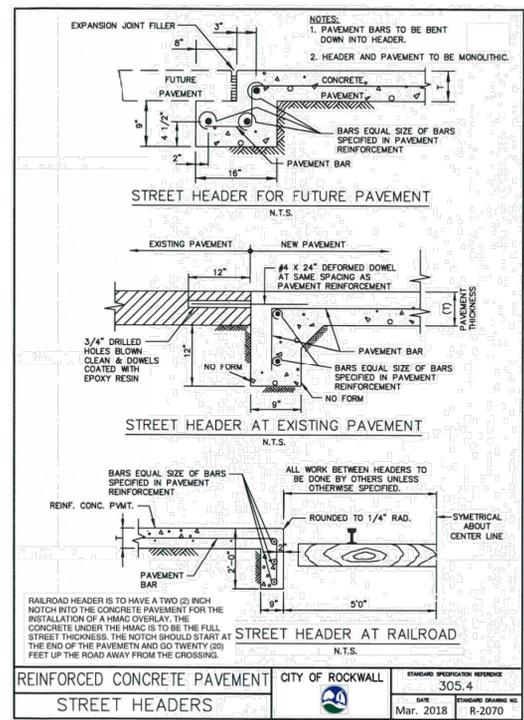
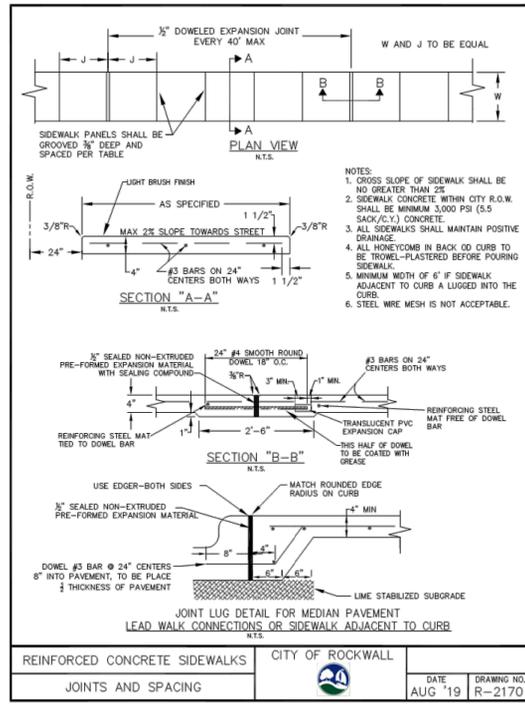
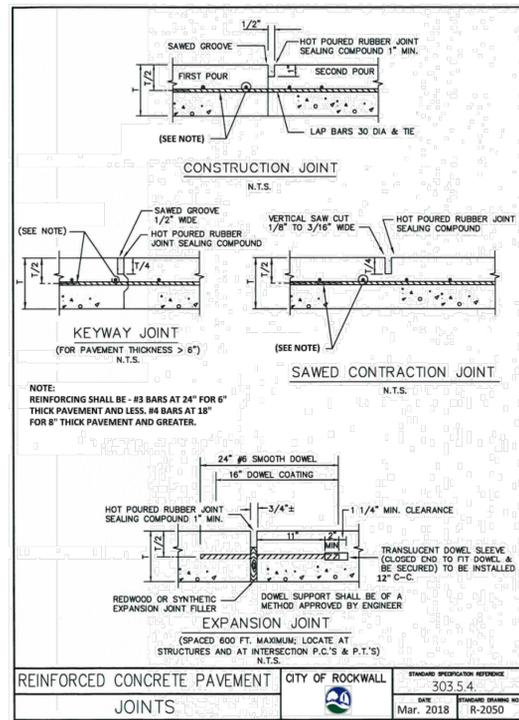
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning


THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.  
 June 14, 2024

SCALE:  
 REFER TO DETAILS  
 One Inch  
 JVC No. JVC022



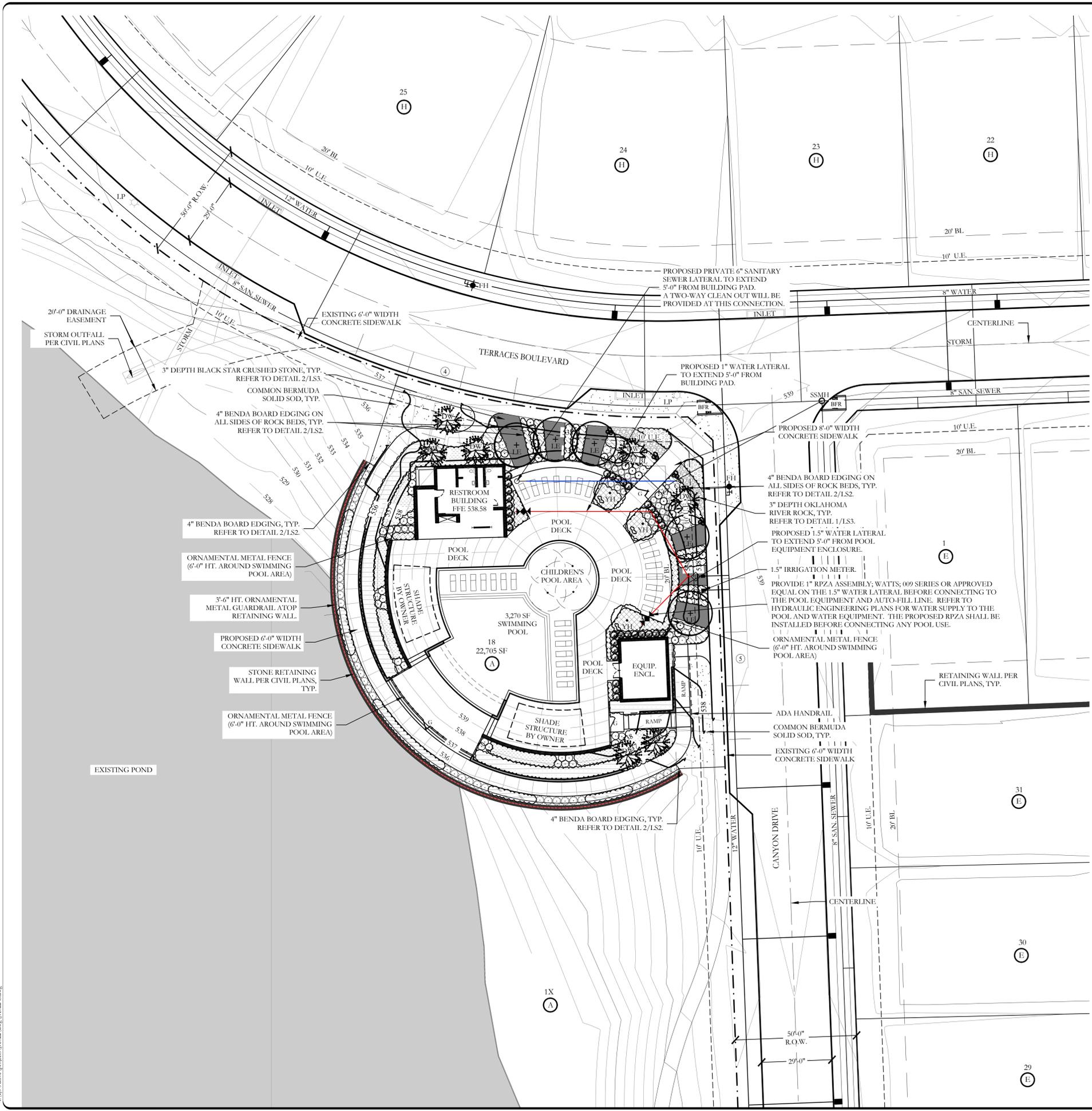
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

\\nc-fp1\pvc\landscape\cass\draws\pavements\rev02\drag\rev02-sp.dwg



### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRTICA PUSILLA	5 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER
		OKLAHOMA RIVER ROCKS, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOITOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

### SITE INFORMATION

SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 0.52 ACRES  
 22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET  
 BUILDING HEIGHT: 19'-8" (1 STORY)  
 POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET  
 POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 (1,652/22,705)  
 LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF  
 PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%  
 INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

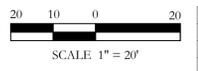
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

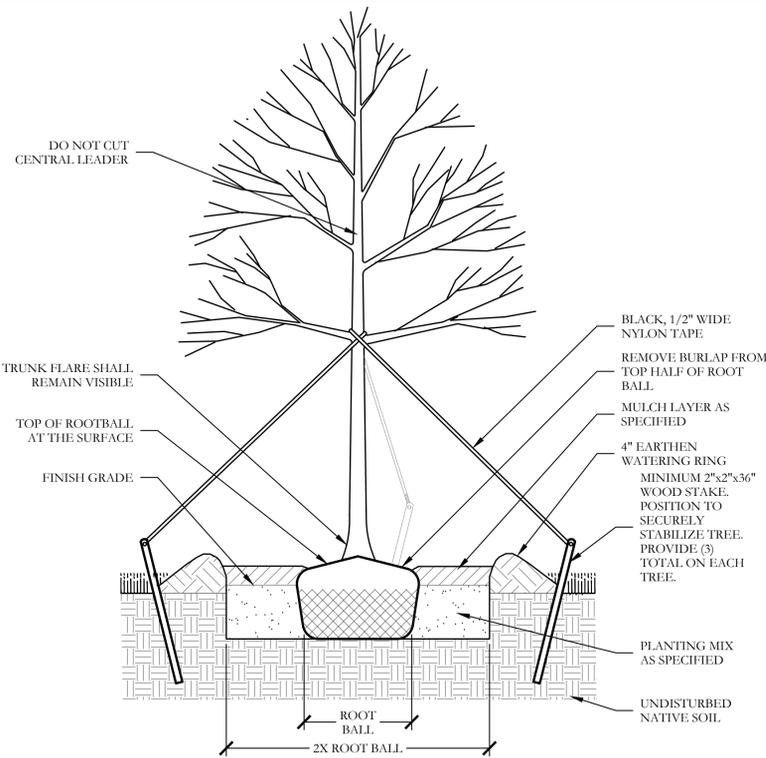
**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

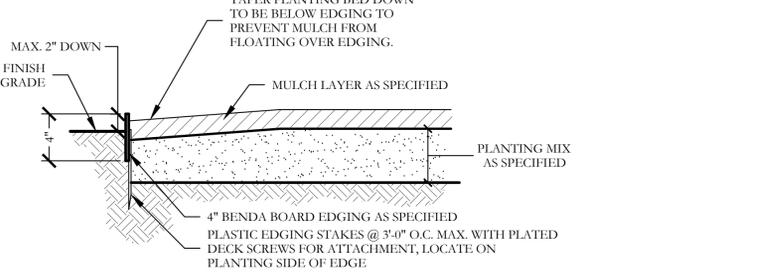
\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

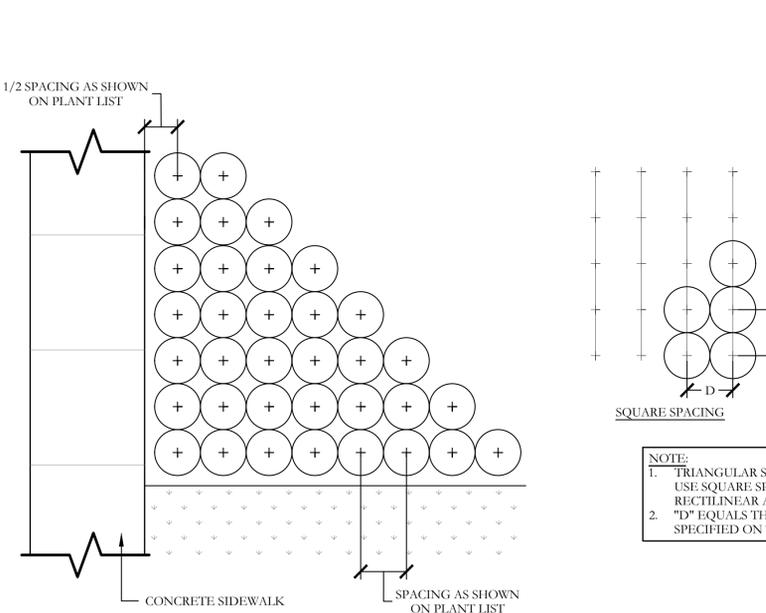




1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LE	5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	32	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISTUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	410	MEXICAN FEATHER GRASS	NASELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	335	CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	500	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1" DIAMETER IN SIZE.
	210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

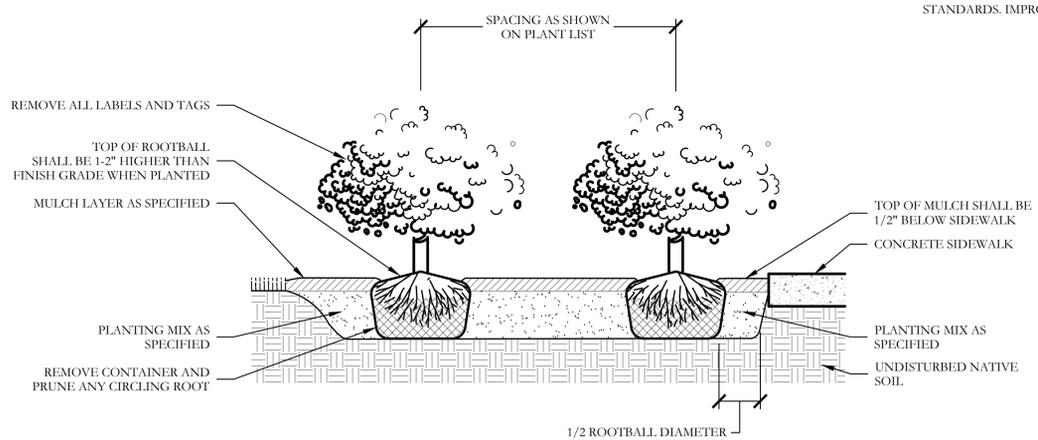
- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR TOPKILLED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**JOHNSON VOLK CONSULTING**  
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

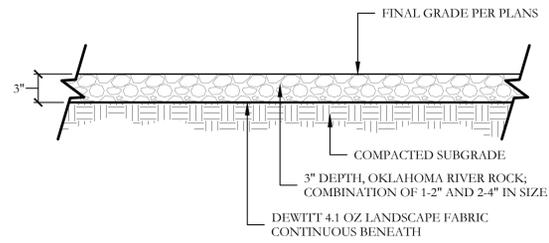
**TERRACES AMENITY CENTER CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS**

**AMENITY CENTER FACILITY LANDSCAPE SCHEDULE & DETAILS**

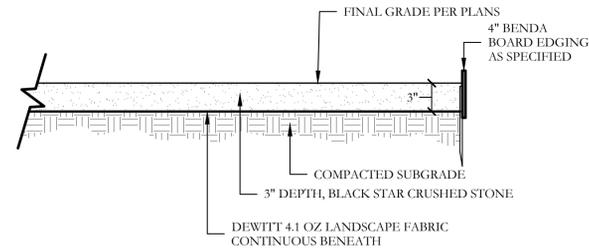
CITY CASE NUMBER TBD TERRACES AMENITY CENTER

SCALE: REFER TO DETAILS One Inch JVC No JVC022

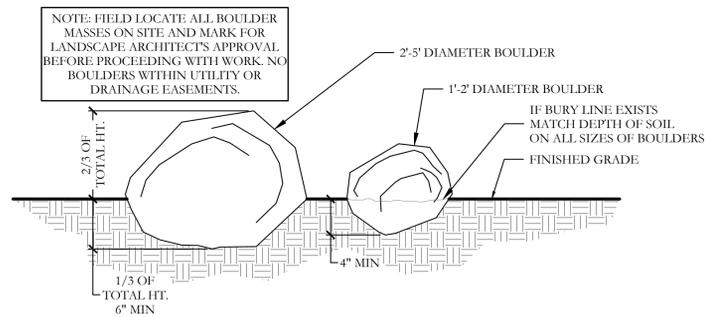
LS2 of 3



1 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

NOTE: FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK. NO BOULDERS WITHIN UTILITY OR DRAINAGE EASEMENTS.

2'-5" DIAMETER BOULDER  
 1'-2" DIAMETER BOULDER  
 IF BURY LINE EXISTS MATCH DEPTH OF SOIL ON ALL SIZES OF BOULDERS  
 FINISHED GRADE  
 2/3 OF TOTAL HT.  
 1/3 OF TOTAL HT. 6" MIN  
 4" MIN

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning




SCALE:  
 REFER TO  
 DETAILS  
 One Inch  
 JVC No JVC022



**TO:** Planning and Zoning Commission  
**FROM:** Henry Lee, *Senior Planner*  
**DATE:** July 9, 2024  
**SUBJECT:** SP2024-028; *PD Site Plan for the Terracina Estates Phase 2 Subdivision*

The applicant, Chuck Lamping of Engineering Concepts & Design, LP -- *on behalf of Clint Vincent of Bloomfield Homes, LP --*, is requesting the approval of a Site Plan for Phase 2 of the Terracina Estates Subdivision. The subject property is a 31.331-acre tract of land (*i.e. Tract 16 of the J. A. Ramsey Survey, Abstract No. 186*) generally located at the terminus of Guadalupe Drive, Mesa Verde Drive, and Oakcrest Drive. Concurrently with this *Site Plan*, the applicant has submitted a *Final Plat* [Case No. P2024-022] for Phase 2 of the subdivision.

The subject property is zoned Planned Development District 82 (PD-82) [*Ordinance No. 18-08*] for Single-Family 10 (SF-10) District land uses. Based on this Planned Development District, the proposed subdivision will consist of 352 single-family lots and be composed of three (3) lot types (*i.e. [Type A Lots] 296, 65' x 125' lots; [Type B Lots] 46, 80' x 125' lots; [Type C Lots] 10, 80' x 125' lots*). On June 15, 2020, the City Council approved a final plat [Case No. P2020-020] for Phase 1 of the Terracina Estates Subdivision. In accordance with the Concept Plan contained within Planned Development District 82 (PD-82) [*Ordinance No. 18-08*], Phase 1 included 110 single-family lots. Concurrently with this *Site Plan*, the applicant has submitted a *Final Plat* [Case No. P2024-022] for 94 single-family lots contained within Phase 2 of the subdivision. Below are the density and dimensional requirements that the Terracina Estates Subdivision is subject to per the *Ordinance No. 18-08*:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

<i>Lot Type (see Concept Plan) ►</i>	<b>A</b>	<b>B</b>	<b>C</b>
<i>Minimum Lot Width</i> <sup>(1) &amp; (5)</sup>	65'	80'	80'
<i>Minimum Lot Depth</i>	125'	125'	125'
<i>Minimum Lot Area</i>	8,125 SF	10,000 SF	25,000 SF
<i>Minimum Front Yard Setback</i> <sup>(2)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2)</sup>	10'	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	1,800 SF	2,000 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- <sup>1:</sup> The minimum lot width shall be measured at the *Front Yard Building Setback*.
- <sup>2:</sup> The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3:</sup> The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4:</sup> As measured from the rear yard property line.
- <sup>5:</sup> Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.

In accordance with the *PD Site Plan* requirements outlined within the PD Ordinance [*Ordinance No. 18-08*] the applicant has submitted a site plan, landscape plan, treescape plan, and hardscape plan. The proposed *Site Plan* and *Landscape Plan* appear to conform to all requirements stipulated by *Ordinance No. 18-08*. The *Hardscape Plan* shows the required sidewalks, plaza, picnic area, and a fence exhibit that conform to the requirements stipulated by *Ordinance No. 18-08*. The proposed *Treescape Plan* satisfies the mitigation balance; however, in order to achieve this, the applicant is providing one (1) canopy

tree per residential lot. Since the request generally conforms to the requirements of Planned Development District 82 (PD-82) [Ordinance No. 18-08] and the Unified Development Code (UDC), this case is being placed on the consent agenda; however, if the Planning and Zoning Commission chooses to approve the applicant's *PD Site Plan* for Phase 2 of the Terracina Subdivision, then staff would propose that -- *as a condition of approval for this case* -- the applicant be required to provide one (1), four (4) inch caliper canopy tree on each residential lot in Phase 2 to satisfy the tree mitigation requirements. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 9, 2024 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

*NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:  
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision Terracina Estates, Phase 2

Lot

Block

General Location West of Rochelle Road and south of Timber Creek Estates Neighborhood

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD - 82

Current Use VACANT

Proposed Zoning PD - 82

Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 31.331

Lots [Current]

Lots [Proposed] 94

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BLOOMFIELD HOMES LP

Applicant PETITT-ECD

Contact Person CLINT VINCENT

Contact Person CHUCK LAMPING

Address 1900 W KIRKWOOD BLVD.  
SUITE 2300B

Address 1600 N. COLLINS BLVD.  
SUITE 3300

City, State & Zip SOUTHLAKE, TEXAS 76092

City, State & Zip RICHARDSON, TEXAS 75080

Phone 817-416-1572

Phone 214-403-3589

E-Mail clint@bloomfieldhomes.net

E-Mail chuck@petitt-ecd.com

### NOTARY VERIFICATION [REQUIRED]

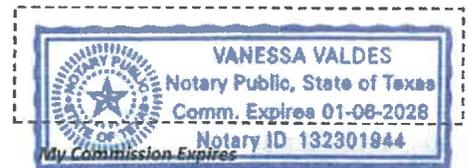
Before me, the undersigned authority, on this day personally appeared Clint Vincent [Owner] the undersigned, who stated the information on this application to be true and certified the following:

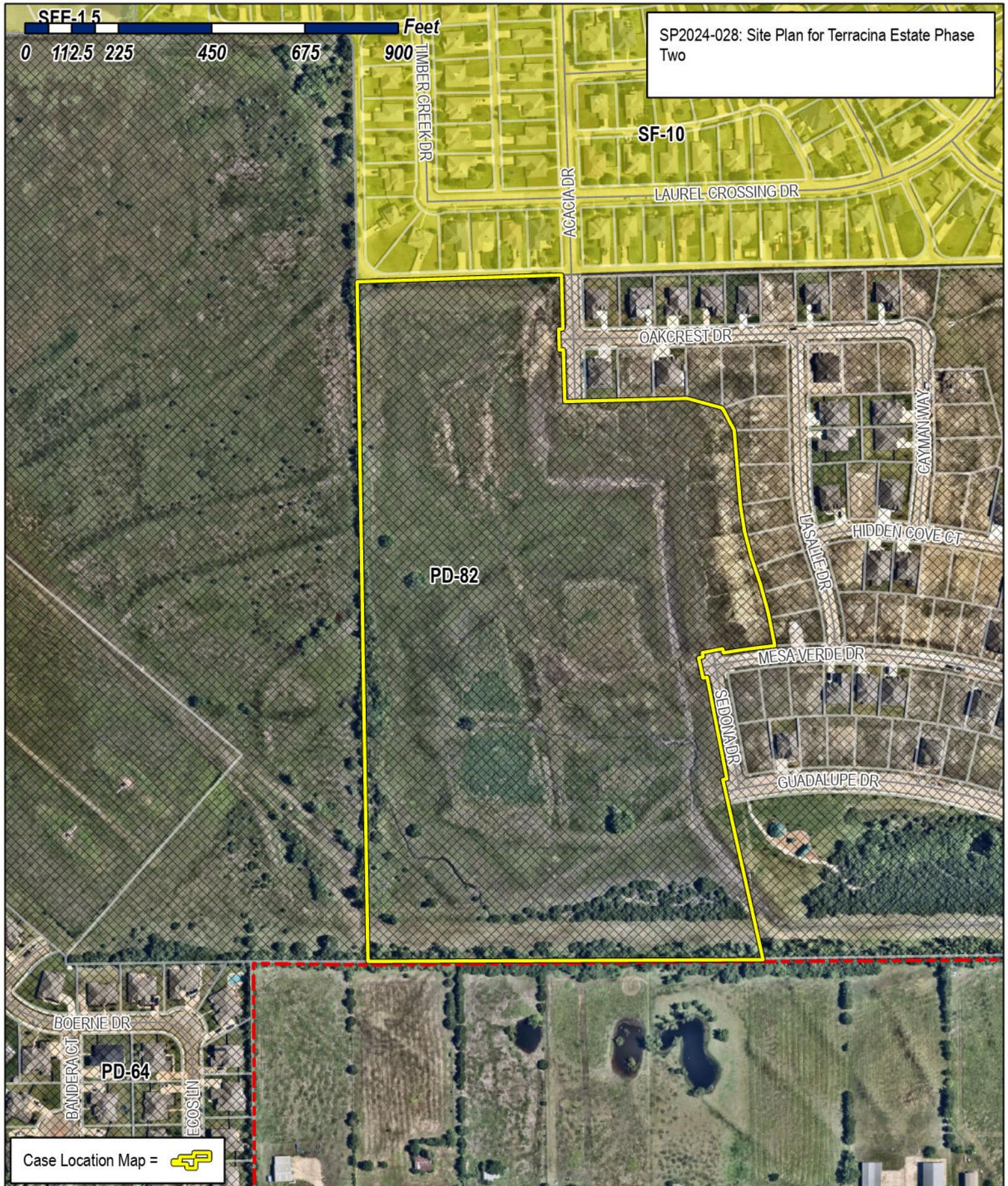
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 876.62, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of June, 20 24. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of June, 20 24.

Owner's Signature

Notary Public in and for the State of Texas





SP2024-028: Site Plan for Terracina Estate Phase Two

SEE-1.5 Feet  
0 112.5 225 450 675 900

PD-82

SF-10

BOERNE DR

PD-64

Case Location Map =



# City of Rockwall

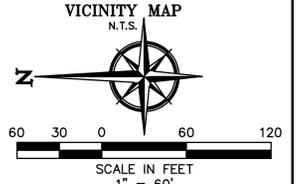
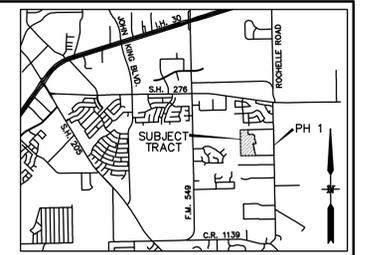
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



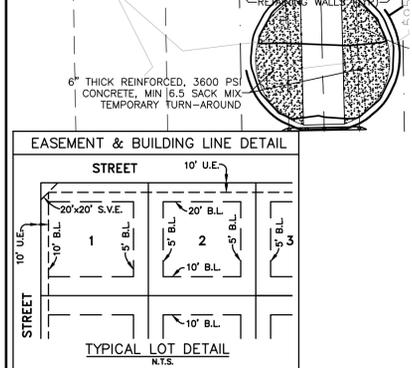
**TERRACINA ESTATES PHASE 1  
SITE PLAN DATA**

- a. 31.331 Acres
- b. PD-82 Zoning
- c. 94 Dwelling Units
- d. 4.90 Acres Open Space/Park(15.6%)
- e. All Common Areas/Open Space to be maintained by the H.O.A.
- f. \* Denotes Street Lights 20' Max. Height and must be directed downward
- g. T Denotes Stop Sign & Street Names
- h. Amenities constructed in Phase 1:  
1-Pavilion,  
1-Playground,  
3-Park Benches  
2-Trash Receptacles  
1-Exercise Station  
and 8' Trail (previous Phase construction)



LINE TABLE			LINE TABLE		
NO.	DIRECTION	DISTANCE	NO.	DIRECTION	DISTANCE
L1	S 1°26'05" E	125.00'	L23	S 41°55'38" W	41.19'
L2	S 88°33'55" W	10.00'	L24	S 1°26'05" E	57.53'
L3	S 1°26'05" E	50.00'	L25	S 85°30'11" W	66.96'
L4	N 88°33'55" E	10.00'	L26	S 76°23'43" W	61.57'
L5	S 1°26'05" E	125.00'	L27	S 67°34'05" W	61.57'
L6	S 74°39'57" E	88.77'	L28	S 59°41'23" W	64.21'
L7	S 27°50'10" E	60.72'	L29	S 60°25'59" W	63.64'
L8	S 9°02'55" E	64.32'	L30	N 63°01'42" E	63.64'
L9	S 14°35'37" E	62.88'	L31	N 65°37'26" E	63.64'
L10	S 18°37'29" E	67.02'	L32	N 68°13'09" E	63.64'
L11	S 15°12'53" E	74.64'	L33	N 70°48'53" E	63.64'
L12	S 11°22'18" E	81.90'	L34	N 73°24'36" E	63.64'
L13	N 10°58'09" W	10.20'	L35	S 76°21'39" W	81.00'
L14	S 79°01'51" W	50.00'	L36	N 14°16'45" W	66.78'
L15	S 10°58'09" E	10.20'	L37	S 82°52'23" W	77.17'
L16	S 12°16'48" E	50.00'	L38	N 73°57'31" E	72.34'
L17	S 10°58'09" E	250.04'	L39	N 60°38'26" W	30.28'
L18	S 88°58'40" W	35.00'	L40	S 18°33'56" E	69.05'
L19	N 1°01'20" W	56.74'	L41	S 14°29'17" E	62.00'
L20	S 88°58'40" W	27.24'	L42	S 17°28'56" E	72.75'
L21	S 46°26'05" E	40.00'	L43	S 79°53'09" W	130.22'
L22	S 1°26'05" E	150.00'	L44	N 10°58'09" W	31.71'

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	CHORD BEARING	CHORD	
C1	004°32'28"	1580.00'	62.65'	S 82°12'29" W	125.19'	
C2	000°24'15"	1580.00'	5.57'	S 77°55'20" W	11.15'	
C3	000°22'28"	1530.00'	5.00'	S 77°54'26" W	10.00'	
C4	000°26'52"	1280.00'	5.00'	S 77°41'16" W	10.00'	
C5	030°59'26"	555.00'	153.87'	S 300°19' N	73°28'57" E	296.55'
C6	019°28'37"	1250.00'	214.53'	S 424°92' E	S 67°43'32" W	422.88'
C7	030°59'27"	250.00'	69.31'	S 135°22' N	S 73°28'57" E	133.58'
C8	019°43'58"	1555.00'	270.45'	S 535°55' E	S 67°51'13" W	532.91'
C9	023°01'04"	300.00'	61.08'	S 120°52' E	S 12°31'52" E	119.71'
C10	018°23'27"	800.00'	129.51'	S 256°78' E	S 10°37'48" E	256.68'
C11	008°51'23"	800.00'	61.95'	S 123°66' E	S 15°23'50" W	123.53'
C12	090°00'00"	25.00'	25.00'	S 39°27' E	S 46°26'05" W	35.36'
C13	089°35'15"	25.00'	24.82'	S 39°09' E	S 43°46'18" W	35.23'



**ABBREVIATIONS LEGEND**

- IRF IRON ROD FOUND
- CIRF 5/8 INCH IRON ROD FOUND WITH ADAMS SURVEYING COMPANY LLC CAP
- FCP FENCE CORNER POST FOUND
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY TEXAS
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY TEXAS
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- R.W.E. RETAINING WALL EASEMENT (TO BE MAINTAINED BY PROPERTY OWNER OR HOA)
- S.V.E. SIDEWALK & VISIBILITY EASEMENT
- HOA HOMEOWNERS ASSOCIATION
- MFFE MINIMUM FINISHED FLOOR ELEVATION
- SPC STATE PLANE COORDINATES
- INDICATES CHANGE IN STREET NAME

**TERRACINA ESTATES PHASE 1  
PLANT LEGEND**

- (RO) 36 - 4" RED OAK
- (CE) 4 - 4" CEDAR ELM
- (LO) 3 - 4" LIVE OAK
- (EA) 22 - ELAEAGNUS
- (SB) 215,057 - S.F. COMMON BERMUDA SOD

Existing Trees to be Protected

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

**NOTES:**

- PARK SHALL BE DESIGNED AND INSTALLED ACCORDING TO ROCKWALL PARKS AND RECREATION SPECIFICATIONS.
- IRRIGATION WILL MEET REQUIREMENTS OF UDC.

**ZONING**  
1.96 DWELLING UNITS PER ACRE (MAX. OVERALL DENSITY) [ORD. NO. 18-08-PD-82]

**OPEN SPACE = 0.06 AC.**  
PARK = 4.84 AC.  
94 DWELLING UNITS  
3.00 UNITS PER ACRE

**OWNER/DEVELOPER**  
BLOOMFIELD HOMES L.P.  
1050 E. HWY. 114, SUITE 210  
SOUTHLAKE, TEXAS 76092  
PHONE: 817-416-1572

**LAND SURVEYOR**  
O'NEAL SURVEYING CO.  
1475 RICHARDSON DR., STE 255  
RICHARDSON, TX 75080  
(972) 941-8400 FAX (972) 941-8401  
(903) 804-2891  
TBPLS FIRM NO. 10194132

**SITE PLAN  
TERRACINA ESTATES  
PHASE 2**

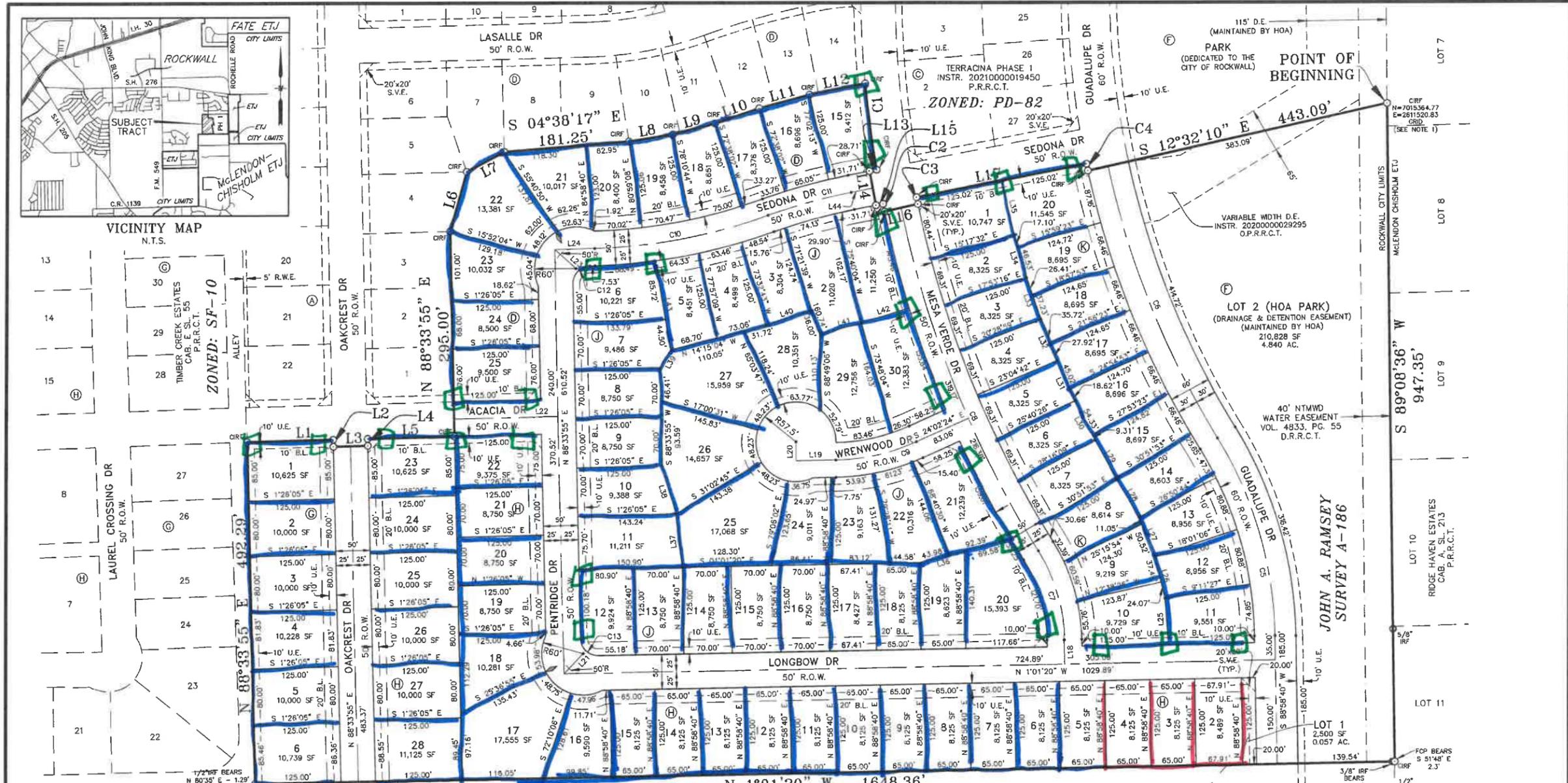
BEING  
**31.331 ACRES**

SITUATED IN THE  
JOHN A. RAMSEY SURVEY, A-186  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**PETITT-ECD**  
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES  
TEXAS FIRM REG. NO. 001145 SURVEYING FIRM #10194792  
201 WINDCO CIRCLE, SUITE 200, WYLIE, TEXAS 75098  
(972) 941-8400 FAX (972) 941-8401

DATE: 6/27/2024 CASE NO. SP2024-028

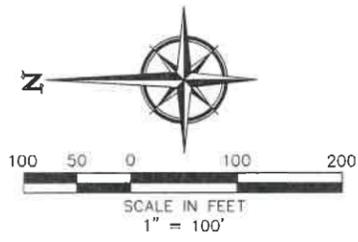
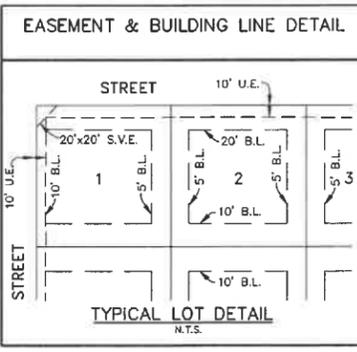
# Terracina Phase II



— Wood  
 — Wrought Iron  
 — Masonry Column

**LEGEND**

IRF	IRON ROD FOUND
CIRF	5/8 INCH IRON ROD FOUND WITH ADAMS SURVEYING COMPANY LLC CAP
FCP	FENCE CORNER POST FOUND
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
B.L.	BUILDING SETBACK LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
R.W.E.	RETAINING WALL EASEMENT (TO BE MAINTAINED BY PROPERTY OWNER OR HOA)
S.V.E.	SIWALK & VISIBILITY EASEMENT
HOA	HOMEOWNERS ASSOCIATION
◆	INDICATES CHANGE IN STREET NAME



CALLD 59.065 AC.  
 BLOOMFIELD HOMES, LP  
 INSTR. 2018000012449  
 D.R.R.C.T.  
**ZONED: PD-82**

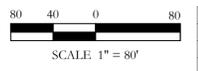
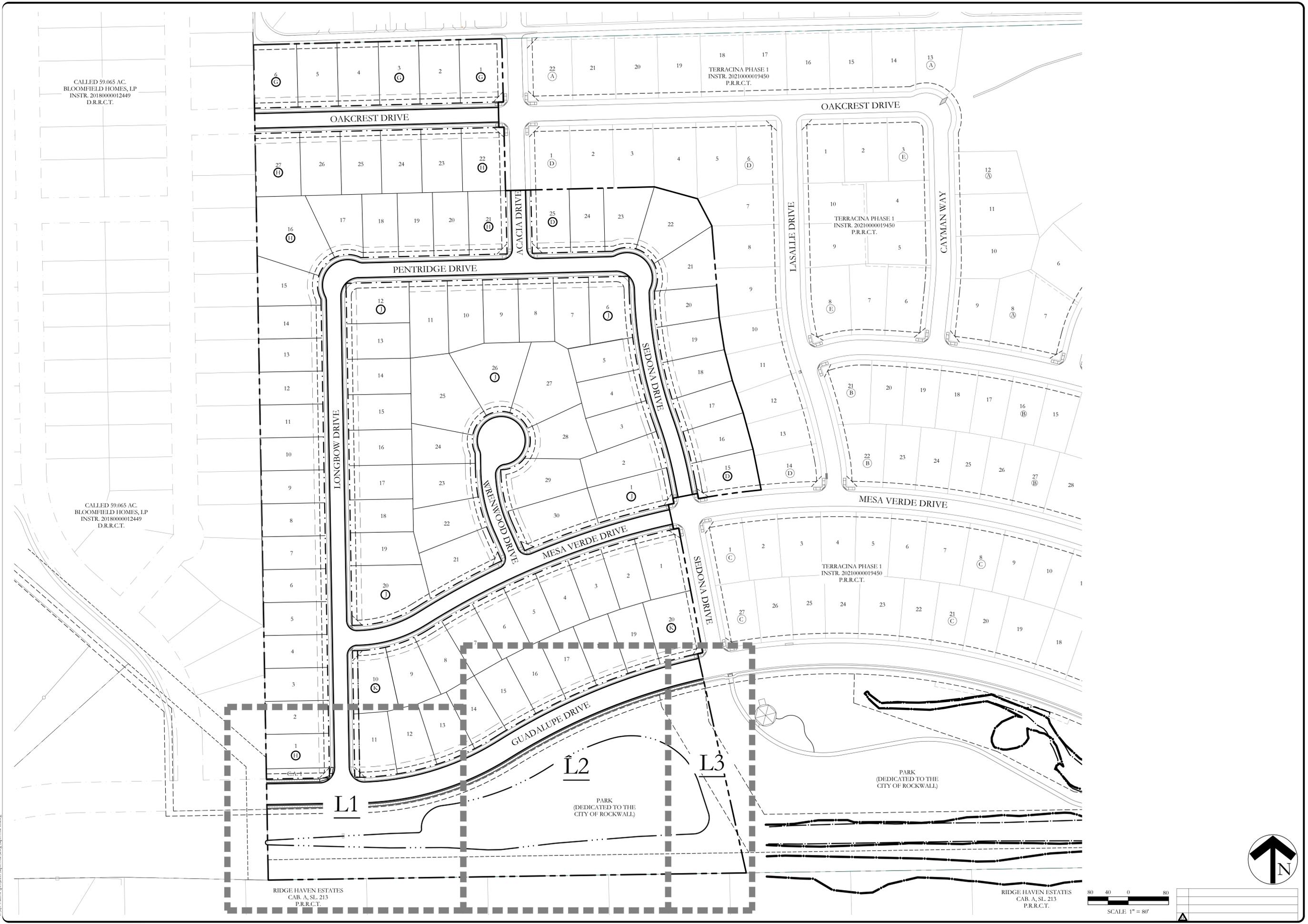
**ZONING**  
 1.96 DWELLING UNITS PER ACRE  
 (MAX OVERALL DENSITY)  
 [ORD. NO. 18-08-PD-82]  
 OPEN SPACE LOT = 0.057 AC.  
 PARK = 4.840 AC.  
 94 DWELLING UNITS  
 3.00 UNITS PER ACRE

**OWNER/DEVELOPER**  
**BLOOMFIELD HOMES L.P.**  
 1900 W KIRKWOOD BLVD, SUITE 2300B  
 SOUTHLAKE, TEXAS 76092  
 PHONE: 817-416-1572

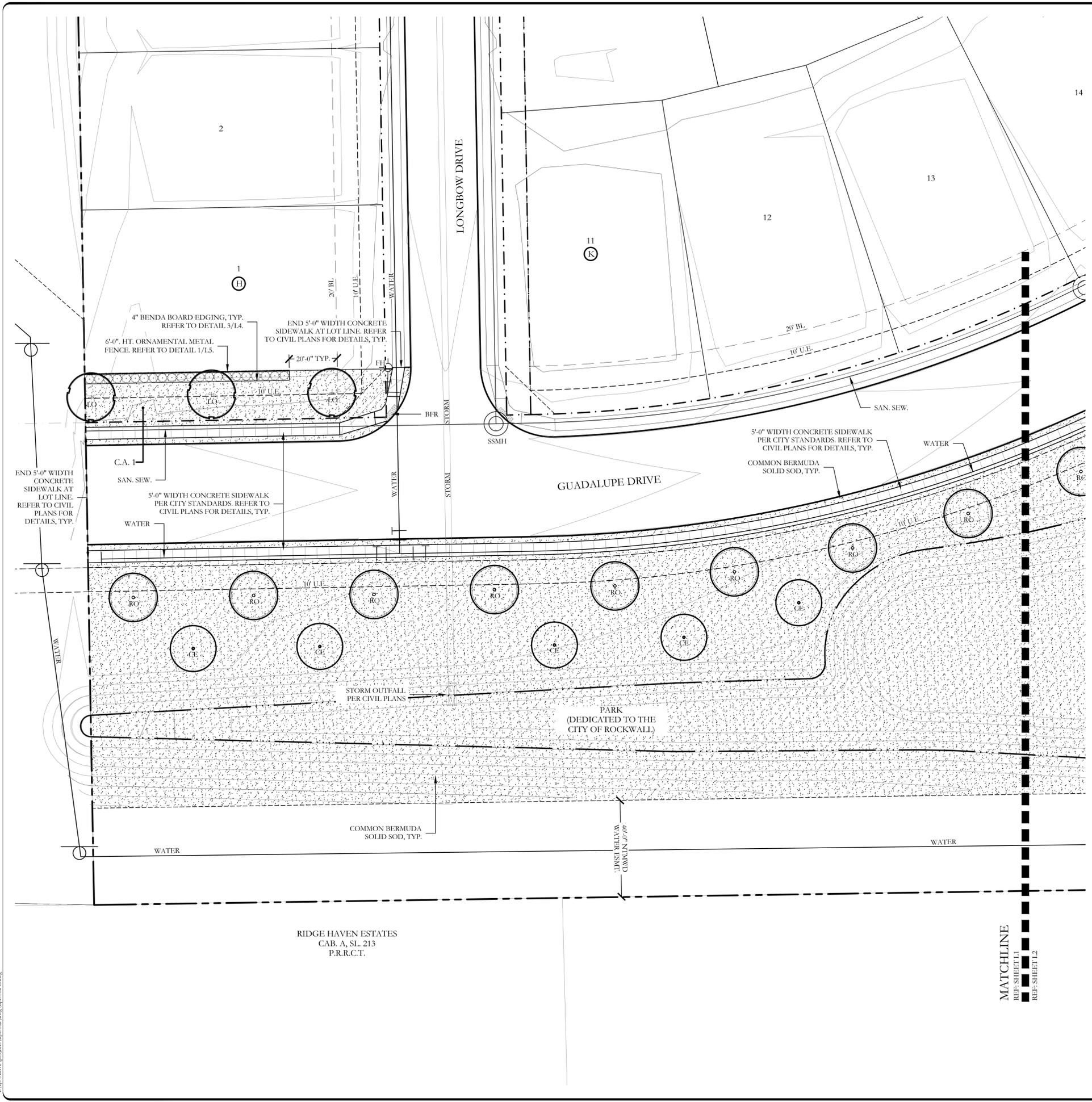
**FINAL PLAT**  
**TERRACINA ESTATES**  
**PHASE 2**  
 LOTS 15-25, BLOCK D; LOT 2, BLOCK F;  
 LOTS 1-6, BLOCK G; LOTS 1-28, BLOCK H;  
 LOTS 1-30, BLOCK J; & LOTS 1-20, BLOCK K  
 BEING

94 RESIDENTIAL LOTS,  
 1 OPEN SPACE LOT AND 1 PARK LOT  
 31.331 ACRES OR 1,364,769 SQ. FT.  
 SITUATED IN THE  
 JOHN A. RAMSEY SURVEY, A-186  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**PETTIT - ECD**  
 CIVIL ENGINEERING/SURVEYING/CONSTRUCTION  
 ADMINISTRATION  
 TBPELS FIRM REGISTRATION  
 ENGINEERING FIRM #001145 SURVEYING FIRM #10194792  
 1800 N. COLLINS BLVD. SUITE 3300 RICHARDSON, TX 75080  
 201 WINDCO CIR. SUITE 100 WYLIE, TX 75098  
 (972) 941-8400



I:\vs\admc\projects\lph\065\dwg\lph065\_k.dwg



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	SHUMARD RED OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
		ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

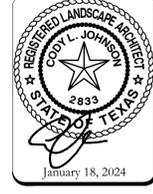
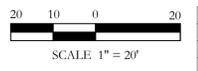
HARDSCAPE LEGEND	
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 1/L5.
NOTE: REFER TO CIVIL PLANS FOR SIDEWALK ALIGNMENT, LOCATIONS, BARRIER FREE RAMP LOCATIONS AND ALL COINCIDING CONSTRUCTION DETAILS.	

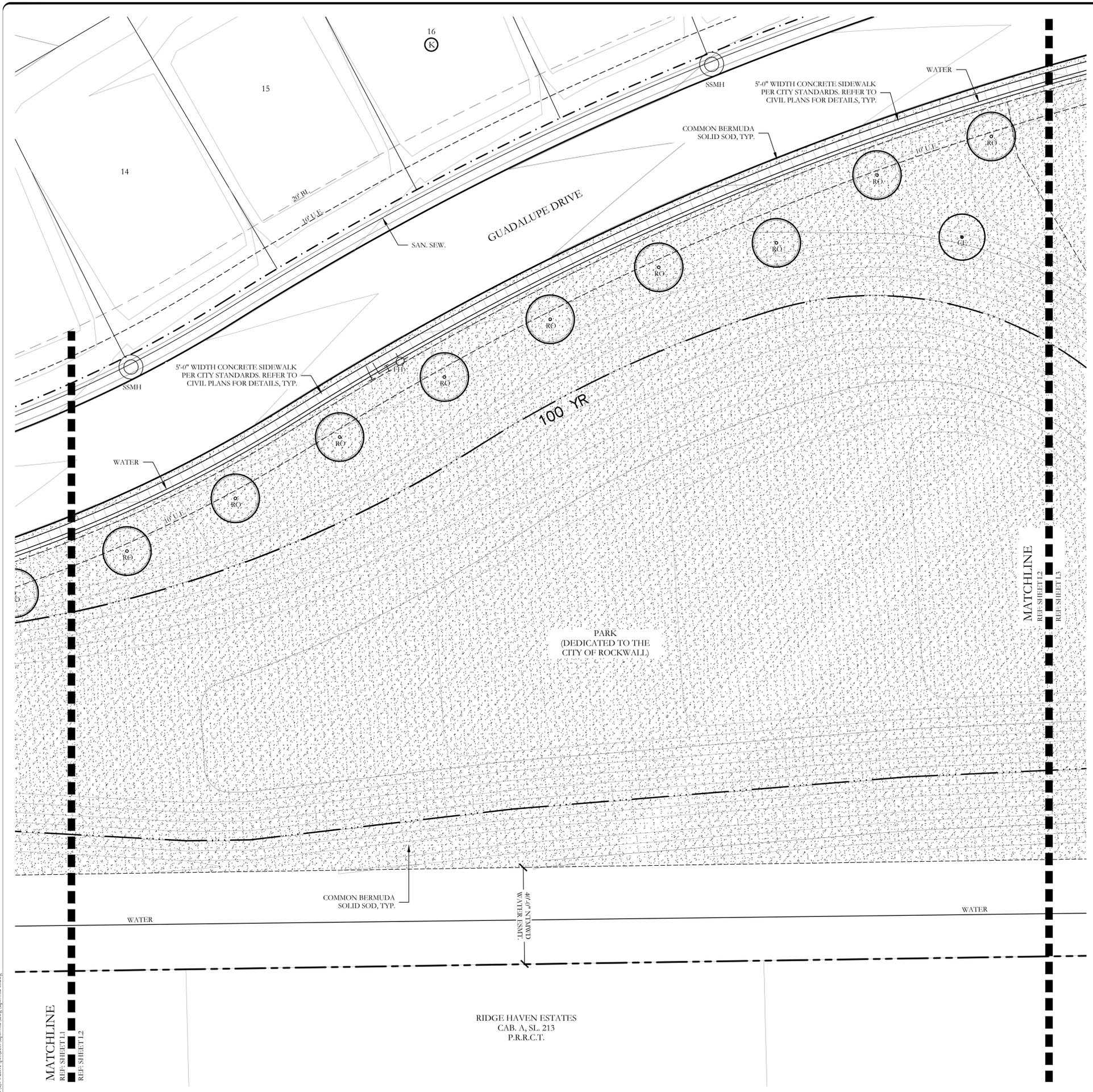
**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning





### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	SHUMARD RED OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	EA	ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

### HARDSCAPE LEGEND

6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 1/L5.

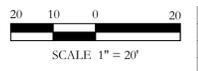
NOTE:  
REFER TO CIVIL PLANS FOR SIDEWALK ALIGNMENT, LOCATIONS, BARRIER FREE RAMP LOCATIONS AND ALL COINCIDING CONSTRUCTION DETAILS.

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	SHUMARD RED OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
		ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

**HARDSCAPE LEGEND**

6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 1/L5.

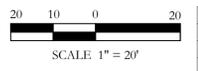
**NOTE:**  
REFER TO CIVIL PLANS FOR SIDEWALK ALIGNMENT, LOCATIONS, BARRIER FREE RAMP LOCATIONS AND ALL COINCIDING CONSTRUCTION DETAILS.

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT—CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRASH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSTS ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

APPROVED:

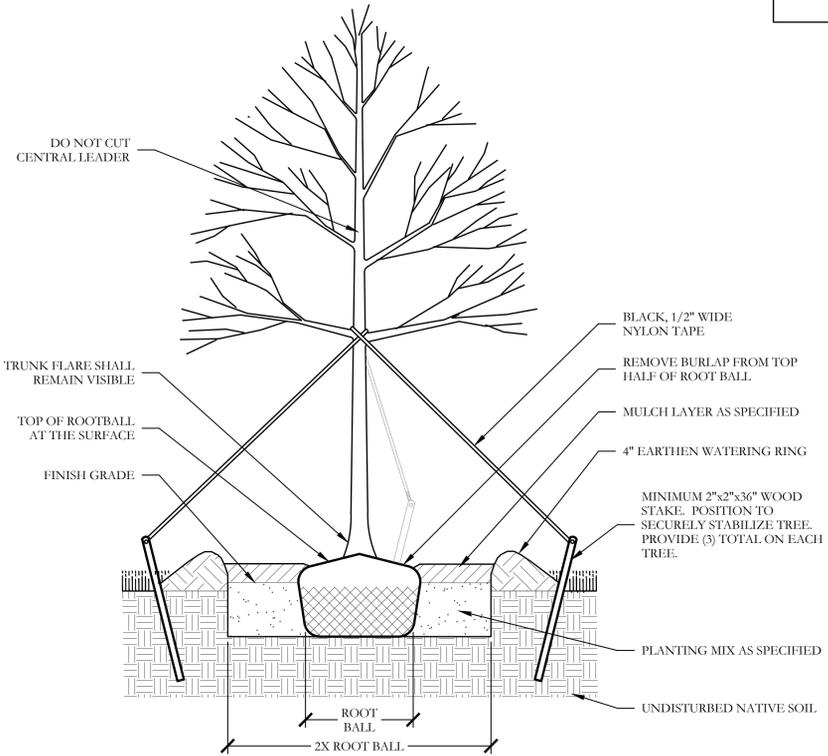
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

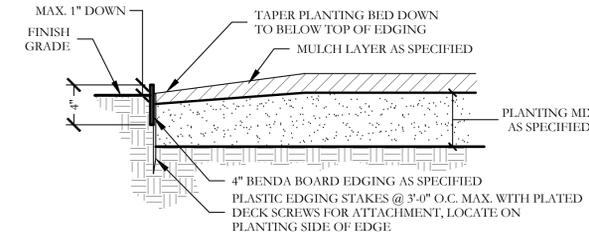
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

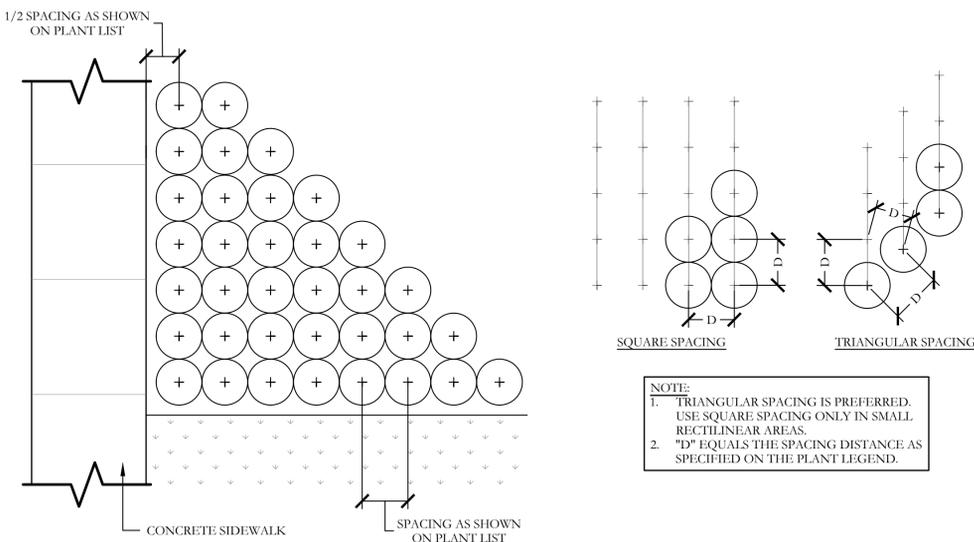
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	3	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RO	17	SHUMARD RED OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
	22	ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	179,940	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN



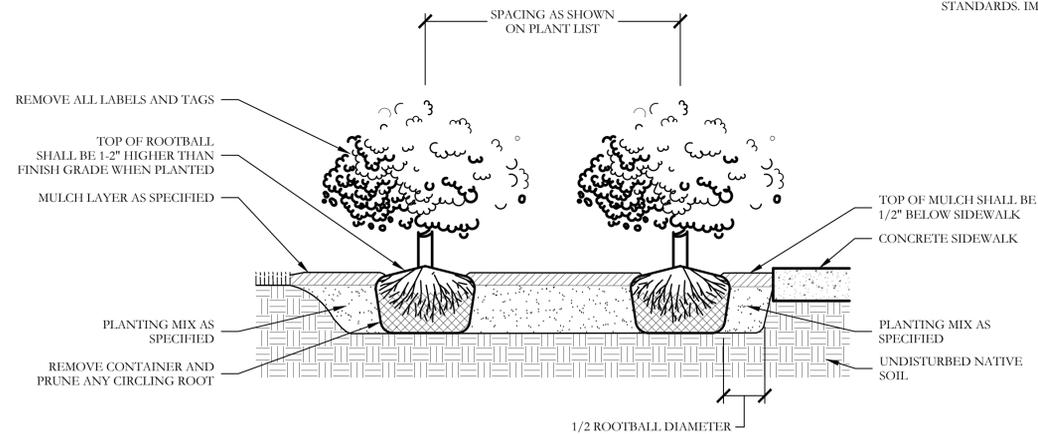
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



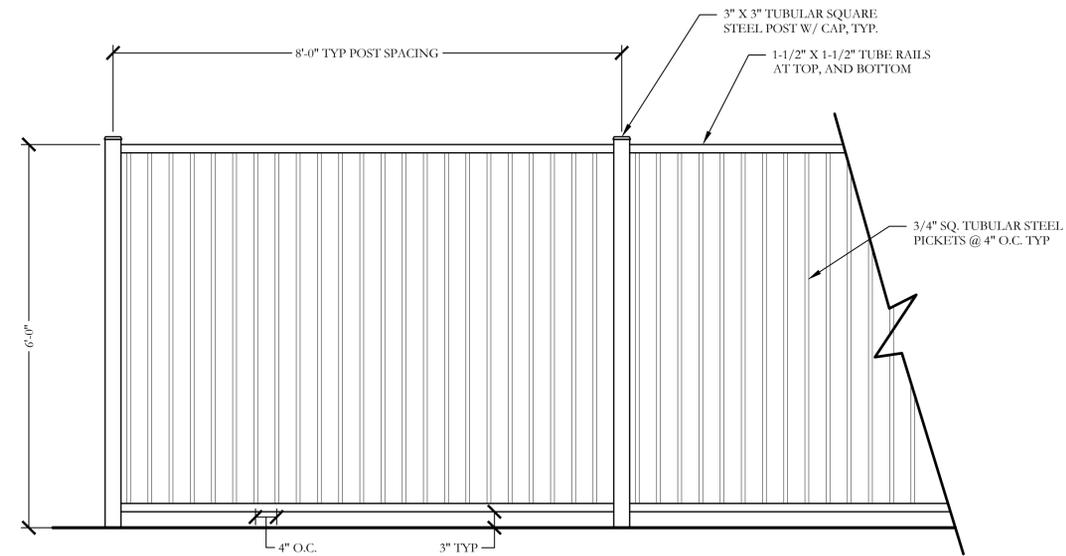
3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

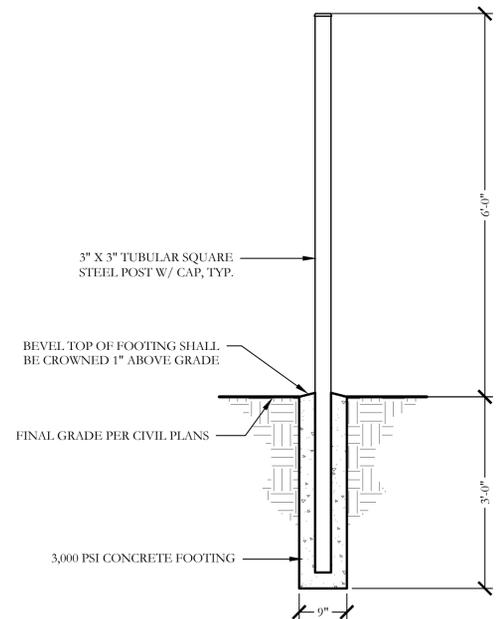


2 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE



1 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION

SCALE: 3/4"=1'-0"



2 TYPICAL METAL POST FOOTING SECTION

SCALE: 3/4"=1'-0"

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - 10.1. PICKETS, 3/4" SQUARE 16 GA.
  - 10.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
  - 10.3. POSTS, 3" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

WALL LAYOUT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
4. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
6. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
7. THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

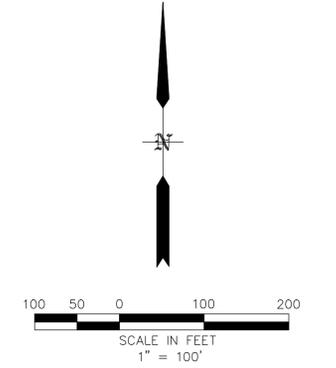
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning




SCALE:  
REFER TO  
DETAILS  
One Inch  
JVC No DP1006A

I:\s\c\m\c\projects\dp1006a.dwg,dp1006a.dwg



**LEGEND**

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

Point Number	Inches	Type	Removed	
223	12	CEDAR	YES	
227	12	CEDAR	YES	
229	12	CEDAR	YES	
231	14	CEDAR	YES	
233	14	CEDAR	YES	
235	16	CEDAR	YES	
237	12	CEDAR	YES	
239	48	CEDAR	YES	
241	19	CEDAR	YES	
243	12	CEDAR	YES	
245	20	CEDAR	YES	
247	12	CEDAR	YES	
249	12	CEDAR	YES	
251	36	CEDAR	YES	
253	14	CEDAR	YES	
255	14	CEDAR	YES	
257	12	CEDAR	YES	
259	12	CEDAR	YES	
261	14	CEDAR	YES	
263	12	CEDAR	YES	
265	18	CEDAR	YES	
267	12	CEDAR	YES	
269	18	CEDAR	YES	
271	18	CEDAR	YES	
273	18	CEDAR	YES	
452	18	CEDAR	YES	
454	18	CEDAR	YES	
458	12	CEDAR	YES	
460	16	CEDAR	YES	
462	11	CEDAR	YES	
464	12	CEDAR	YES	
466	12	CEDAR	YES	
468	20	CEDAR	YES	
470	12	CEDAR	YES	
472	16	CEDAR	YES	
474	16	CEDAR	YES	
476	12	CEDAR	YES	
478	20	CEDAR	YES	
480	20	CEDAR	YES	
482	12	CEDAR	YES	
484	12	CEDAR	YES	
486	18	CEDAR	YES	
488	18	CEDAR	YES	
490	16	CEDAR	YES	
492	20	CEDAR	YES	
494	12	CEDAR	YES	
496	12	CEDAR	YES	
498	12	CEDAR	YES	
500	12	CEDAR	YES	
502	20	CEDAR	YES	
504	18	CEDAR	YES	
506	12	CEDAR	YES	
508	12	CEDAR	YES	
510	12	CEDAR	YES	
512	16	CEDAR	YES	
514	26	CEDAR	YES	
		Inches	Factor	Total
Secondary trees (inches)		778	0.5	389
Featured trees (inches)		110	2	220
Total Mitigation (inches)		888		609
		Count	Inches	Total Inches
Proposed Plantings				
Landscape trees (inches)		26	4	104
Lot trees *		94	8	752
Caliper inches planted				856
		Balance		-247

**OWNER/DEVELOPER**  
 BLOOMFIELD HOME L.P.  
 1050 E. HWY. 114, SUITE 210  
 SOUTHLAKE, TEXAS 76092

\* ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER, THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**CAUTION! EXISTING UTILITIES**  
 CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**BENCHMARKS:**  
 CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive Elevation = 559.95'  
 CP 103 - 7" in concrete east side of Rochelle Road, 1834' south of center of Polar Point Dr. Elevation = 564.54'  
 CP 104 - Capped 5/8" Iron rod east side of Rochelle Road & 1250' south of the center of Polar Point Dr. Elevation = 572.70'  
 CP 105 - Capped 5/8" Iron rod east side of Rochelle Road & 826' south of the center of Polar Point Dr. Elevation = 568.75'

**PETITT - ECD**  
 ENGINEERING SURVEYING  
 CONSTRUCTION ADMINISTRATION  
 TPBELS REGISTRATION  
 ENGINEERING FIRM #001145 - SURVEYING FIRM #10194792  
 1600 N. COLLINS BLVD. SUITE 100 RICHARDSON, TX 75080 972-941-8401  
 201 WINDCO CIRCLE SUITE 100 WYLIE, TX 75098 972-941-8400

**REVISIONS:**

DRAWN: RH	DATE:
CHECKED: CAL	DATE: 6/04/2024
PROJECT NO.: 06537	
DWG FILE NAME: 06537-C-TREE PLAN.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF CHARLES A. LAMPING, P.E. (88554) ON 6/04/2024. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING.

**TREE PLAN**  
**TERRACINA ESTATES PHASE 2**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET  
 01  
 OF  
 01



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**DATE:** July 9, 2024

**APPLICANT:** David Naylor; *Rayburn Electric Cooperative*

**CASE NUMBER:** Z2024-028; *Zoning Change (PD-44, HC, & C to PD-44) for the Rayburn Electric Cooperative Corporate Campus*

### SUMMARY

Hold a public hearing to discuss and consider a request by David Naylor of Rayburn Electric Cooperative for the approval of a Zoning Change from Planned Development District 44 (PD-44), Commercial (C) District, and Heavy Commercial (HC) District to Planned Development District 44 (PD-44) for Commercial (C) District and Heavy Commercial (HC) District land uses for a 95.00-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26; Lots 6, 7, 8, & 9, Block A, Rayburn Country Addition; Lot 1, Block 1, Helwig Addition; and Lot 1, Block A, Estep Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, Heavy Commercial (HC) District, and Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located in between Mims Road, Sids Road, and S. Goliad Street [*SH-205*], and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on May 19, 1986 through the adoption of *Ordinance No. 86-37 (Case No. A1986-005)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The changes after annexation to the subject property are as follows (see *Figure 1*):

TRACT A. LOTS 6, 7, 8 & 9, BLOCK A, RAYBURN COUNTRY ADDITION AND TRACT 3 OF THE W. H. BARNES SURVEY, ABSTRACT NO. 26

At the time of annexation, *Tract A* had a *Construction Company (i.e. Halderman and True Construction Co.)* situated on it. This included one (1) of the existing buildings that currently makes up a portion of the Rayburn Electric Cooperative's corporate campus (*i.e. 950 Sids Road*). On May 4, 1987, the City Council approved *Ordinance No. 87-19 (Case No. PZ1987-006-01)*, which rezoned a 76.685-acre portion of the subject property (*i.e. portions of Lots 6, 7, 8 & 9, Block A, Rayburn Country Addition and all of Tract 3 of the W. H. Barnes Survey*) from Agricultural (AG) District to Heavy Commercial (HC) District [*i.e. 44.706-acres*] and Commercial (C) District [*i.e. 31.979-acres*] (see *Figure 2*). On June 3, 2013, the City Council approved a preliminary plat (*Case No. P2013-014*) proposing to create Lots 1-3, Rayburn Country Addition. The Planning and Zoning Commission approved a site plan (*Case No. SP2014-004*) for a 118,022 SF office/warehouse building on March 11, 2014. Following this approval, on August 11, 2014, the City Council approved a final plat (*Case No. P2014-013*) -- *in conformance with the approved preliminary plat* -- for a portion of the Area designating it as Lots 1-3, Block A, Rayburn Country Addition. On December 4, 2017 the City Council approved a replat (*Case No. P2017-063*) for this area reestablishing Lots 1-3, Block A, Rayburn Country Addition as Lots 4-7, Block A, Rayburn Country Addition. On June 4, 2018, the City Council approved a



FIGURE 1. TRACT A: GREEN; TRACT B: BLUE; TRACT C: PURPLE

subsequent replat (Case No. P2018-010) of this area establishing Lots 8 & 9, Block A, Rayburn Country Addition. This portion of the Area was re-designated as Lot 1-3, Block A, REC Campus Addition after the City Council approved a preliminary plat (Case No. P2022-041) on September 19, 2022 and a final plat (Case No. P2023-018) on July 17, 2023. On November 15, 2022, the Planning and Zoning Commission approved a site plan [Case No. SP2022-058] to allow the construction of three (3) buildings, which were added to the Rayburn Electric Cooperative's corporate campus. The building elevations approved with this site plan were amended on July 25, 2023 (Case No. SP2023-023) and November 28, 2023 (Case No. SP2023-045). According to the Rockwall Central Appraisal District (RCAD) currently situated in Area A is the follow: [1] a 15,037 SF office building that was constructed in 2014, [2] a 9,280 SF office building that was constructed in 2018, [3] a 3,563 SF office building that was constructed in 2018, [4] a 26,909 SF storage/warehouse building that was constructed in 2018, [5] a 3,600 SF office building that was constructed in 1986, and [6] a 4,000 SF storage/warehouse building that was constructed in 1986.

### TRACT B. LOT 1, BLOCK 1, HELWIG ADDITION

At the time of annexation, *Tract B* was occupied by a *House of Worship* (i.e. *Pentecostal Church of Rockwall*) and an industrial land use. On December 19, 1988, a portion of *Tract B* was rezoned from an Agricultural (AG) District to a Commercial (C) District and Heavy Commercial (C) District by *Ordinance No. 88-64* (Case No. PZ1988-053-01). Around the time this property was zoned, a *Commercial Trucking Operation* was established on the subject property. On July 20, 1992, the City Council approved a site plan and preliminary plat for the subject property (i.e. Case No.'s PZ1992-026-01 & PZ1992-026-02). The purpose of this approval was to allow the redevelopment of the site for an office building and maintenance shop for the existing *Commercial Trucking Operation*. Following

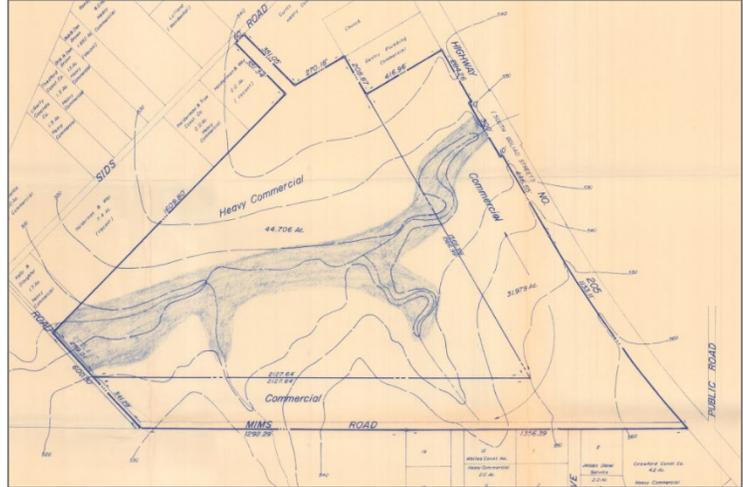


FIGURE 2. ZONING EXHIBIT FROM CASE NO. PZ1987-006-01

this approval, the City Council approved a final plat (Case No. PZ1993-002-01) on January 18, 1993. This established this portion of the subject property as Lot 1, Block 1, Helwig Addition. On November 3, 1997, the City Council approved *Ordinance No. 97-28* (Case No. PZ1997-071-01), which changed the zoning of a 7.51-acre portion of *Tract B* from Heavy Commercial (HC) District and Commercial (C) District to Planned Development District 44 (PD-44). This Planned Development District allowed Commercial (C) District land uses with the addition of the *Commercial Trucking Operation* land use. In conjunction with this case, the City Council approved a replat (Case No. PZ1997-071-02) on January 20, 1998; however, the subject property remained designated as Lot 1, Block 1, Helwig Addition. This subdivision plat defined the current boundaries of *Tract B*. On February 2, 1998, the City Council adopted *Ordinance No. 98-05* (Case No. PZ1997-093-01), which amended Planned Development District 44 (PD-44) to incorporate approximately two (2) acres (which was occupied with the aforementioned *House of Worship*) into the Planned Development District. On February 2, 2009, the City Council again amended Planned Development District 44 (PD-44) through *Ordinance No. 09-03* (Case No. Z2008-029). The purpose of this amendment was to add a 1.57-acre tract of land to the Planned Development District. According to the Rockwall Central Appraisal District (RCAD) the original commercial building on the subject property was construction in 1985 and consists of 1,680 SF of building area. The remaining structures on the subject property were constructed in 1993 and consist of: [1] a 5,000 SF office building, [2] an 11,520 SF service repair garage, [3] a 5,244 SF storage warehouse, and [4] a 1,300 SF maintenance/storage building.

### TRACT C. LOT 1, BLOCK A, ESTEP ADDITION

At the time of annexation, *Tract C* was occupied by a *Contractor's Shop* (i.e. *Gentry Plumbing*). A portion of *Tract C* was rezoned from an Agricultural (AG) District to a Commercial (C) District through the adoption of *Ordinance No. 87-19* (Case No. PZ1987-006-01) on May 4, 1987. The remainder of the tract was rezoned from an Agricultural (AG) District to a Commercial (C) District on January 18, 1988 by *Ordinance No. 88-02* (Case No. PZ1987-69-01). A site plan, building elevations and landscape plan (i.e. Case No.'s PZ2003-05-02, PZ2003-05-03, & PZ2003-05-04) were approved by the Planning and Zoning Commission on February 25, 2003. This approval was for Fuji Ceramics Dental Lab. Following this approval, *Tract C* was platted as Lot 1, Block A, Estep Addition by Case No. PZ2003-05-01 on March 3, 2003. According to the Rockwall Central Appraisal District (RCAD) currently situated on the subject property are the following structures: [1] a 7,832 SF office building constructed in 2000, [2] a 1,936 SF office building constructed in 2003, [3] a 1,170 SF office building constructed in 2003, [4] a 4,900 SF office

building constructed in 2003, [5] a 2,760 SF office building constructed in 2003, and [6] a 1,120 SF storage garage constructed in 2003.

## **PURPOSE**

On June 14, 2024, the applicant -- *David Naylor of Rayburn Electric Cooperative* -- submitted a development application requesting to change the zoning of the subject property from Planned Development District 44 (PD-44), Heavy Commercial (HC) District, and Commercial (C) District to Planned Development District 44 (PD-44) for Commercial (C) District and Heavy Commercial (HC) District land uses. The applicant has stated that the purpose of the zoning change is create a Planned Development District that allows the land uses necessary to create a corporate campus for the Rayburn Electric Cooperative.

## **ADJACENT LAND USES AND ACCESS**

The subject property is generally bounded by SH-205 (*S. Goliad Street*) to the east, Sids Road to the north, and Mims Road to the south and west. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property is Sids Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this roadway are the following land uses: [1] a five (5) acre tract of vacant land (*i.e. Tract 8-1 of the J. D. McFarland Survey, Abstract No. 145*) that is zoned Agricultural (AG) District; [2] four (4) tracts of land (*i.e. Tracts 8 & 8-3 of the J. D. McFarland Survey, Abstract No. 145 and Lots 1 & 2, Block A, Brown & Brown Subdivision*), which are zoned Heavy Commercial (HC) District and occupied with industrial and storage land uses; [3] a 1.50-acre tract of land (*i.e. Tract 8-02 of the J. D. McFarland Survey, Abstract No. 145*), which is zoned Commercial (C) District and is occupied with an industrial land use and a telecommunications tower; [4] two (2) tracts of land (*i.e. Tracts 5 & 11 of the J. D. McFarland Survey, Abstract No. 145*), zoned Agricultural (AG) District, that are occupied with two (2) single-family homes; and, [5] a 9.01-acre vacant parcel of land (*i.e. Lot 1, Block 1, Rockwall Hospital Addition*) that is zoned Commercial (C) District.

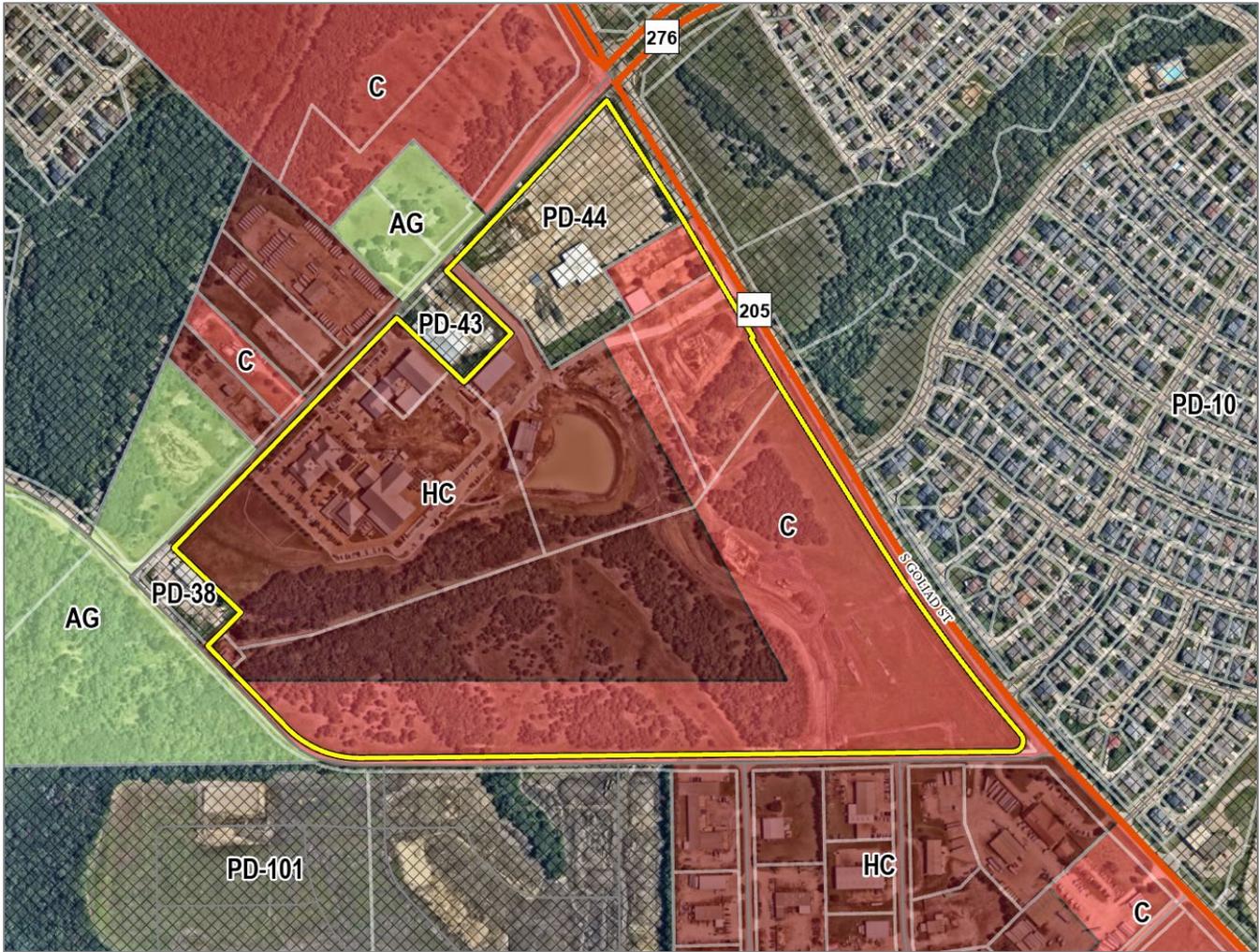
**South:** Directly south of the subject property is Mims Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is the Peachtree Subdivision, which is zoned Planned Development District 101 (PD-101) for Single-Family 10 (SF-10) District land uses. This subdivision will consist of 292 single-family residential lots, and is currently in the development process. Also, south of the subject property is 16 properties that are developed with various industrial and heavy commercial land uses and that are zoned Heavy Commercial (HC) District.

**East:** Directly east of the subject property is SH-205 (*S. Goliad Street*), which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are the following land uses: [1] Phase 1 of the Hickory Ridge Subdivision, which was established on February 22, 2001 and consists of 139 single-family residential lots on 41.67-acres; [2] Phase 3 of the Meadow Creek Estates Subdivision, which was established on February 27, 2001 and consists of 132 single-family residential lots on 43.56-acres; and, [3] a vacant 8.969-acre tract of land (*i.e. Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26*). All of these properties are zoned Planned Development District 10 (PD-10) for Single-Family 7 (SF-7) District, Single-Family 10 (SF-10) District, and Commercial (C) District land uses.

**West:** Directly west of the subject property is Mims Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this roadway is a 15.0530-acre tract of land, owned by the City of Rockwall, and zoned Agricultural (AG) District. This property will be the future site of a City water tower. Beyond this is Phase 1 of the Highland Meadow Subdivision, which was established on January 10, 1996 and consists of 101 single-family residential lots on 25.93-acres of land. This subdivision is zoned Single-Family 7 (SF-7) District.

*Continued on Next Page ...*

**FIGURE 3. LOCATION MAP**  
**YELLOW: SUBJECT PROPERTY**



**CHARACTERISTICS OF THE REQUEST**

Recently, the Rayburn Electric Cooperative purchased several Rayburn properties around their existing corporate campus. These include several vacant/raw tracts of land, some buildings that were used in conjunction with a dental lab (i.e. *Fuji Dental Lab*), and a trucking facility (i.e. *TransAM Trucking*). Based on this the applicant -- *David Naylor* -- has submitted a development application proposing to rezone this area from Planned Development District 44 (PD-44), Commercial (C) District, and Heavy Commercial (HC) District to Planned Development District 44 (PD-44) for limited Commercial (C) District and Heavy Commercial (HC) District land uses. According to Subsection 01.01, *Purpose*, of Article 11, *Planned Development Regulations*, of the Unified Development Code (UDC), "PD Districts are intended to implement the goals and objectives of the City's Comprehensive Plan ... PD Districts are also intended to encourage flexible and creative planning, to ensure the compatibility of land uses, and to allow for the



**FIGURE 4. PROPOSED SITE PLAN**  
**AREA 1: GREEN: AREA 2: BLUE: AREA 3: PURPLE**

adjustment of changing demands to meet the current needs of the community by meeting one or more of the following purposes: [1] To provide for superior design of lots or buildings; [2] To provide for increased recreation and/or open space opportunities for public use; {and} [3] To provide amenities or features that would be of special benefit to the property users or community; ...” The applicant has submitted a letter stating that it is Rayburn Electric Cooperative’s intent “...to adjust the zoning on the overall property to ensure consistency with our current use [Rayburn Electric Cooperative’s existing facilities] as well as utilize portions of the property to benefit the community (e.g. soccer fields and other recreational uses) and our employees.” In addition, the *Concept Plan* provided by the applicant shows that the subject property will be subdivided into three (3) tracts of land (i.e. Areas 1, 2, & 3) [see Figure 4], and -- according to the proposed *Planned Development District ordinance* -- these tracts of land will be used as follows:

AREA 1

Area 1 will contain the entirety of the existing Rayburn Electric Cooperative’s corporate campus, the existing trucking facility situated at the southwest corner of S. Goliad Street [SH-205] and Sids Road, and approximately half of the vacant tracts of land south of the existing corporate campus. This Area will be subject to the land uses permitted within the Heavy Commercial (HC) District, with the exception of the prohibited land uses contained in the *Planned Development District ordinance* [i.e. staff delineated a list of prohibited land uses that the applicant has agreed to incorporate into the ordinance]. In addition, the applicant is requesting to add a *Private Indoor Gun Range* as a permitted *by-right* land use in this Area, and has stated that this is being incorporated to provide an amenity to Rayburn Electric Cooperative’s employees and their guests. This section also includes the following accessory land uses (which are permitted as accessory land uses to a *Corporate Office Campus/Warehouse land use*): *Major Automotive Repair Garage, Service of Heavy Machinery and Equipment, Self-Service Car Wash, and Welding Repair*. This Area will be subject to the density and dimensional requirements stipulated for the Heavy Commercial (HC) District, which are summarized as follows:

TABLE 1: HEAVY COMMERCIAL (HC) DISTRICT STANDARDS

MINIMUM LOT AREA	12,500 SF
MINIMUM LOT WIDTH	100'
MINIMUM LOT DEPTH	125'
MINIMUM FRONT YARD SETBACK (1)	25'
MINIMUM SIDE YARD SETBACK (2)	15' + ½ Height > 36
MINIMUM REAR YARD SETBACK	10'
MINIMUM BETWEEN BUILDINGS (2)	20' + ½ Height > 36
MAXIMUM BUILDING HEIGHT (3)	60'
MAXIMUM LOT COVERAGE	60%
MINIMUM LANDSCAPING	15%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: NOT TO EXCEED 50-FEET.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

AREA 2

Area 2 will incorporate vacant tracts of land adjacent to S. Goliad Street [SH-205] and the parcel of land that was previously a dental lab. This Area will be subject to the land uses permitted within the Commercial (C) District with the exception of the prohibited land uses contained in the *Planned Development District ordinance* [i.e. staff delineated a list of prohibited land uses that the applicant has agreed to incorporate into the ordinance]. In addition, the applicant is requesting to allow the *Private Outdoor Recreation Facilities and Banquet/Event Hall* land uses *by-right* in this Area. The applicant has stated to staff that the purpose of incorporating these land uses is to allow for a *Banquet/Event Hall* that can provide space for company events and recreational amenities for Rayburn Electric Cooperative’s employees and their guests. This Area will be subject to the density and dimensional requirements stipulated for the Commercial (C) District, which are summarized as follows:

TABLE 2: COMMERCIAL (C) DISTRICT STANDARDS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1) &amp; (2)</sup>	15'
MINIMUM SIDE YARD SETBACK <sup>(3)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(3)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(3)</sup>	15'
MAXIMUM BUILDING HEIGHT <sup>(4)</sup>	60'
MAXIMUM LOT COVERAGE	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: PARKING SHOULD NOT BE LOCATED BETWEEN THE FRONT FAÇADE AND THE PROPERTY LINE.
- 3: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 4: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

AREA 3

Area 3 incorporates the vacant tracts of land around the intersection of Mims Road and S. Goliad Street [SH-205]. This Area will be subject to the land uses permitted within the Commercial (C) District with the exception of the prohibited land uses contained in the Planned Development District ordinance [i.e. staff delineated a list of prohibited land uses that the applicant has agreed to incorporate into the ordinance]. In addition, the applicant is requesting the following additional land uses be permitted by-right: Outdoor Commercial Amusement/Recreation, Banquet Facility/Event Hall, and Solar Collector Energy Panels (Ground Mounted). According to the applicant, the Outdoor Commercial Amusement/Recreation land use is being requested for the purpose of providing soccer fields and other recreational uses that may be open to the public in addition to employees and their guests. The applicant has also stated that this could be an alternative location for the proposed Banquet/Event Hall that is planned in Area 2, and intended to provide space for company events for Rayburn Electric Cooperative's employees and their guests. This Area will be subject to the density and dimensional requirements stipulated for the Commercial (C) District, which are summarized as follows:

TABLE 3: COMMERCIAL (C) DISTRICT STANDARDS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1) &amp; (2)</sup>	15'
MINIMUM SIDE YARD SETBACK <sup>(3)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(3)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(3)</sup>	15'
MAXIMUM BUILDING HEIGHT <sup>(4)</sup>	60'
MAXIMUM LOT COVERAGE	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: PARKING SHOULD NOT BE LOCATED BETWEEN THE FRONT FAÇADE AND THE PROPERTY LINE.
- 3: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 4: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for development:

- (1) Roadways. According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the applicant will be required to construct portions of Mims Road and Sids Road. Both of these roadways are identified as *Minor Collectors*, which require a minimum of 60-feet of right-of-way with a 41-foot *back-to-back* concrete street. Based on this, the applicant will be required to dedicate a minimum of 30-feet of right-of-way from the centerline of Mims Road and construct a minimum of a 24-foot concrete road section along the entire adjacency of the subject property. In addition, the applicant will be required to construct a minimum of a five (5) foot sidewalk along Mims Road.
- (2) Water. All public water lines shall be a minimum size of eight (8) inches, and be looped through the site. All water lines shall be centered in a 20-foot wide easement and be a minimum of ten (10) feet from all stormwater and sewer lines. Only one (1) use (e.g. *domestic, irrigation, fire sprinkler, fire hydrant, etc.*) shall be established off of a *dead-end* water line. Any water lines established underneath of an existing public roadway must be completed by dry bore. Open cutting a roadway shall not be allowed.
- (3) Wastewater. All public wastewater lines shall be a minimum size of eight (8) inches, and commercial private sanitary sewer service lines shall be a minimum size of six (6) inches and be connected to an existing or proposed manhole. All public wastewater lines shall be centered in a 20-foot wide easement, and be a minimum of ten (10) feet from all stormwater and water lines. Any wastewater lines established underneath of an existing public roadway must be completed by dry bore. Open cutting a roadway shall not be allowed. In addition, the applicant will be required to pay a pro-rata fee of \$401.89 per acre (including the floodplain).
- (4) Drainage. The applicant shall be required to perform a flood study to delineate the fully developed 100-year localized floodplain for all ponds, creeks or streams, and draws on the subject property. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for any existing ponds on the subject property.

**CONFORMANCE TO THE CITY’S CODES**

The applicant’s development standards are intended to maintain conformity with the existing corporate campus and -- as a result -- do not appear to increase the non-conformities that already exist on the site. With this being said, the proposed Planned Development District conforms to the City’s code requirements, and only makes deviations to the land uses permitted within each of the areas designated on the *Concept Plan*.

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Southwest Residential District and is designated for Commercial/Industrial and Commercial/Retail land uses on the Future Land Use Plan. The current/proposed land use (i.e. a corporate office/warehouse/indoor and outdoor recreational amenity for employees and the public) is in conformance with the Commercial/Industrial designation as outlined in the Southwest Residential District; however, the proposed zoning change will require an adjustment to the Commercial/Retail designation (located at the southwest corner of the intersection of S. Goliad Street [SH-205] and Sids Road), changing this to a Commercial/Industrial designation. This has been added as a condition of approval for this case.



FIGURE 5. FUTURE LAND USE MAP

According to the *District Strategies* for the Southwest Residential District, “(t)he areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a

result, these areas should be protected from the encroachment of incompatible land uses (*i.e. residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.” Since the proposed Planned Development District is associated with an existing corporate campus (*i.e. Rayburn Electric Cooperative*), the applicant’s request appears to meet the intent of the *District Strategies*. Based on all this information, the proposed changes do not change the subject property’s conformance with the Comprehensive Plan.

In addition, the proposed changes to the subject property help further the following goals and objectives contained in the OURHometown Vision 2040 Comprehensive Plan:

- (1) CH. 07 | Goal 02: Create distinctive destinations built around the City’s existing assets that invite people into the community and encourage social interaction ... [Policy 1] Explore opportunities to incorporate public open spaces into commercial and industrial developments.
- (2) CH. 07 | Goal 05: Allow only high-quality buildings that are constructed for the long-term value of the community, are easily adaptable to the changing market conditions, and that reflect a sense of permanence and public pride ... [Policy 1] All building should be architecturally significant, reflecting characteristics of the community.
- (3) CH. 08 | Goal 01: All non-residential developments should create distinctive destinations that further a sense of place and will attract people to the community ... [Policy 3] Developments should be encouraged to incorporate a mix of land uses. This is especially vital adjacent to the City’s major roadways (*i.e. IH-30, Ridge Road, Goliad Street and John King Boulevard*).
- (4) CH. 08 | Goal 03: All non-residential buildings should be designed so that negative visual impacts of the development are minimized ... [Policy 1] Large industrial developments should utilize a campus design style (*i.e. utilizing green spaces adjacent to roadways, incorporating pedestrian scale elements throughout the development, assimilating functional green spaces into the development, using traditional architecture characteristics, etc.*) to further the small-town, park-like feeling that is characteristic of the City of Rockwall.

In this case, the campus style design that the applicant is proposing allows more intense aspects of the business to be shielded from the adjacent roadways and softens the look of future buildings from S. Goliad Street [SH-205]. Based on this, the applicant’s proposal appears to be in substantial conformance to many of the policies and goals that relate to commercial/industrial developments; however, a request for a Planned Development District ordinance is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On June 18, 2024, staff mailed 128 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Hickory Ridge, Hickory Ridge East, Meadow Creek Estates, Flagstone Estates, and Lynden Park Homeowner’s Associations (HOAs), which is the only HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any returned notices concerning the applicant’s request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request to rezone the subject property from a Planned Development District 44 (PD-44), Commercial (C) District, and Heavy Commercial (HC) District to Planned Development District 44 (PD-44), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) By approving this Zoning Change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the Commercial/Retail area (*i.e. at the southwest corner of the intersection of S. Goliad Street [SH-205] and Sids Road*) to a Commercial/Industrial designation; and,

- (3) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 950 Sids Road, Rockwall 75032

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Mixed (Heavy Commercial, Commercial, PD)

CURRENT USE Electric Utility / Offices / Warehouse / Storage

PROPOSED ZONING Planned Development

PROPOSED USE Electric Utility, Offices, Warehouse, Storage, Recreation

ACREAGE 95

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rayburn Electric Cooperative

APPLICANT \_\_\_\_\_

CONTACT PERSON David Naylor

CONTACT PERSON \_\_\_\_\_

ADDRESS 950 Sids Road

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP \_\_\_\_\_

PHONE 469.402.2118

PHONE \_\_\_\_\_

E-MAIL dnaylor@rayburnelectric.com

E-MAIL \_\_\_\_\_

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David A. Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

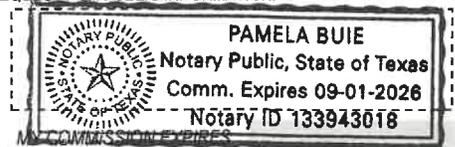
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,625.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10<sup>th</sup> DAY OF June 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

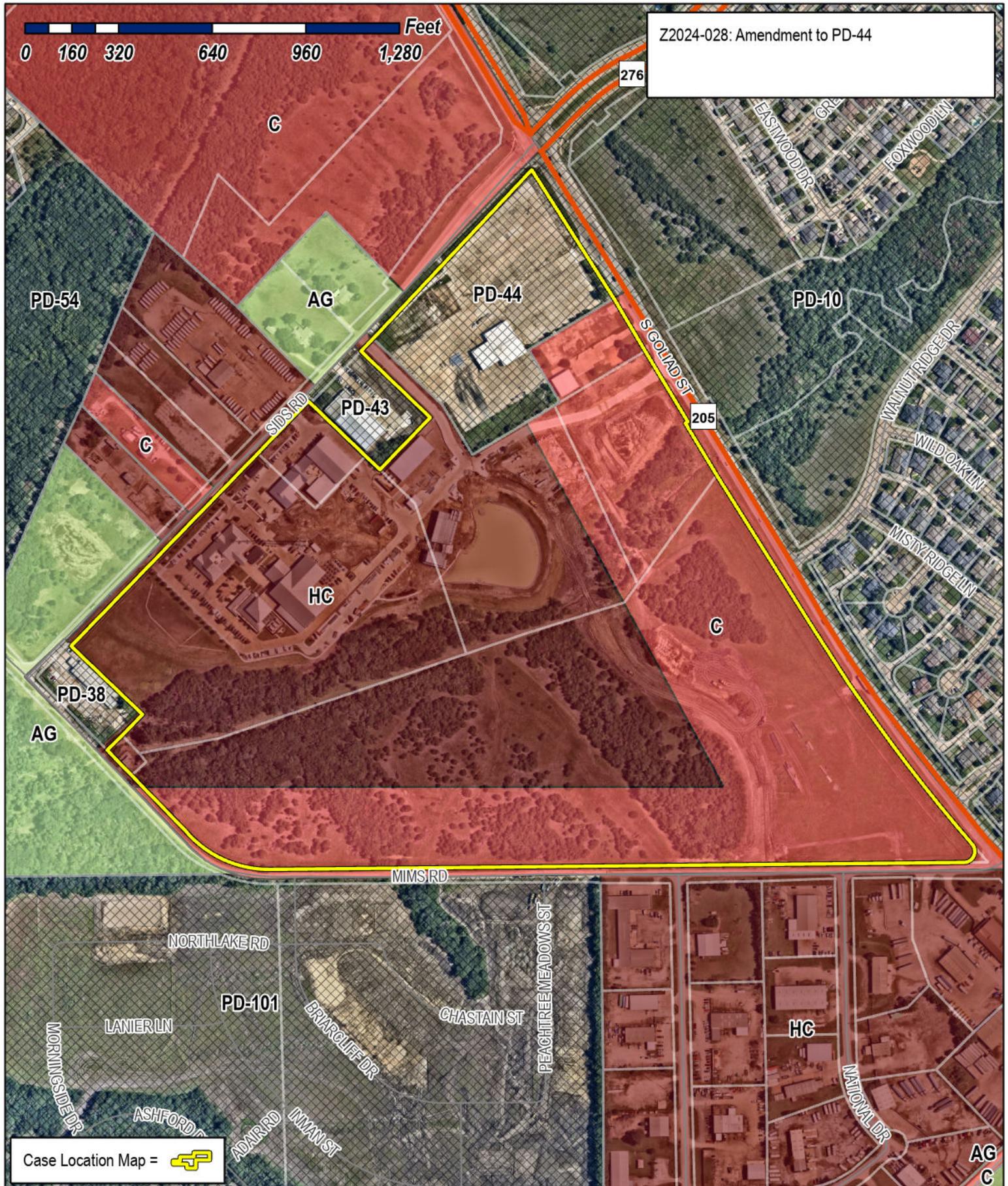
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF June, 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*  
*[Signature]*





Z2024-028: Amendment to PD-44

0 160 320 640 960 1,280 Feet

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

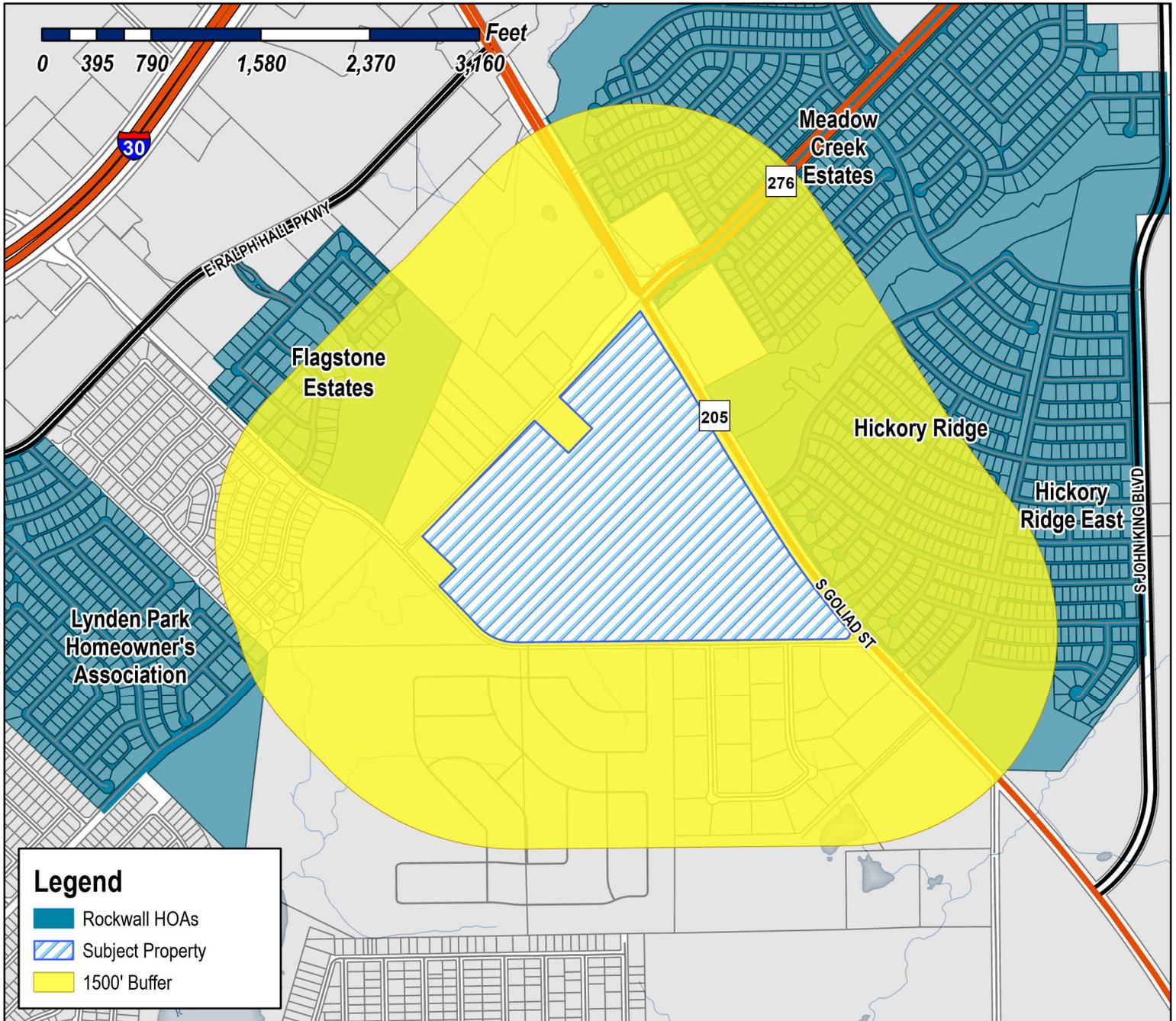




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-028  
**Case Name:** Amendment to PD-44  
**Case Type:** Zoning  
**Zoning:** Heavy Commercial (HC) District  
**Case Address:** 950 Sids Road

**Date Saved:** 6/14/2024  
 For Questions on this Case Call (972) 771-7745



## Miller, Ryan

---

**From:** Zavala, Melanie  
**Sent:** Friday, June 21, 2024 1:20 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Program [Z2024-028]  
**Attachments:** HOA Map (06.14.2024).pdf; Public Notice (P&Z) (06.17.2024).pdf

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday June 21, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, July 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 15, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2024-028: Z2024-028: Zoning Change from PD-44, HC, & C to PD-44**

Hold a public hearing to discuss and consider a request by David Naylor of Rayburn Electric Cooperative for the approval of a Zoning Change from Planned Development District 44 (PD-44), Commercial (C) District, and Heavy Commercial (HC) District to Planned Development District 44 (PD-44) for Commercial (C) District and Heavy Commercial (HC) District land uses for a 95.00-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26; Lots 6, 7, 8, & 9, Block A, Rayburn Country Addition; Lot 1, Block 1, Helwig Addition; and Lot 1, Block A, Estep Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, Heavy Commercial (HC) District, and Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located in between Mims Road, Sids Road, and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

***Melanie Zavala***

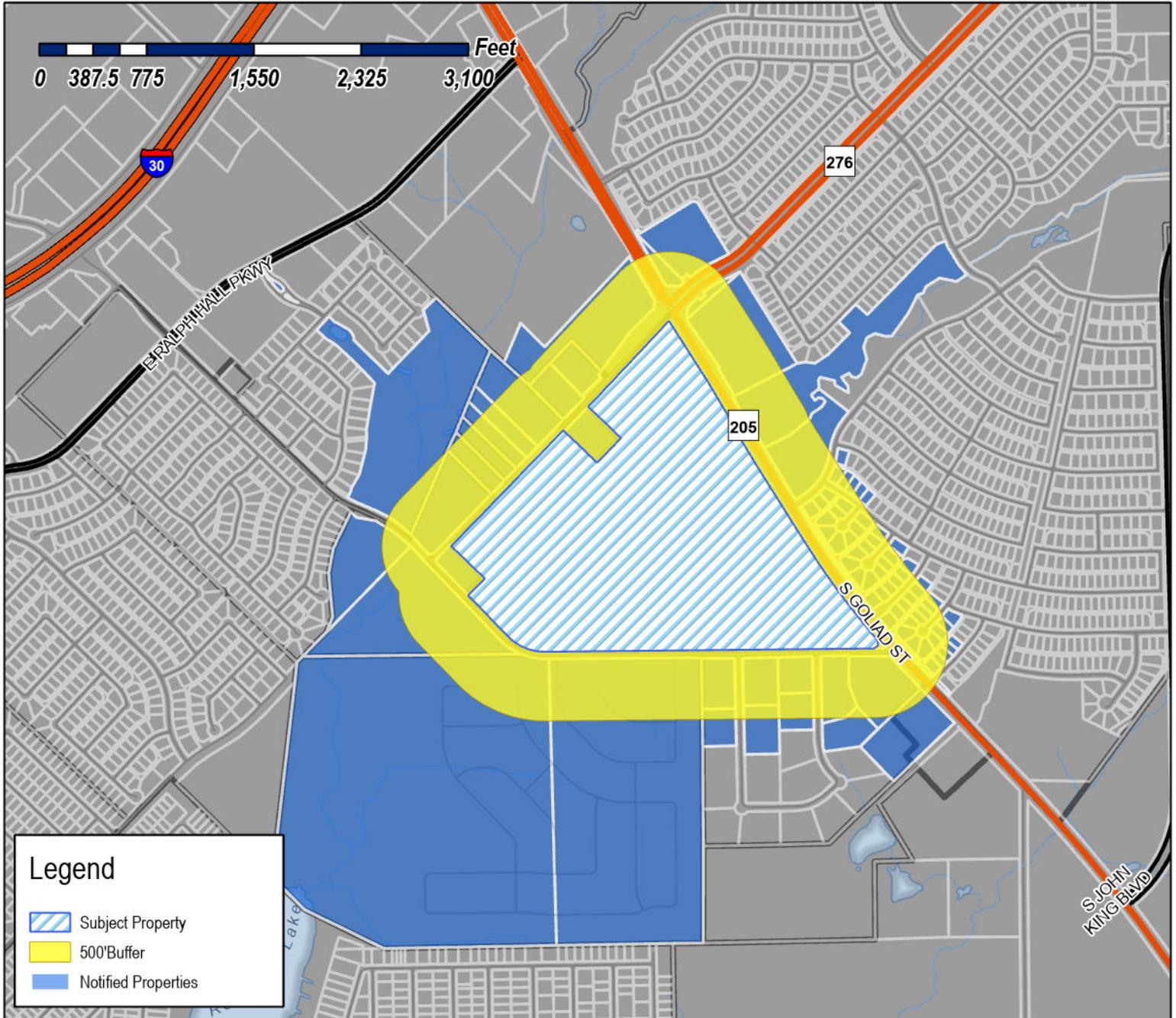
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-028  
**Case Name:** Amendment to PD-44  
**Case Type:** Zoning  
**Zoning:** Heavy Commercial (HC) District  
**Case Address:** 950 Sids Road



**Date Saved:** 6/14/2024

For Questions on this Case Call: (972) 771-7745

RESIDENT  
100 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
1005 SIDS RD  
ROCKWALL, TX 75032

RESIDENT  
101 NATIONAL DR  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
103 GROSS RD BLDG A  
MESQUITE, TX 75149

ROCKWALL ISD  
1050 WILLIAMS ST  
ROCKWALL, TX 75087

ROCKWALL ISD  
1050 WILLIAMS ST  
ROCKWALL, TX 75087

DEAN ANN W  
106 STANDING OAK DR  
GEORGETOWN, TX 78633

RESIDENT  
118 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
125 NATIONAL DR  
ROCKWALL, TX 75032

MOORE LEE OSCAR & SHERYL ANN  
1251 MARLIN AVENUE  
SEAL BEACH, CA 90740

ROCKWALL HICKORY RIDGE HOMEOWNERS  
ASSOC INC  
C/O SBB MANAGEMENT COMPANY  
12801 N CENTRAL EXPY STE 1401  
DALLAS, TX 75243

DING CHENG LIANG AND LUH LUH TING  
1406 ROSALIA AVE  
SAN JOSE, CA 95130

MCH SFR PROPERTY OWNER 4 LLC  
14355 COMMERCE WAY  
MIAMI LAKES, FL 33016

QUALICO DEVELOPMENTS (US), INC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

RESIDENT  
1441 FOXWOOD LN  
ROCKWALL, TX 75032

MCSWAIN BILLY  
148 NATIONAL DR  
ROCKWALL, TX 75032

REYES JULIO CESAR & URANIA S  
1491 FIELDSTONE DR  
ROCKWALL, TX 75032

RESIDENT  
1500 WESTFIELD LN  
ROCKWALL, TX 75032

ENGLESTAD HOPE ELIZABETH AND WILLIAM  
MCELROY  
1500 RICHFIELD CT  
ROCKWALL, TX 75032

PEWICK JAMES & SHANNA PEWICK  
1500 RIDGETOP CT  
ROCKWALL, TX 75032

LUSK DERRICK L  
1500 TIMBER RIDGE DR  
ROCKWALL, TX 75032

NICKERSON TELISA A  
1501 FIELDSTONE DR  
ROCKWALL, TX 75032

BYRD THEODORE ZACHARY  
1501 RICHFIELD CT  
ROCKWALL, TX 75032

CONFIDENTIAL  
1501 RIDGETOP COURT  
ROCKWALL, TX 75032

SAHLOU WALIYE BESHAH  
1501 TIMBER RIDGE DRIVE  
ROCKWALL, TX 75032

COURSEY JOE MICHAEL  
1501 WALNUT RIDGE DR  
ROCKWALL, TX 75032

JONES MYRON D  
1501 WESTFIELD LN  
ROCKWALL, TX 75032

WILK MICHELLE R AND VICTOR  
1506 RICHFIELD COURT  
ROCKWALL, TX 75032

TATOM DANNY & TRACI  
1506 RIDGETOP CT  
ROCKWALL, TX 75032

GARDNER AALIYAH DEJANE TRUST NUMBER  
TWO  
AMBER GARDNER & HER SUCCESSORS TRUSTEE  
1506 TIMBER RIDGE  
ROCKWALL, TX 75032

HOGAN CHAD & STEFANIE  
1506 WESTFIELD LN  
ROCKWALL, TX 75032

RESIDENT  
1507 FIELDSTONE DR  
ROCKWALL, TX 75032

RESIDENT  
1507 TIMBER RIDGE DR  
ROCKWALL, TX 75032

RESIDENT  
1507 WALNUT RIDGE DR  
ROCKWALL, TX 75032

HOYL ROBERT & DARLA  
1507 RICHFIELD CT  
ROCKWALL, TX 75032

ERVIN CHRISTOPHER SCOTT AND SEON  
BEATROUS  
1507 RIDGETOP CT  
ROCKWALL, TX 75032

MORITZ GREG AND BIANCA MARTINEZ  
1507 WESTFIELD LN  
ROCKWALL, TX 75032

RESIDENT  
1512 TIMBER RIDGE DR  
ROCKWALL, TX 75032

CONFIDENTIAL  
1512 RICHFIELD CT  
ROCKWALL, TX 75032

CONFIDENTIAL  
1512 RICHFIELD CT  
ROCKWALL, TX 75032

DHILLON RANJEET K AND GURMIT S  
1512 RIDGETOP COURT  
ROCKWALL, TX 75032

KROUCH MONY  
1512 WESTFIELD LN  
ROCKWALL, TX 75032

RESIDENT  
1513 TIMBER RIDGE DR  
ROCKWALL, TX 75032

MACFOY THEODORE P & EASTERLINE V  
1513 FIELDSTONE DR  
ROCKWALL, TX 75032

UNDERWOOD STEPHEN GREGORY AMANDA  
BETH RYAN  
1513 RICHFIELD COURT  
ROCKWALL, TX 75032

HROMATKA EDWARD J & MARIA L  
1513 RIDGETOP CT  
ROCKWALL, TX 75032

BOSCO MIGUEL ADOLFO RODRIGUEZ AND  
VERNOICA ANDREINA ZAMORA HIDALGO  
1513 WALNUT RIDGE DR  
ROCKWALL, TX 75032

PEREZ ELIZABETH  
1513 WESTFIELD LN  
ROCKWALL, TX 75032

ATTARDI JENNIFER LEIGH  
1516 TIMBER RIDGE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
1518 RIDGETOP CT  
ROCKWALL, TX 75032

JIMENEZ SANTIAGO & MARIA D  
1518 RICHFIELD CT  
ROCKWALL, TX 75032

KORDI KIOMARS AND ELICIA  
1518 TIMBER RIDGE DR  
ROCKWALL, TX 75032

GRAEF DAVID R & DIANE J  
1518 WESTFIELD LN  
ROCKWALL, TX 75032

RESIDENT  
1519 TIMBER RIDGE DR  
ROCKWALL, TX 75032

RESIDENT  
1519 WESTFIELD LN  
ROCKWALL, TX 75032

ACOSTA CORAZON  
1519 FIELDSTONE DR  
ROCKWALL, TX 75032

JACKSON SHANNON D AND  
VANCE R EKQUIST  
1519 RICHFIELD CT  
ROCKWALL, TX 75032

THOMAS BROOKE M  
1519 RIDGETOP CT  
ROCKWALL, TX 75032

RESIDENT  
1524 TIMBER RIDGE DR  
ROCKWALL, TX 75032

GAKWAYA BLAISE AND LOUISE  
1524 RICHFIELD COURT  
ROCKWALL, TX 75032

WINSTON CRAIG S AND LACETIA D  
1524 WESTFIELD LN  
ROCKWALL, TX 75032

RESIDENT  
1525 WESTFIELD LN  
ROCKWALL, TX 75032

PATRICK RICHARD & BRANDY  
1525 RICHFIELD CT  
ROCKWALL, TX 75032

DUNCAN JOSHUA LEE  
1525 TIMBER RIDGE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
1530 TIMBER RIDGE DR  
ROCKWALL, TX 75032

RESIDENT  
1530 WESTFIELD LN  
ROCKWALL, TX 75032

DO SON & NGA HUYNH  
1530 RICHFIELD CT  
ROCKWALL, TX 75032

RESIDENT  
1531 TIMBER RIDGE DR  
ROCKWALL, TX 75032

RESIDENT  
1531 WESTFIELD LN  
ROCKWALL, TX 75032

TRANSAM TRUCKING  
A MISSOURI CORP  
15910 S 169 HWY  
OLATHE, KS 66062

BURKS GLEN  
1612 AMESBURY LN  
ROCKWALL, TX 75087

LEMMOND BRENTON & KIMBERLY  
175 E INTERSTATE 30  
GARLAND, TX 75043

HICKORY RIDGE EAST HOMEOWNERS ASSOC  
1800 PRESTON PARK BLVD STE 101  
PLANO, TX 75093

HICKORY RIDGE EAST HOMEOWNERS ASSOC  
1800 PRESTON PARK BLVD STE 101  
PLANO, TX 75093

RESIDENT  
182 NATIONAL DR  
ROCKWALL, TX 75032

ABARCA CARLOS ALBERTO RIVERS AND TATIANA  
CHAMORRO GARCIA  
1892 PONTCHARTRAIN DR  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
205 W RUSK ST  
ROCKWALL, TX 75087

LM LEASING LLC  
2091 FM 1139  
ROCKWALL, TX 75032

RESIDENT  
227 NATIONAL DR  
ROCKWALL, TX 75032

HOWELL MTN RE LLC  
2560 TECHNOLOGY DRIVE SUITE 100  
PLANO, TX 75074

RESIDENT  
2655 S GOLIAD  
ROCKWALL, TX 75032

RESIDENT  
2670 S GOLIAD  
ROCKWALL, TX 75032

RESIDENT  
2686 S HWY205  
ROCKWALL, TX 75032

RESIDENT  
2800 MISTY RIDGE LN  
ROCKWALL, TX 75032

PATINO TRACY AND  
SUZANNE LANE  
2801 WILD OAK LANE  
ROCKWALL, TX 75032

GRANGER MATTHEW P AND LEAH K  
2806 MISTY RIDGE LN  
ROCKWALL, TX 75032

TOMAJ ENGIELL AND LAURA  
2812 MISTY RIDGE LANE  
ROCKWALL, TX 75032

HARKLESS ADAM AND  
CYNTHIA WOMACK  
2818 MISTY RIDGE LANE  
ROCKWALL, TX 75032

DABNEY TERESA AND  
WILBERT HANEY  
2824 MISTY RIDGE LN  
ROCKWALL, TX 75032

RESIDENT  
2890 S GOLIAD  
ROCKWALL, TX 75032

RACK HOLDINGS LLC- 125 NATIONAL SERIES  
3021 RIDGE ROAD SUITE A-131  
ROCKWALL, TX 75032

MAH JEFFERY  
305 BLANCO CIR  
SOUTHLAKE, TX 76092

EPES TRANSPORT SYSTEM LLC  
3400 EDGEFIELD CT  
GREENSBORO, NC 27408

HPLI LLC  
3820 AZURE LN  
ADDISON, TX 75001

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

ISSAC PARAMPOTTIL T & LEELAMMA  
4215 EDMONDSON AVENUE  
HIGHLAND PARK, TX 75205

MEBRATU GEZI  
46 WINDSOR DR  
ROCKWALL, TX 75032

GREENOAKS PROPERTIES INC  
512 SUNSTONE DR  
IRVING, TX 75060

USMAN ASIM & HUMA RASHID  
5140 BEAR CLAW LN  
ROCKWALL, TX 75032

WU CHUN Y  
518 ALLENTOWN RD  
PARSIPPANY, NJ 7054

SCOTTFREE INVESTMENTS LP  
519 E INTERSTATE 30 #511  
ROCKWALL, TX 75087

RESIDENT  
626 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
627 NATIONAL DR  
ROCKWALL, TX 75032

TWO RAIDER VENTURES LLC  
708 AGAPE CIRCLE  
ROCKWALL, TX 75087

TRI-TEX CONSTRUCTION INC  
797 N GROVE RD  
RICHARDSON, TX 75081

ROCKWALL I S D  
801 E WASHINGTON ST  
ROCKWALL, TX 75087

205 AND 276 PARTNERS  
8750 N CENTRAL EXPY SUITE 1735  
DALLAS, TX 75231

RESIDENT  
900 SIDS RD  
ROCKWALL, TX 75032

JS CUSTOM HOMES LLC  
9091 FM 2728  
TERRELL, TX 75161

RESIDENT  
950 SIDS RD  
ROCKWALL, TX 75032

RESIDENT  
955 SIDS RD  
ROCKWALL, TX 75032

RESIDENT  
960 SIDS RD  
ROCKWALL, TX 75032

RESIDENT  
965 SIDS RD  
ROCKWALL, TX 75032

RESIDENT  
980 SIDS RD  
ROCKWALL, TX 75032

RESIDENT  
981 SIDS RD  
ROCKWALL, TX 75032

SRYGLEY JAMES G  
992 SIDS RD  
ROCKWALL, TX 75032

RESIDENT  
995 SIDS RD  
ROCKWALL, TX 75032

RS RENTAL I LLC  
ATTN AVENUE ONE, 11TH FL, 31 HUDSON  
YARDS  
NEW YORK, NY 10001

AMERICAN RESIDENTIAL LEASING COMPANY LLC  
ATTN: PROPERTY TAX DEPARTMENT 23975  
PARK SORRENTO, SUITE 300  
CALABASAS, CA 91302

SLAUGHTER RICHARD E JR  
PO BOX 1717  
ROCKWALL, TX 75087

ESTEP KIP  
PO BOX 2  
ROCKWALL, TX 75087

RODD HANNA'S AIR PERFORMANCE  
HEATING & A/C INC  
PO BOX 208  
ROCKWALL, TX 75087

RAYBURN COUNTRY ELECTRIC CORP INC  
PO BOX 37  
ROCKWALL, TX 75087

RAYBURN COUNTRY ELECTRIC CORP INC  
PO BOX 37  
ROCKWALL, TX 75087

RAYBURN COUNTRY ELECTRIC CORP INC  
PO BOX 37  
ROCKWALL, TX 75087

RAYBURN COUNTRY ELECTRIC COOPERATIVE  
INC  
PO BOX 37  
ROCKWALL, TX 75087

RAYBURN COUNTRY ELECTRIC COOPERATIVE  
INC  
PO BOX 37  
ROCKWALL, TX 75087

D & A REAL ESTATE PARTNERS LTD  
PO BOX 850  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2024-028: Zoning Change from PD-44, HC, & C to PD-44**

Hold a public hearing to discuss and consider a request by David Naylor of Rayburn Electric Cooperative for the approval of a Zoning Change from Planned Development District 44 (PD-44), Commercial (C) District, and Heavy Commercial (HC) District to Planned Development District 44 (PD-44) for Commercial (C) District and Heavy Commercial (HC) District land uses for a 95.00-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26; Lots 6, 7, 8, & 9, Block A, Rayburn Country Addition; Lot 1, Block 1, Helwig Addition; and Lot 1, Block A, Estep Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, Heavy Commercial (HC) District, and Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located in between Mims Road, Sids Road, and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2024-028: Zoning Change from PD-44, HC, & C to PD-44**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Rayburn Electric Cooperative Inc.  
P.O. Box 37 | Rockwall, TX 75087  
950 Sids Rd. | Rockwall, TX 75032  
Phone 469-402-2100  
<http://www.rayburnelectric.com>

June 10, 2024

Ryan C. Miller, AICP  
Director of Planning & Zoning, Planning & Zoning Division, City of Rockwall  
972.722.6441 Office  
[RMiller@rockwall.com](mailto:RMiller@rockwall.com)  
385 S. Goliad Street  
Rockwall, TX 75087

Cc: Mary Smith, City Manager; [Msmith@rockwall.com](mailto:Msmith@rockwall.com)

Rayburn Electric Cooperative (Rayburn) submits the attached zoning application request and proposed planned development ordinance for our property bounded by Sids Road, Mims Road, and State Highway 205. As you are aware, Rayburn has recently acquired additional tracts (e.g., TransAm Trucking and Fuji Dental Lab) adjacent to our current headquarters. These additions have provided Rayburn with the ability to consider the overall use of our property. As a result, we would like to adjust the zoning on the overall property to ensure consistency with our current use as well as utilize portions of the property to benefit the community (e.g., soccer fields and other recreational use) and our employees. Rayburn was chosen by the Dallas Morning News as the #5 Top Small Business Workplace in the DFW Metroplex (#1 in Employee Benefits), and we view the requested changes as the next step in our continued effort to enhance our cooperative and Rockwall community. I welcome the City staff and Council members to tour our campus as an indication of what we are constructing here.

The attached ordinance reflects this request. Rayburn looks forward to working with the City of Rockwall and improving our overall community.

Thank you,

A handwritten signature in blue ink, appearing to read 'David A. Naylor', is written over a circular stamp or seal.

David A. Naylor

Enclosed: Zoning Application Request

# City of Rockwall

205 TEXAS

276 TEXAS

SH276

SGOLIAD ST

SIDS RD

MIMS RD

RISD South Bus Barn

(TransAm Trucking)

(Fuji Dental)

S & A Systems

Meadowcreek Park

Rayburn Electric Cooperative

90.37 AC  
( 3,936,502.92 SF )

POB

Pristine Cast Stone

Peachtree Meadows Subdivision



City of Rockwall



0 500 Feet

Date: 6/10/2024

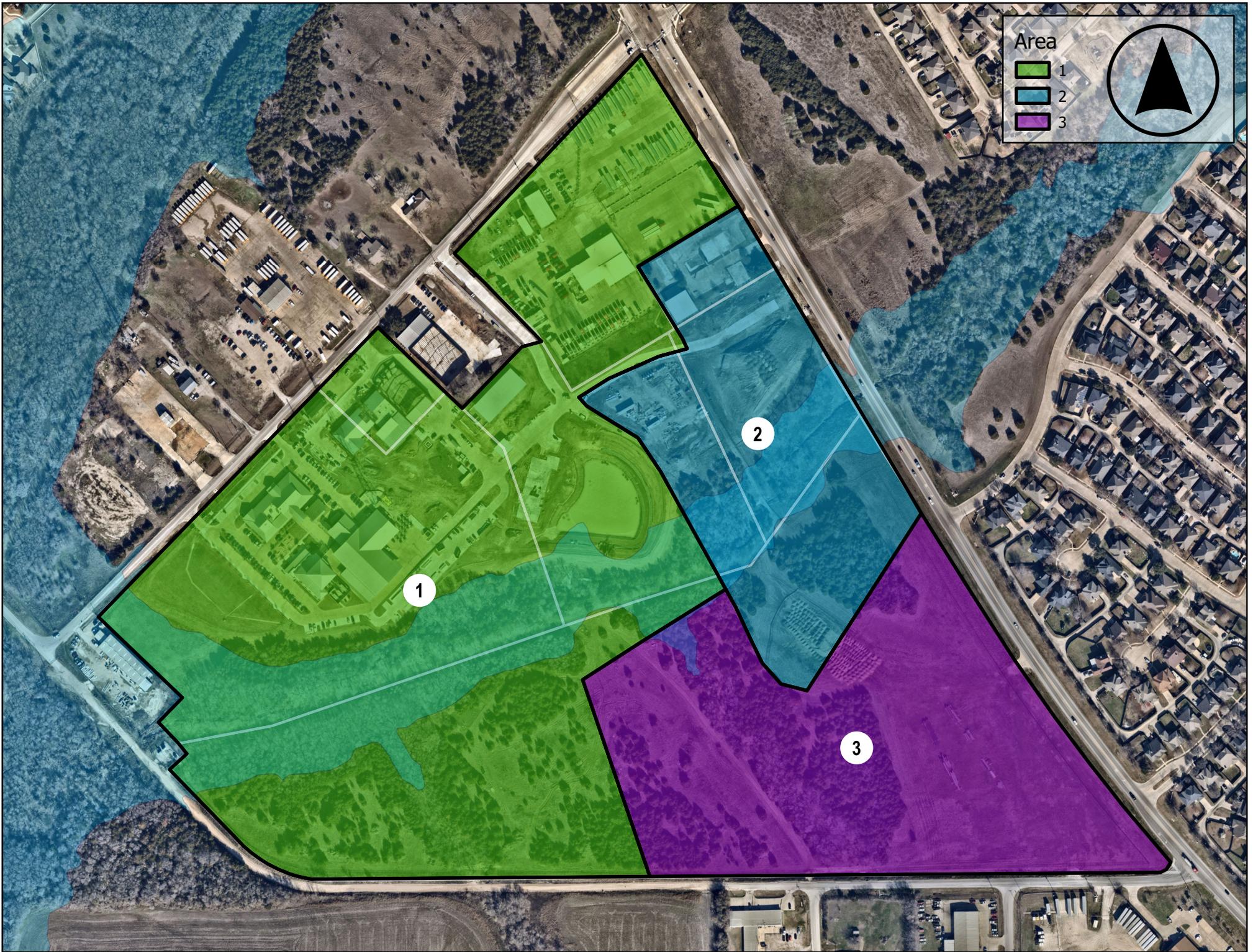
**RAYBURN ELECTRIC COOPERATIVE**

## Rayburn Electric Cooperative

**BEING** 90.37 acres of land situated in Abstract 26, William N. Barnes Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

**BEGINNING** at the Westernmost corner of the Rayburn Country Addition, Block A, Lot 9 (2019), *NAD83 Texas State Plane GPS Coordinate (Grid): E 2598018.94, N 7014699.27 Feet*;

- 1 **THENCE** North 45°-09'-40" East, along the Southern Right of Way of Sids Road, a distance of 1166.39 feet to a corner;
- 2 **THENCE** South 45°-09'-07" East, following the boundary of the Pott Shrigley Addition (RCAD Account # 47004), a distance of 338.73 feet to a corner;
- 3 **THENCE** North 45°-09'-13" East, continuing along said boundary, a distance of 247.63 feet to a corner;
- 4 **THENCE** North 45°-02'-39" West, a distance of 338.69 feet to a corner;
- 5 **THENCE** North 45°-09'-41" East, a distance of 59.41 feet to a corner;
- 6 **THENCE** South 46°-05'-37" East, a distance of 10.654 feet for a corner;
- 7 **THENCE** North 44°-07'-04" East, following the boundary of the Helwig Addition (RCAD Account # 44046), a distance of 794.409 feet to a corner;
- 8 **THENCE** South 29°-54'-19" East, continuing along said boundary a distance of 734.37 feet to a corner;
- 9 **THENCE** South 30°-01'-35" East, along the West Right of Way of South Goliad St. (State Highway 205), a distance of 284.635 feet to a point;
- 10 **THENCE** South 30°-01'-35" East, continuing along said Right of Way, a distance of 297.94 feet to a point;
- 11 **THENCE** South 30°-01'-35" East, a distance of 449.71 feet to the beginning of a curve;
- 12 **THENCE** along said curve to the left having an angle of 09°-34'-15" and a radius of 5789.71 feet with a chord distance of 966.01 feet and a chord bearing of South 34°-48'-42" East, to the beginning of a curve;
- 13 **THENCE** along said curve to the right having an angle of 129°-16'-39" and a radius of 40.00 feet with a chord distance of 72.29 feet and a chord bearing of South 25°-02'-31" West, to a point;
- 14 **THENCE** South 89°-40'-52" West, along the North Right of Way of Mims Rd, a distance of 366.51 feet to a point;
- 15 **THENCE** South 89°-40'-52" West, continuing along said Right of Way, a distance of 849.66 feet to a point;
- 16 **THENCE** North 88°-36'-16" West, a distance of 1129.63 feet to the beginning of a curve;
- 17 **THENCE** along said curve to the right having an angle of 46°-17'-43" and a radius of 417.50 feet with a chord distance of 328.24 feet and a chord bearing of North 65°-27'-24" West, to a point;
- 18 **THENCE** North 42°-18'-34" West, a distance of 364.963 feet to a corner;
- 19 **THENCE** North 43°-30'-55" East, following the boundary of Abstract 26, Tract 3-7, a 1.5-acre tract (RCAD Account # 26918), a distance of 70.203 feet to a point;
- 20 **THENCE** North 45°-33'-50" East, continuing along said boundary, a distance of 99.73 feet to a corner;
- 21 **THENCE** North 45°-07'-43" West, a distance of 338.235 feet, to the POINT OF BEGINNING AND CONTAINING 90.37 acres of land (3,936,502.92 square feet) more or less.



**ORDINANCE NO. 97-28**

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND WHICH IS MORE FULLY DESCRIBED HEREIN FROM "C" COMMERCIAL AND "HC" HEAVY COMMERCIAL CLASSIFICATION TO PLANNED DEVELOPMENT ZONING "PD- 44 PLANNED DEVELOPMENT NUMBER 44; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a change in the classification of a zoning district has been requested by James Helwig for the property more specifically described in Exhibit "A" attached hereto; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to give "Planned Development District No.44 classification to the tract of land described in Exhibit "A".

SECTION 2. That the property described in Exhibit "A" shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future. The granting of this zoning classification for the property as described in Exhibit "A" is subject to the following special conditions:

A. The use of the property shall be regulated by the following requirements:

1. The uses, area requirements and development standards of the Commercial zoning category of the Comprehensive Zoning ordinance as currently adopted,

or as revised in the future, except as otherwise provided for in this ordinance and the following additional permitted uses:

- a. Commercial Trucking Operation
- b. Outdoor Storage of Vehicles used in association with the trucking operation

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 3rd day of November, 1997.

APPROVED:

  
\_\_\_\_\_  
Mayor

ATTEST:

BY Cindy Kunder

1st reading 10/29/97

2nd reading 11/03/97



# EXHIBIT "A"

## PROPERTY DESCRIPTION

BEING a lot, tract or parcel of land situated in the City of Rockwall, Rockwall County, Texas, and being 7.51 acres out the William H. Barnes Survey, Abstract No. 26, said 7.51 acre tract being all of the Helwig Addition Lot 1, Block A recorded in Cabinet C, Slide 176, all of a 1.24 acre tract recorded in Volume 893, Page 244, and also containing part of the Pentecostal Church a 2.0 acre tract recorded in Volume 137, Page 201, part of the Gentry Plumbing a 1.0 acre tract recorded in Volume 1098, Page 164, and part of the Estep a 1.0 acre tract recorded in Volume 1098, Page 164, and being more particularly described by lines and bounds as follows:

BEGINNING at a 1/2 Inch Iron rod found for corner at the intersection of the Southwest line of State Highway No. 205 ( 100 foot right of way ) with the Southeast line of Sid's Road ( 40 Foot right of way), said corner being the Northeast corner of the 7.51 acre tract of land and a U.S.C. & G.S. monument bears North 60 degrees 05 minutes 41 seconds East a distance of 35.0 feet and North 29 degrees 54 minutes 19 seconds East a distance of 1562.59 feet from said corner;

THENCE South 29 degrees 54 minutes 19 seconds East along the Southwest right of way line of said State Highway No. 205 a distance of 330.08 feet to a 1/2 Inch Iron rod found for corner said corner being the North corner of said Pentecostal Church tract;

THENCE South 60 degrees 05 minutes 41 seconds West along the North line of said Pentecostal Church tract a distance of 337.42 feet to a 1/2 Inch Iron rod found for corner;

THENCE South 29 minutes 54 seconds 19 minutes East along the West lines of said Pentecostal Church tract, said Gentry Plumbing tract, and said Estep tract, and the East line of said 1.24 acre tract, a distance of 417.42 feet to a 1/2 Inch Iron rod found for corner;

THENCE South 60 degrees 08 minutes 51 seconds West along the South line of said 1.24 acre tract a distance of 351.14 feet to a 1/2 Inch Iron rod found for corner;

THENCE North 30 degrees 00 minutes 00 seconds West along the West line of said 1.24 acre tract a distance of 199.67 feet to a 1/2 Inch Iron rod found for corner.

THENCE North 45 degrees 04 minutes 21 seconds West a distance of 350.77 feet to a 1/2 Inch Iron rod found for corner in the Southeast line of said Sid's Road;

THENCE North 45 degrees 06 minutes 36 seconds East along the Southwest line of said Sid's Road a distance of 808.15 feet to the POINT OF BEGINNING and containing 327,159.57 square feet or 7.51 acres of land.

**ORDINANCE NO. 98-05**

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND WHICH IS MORE FULLY DESCRIBED HEREIN FROM "C" COMMERCIAL AND "HC" HEAVY COMMERCIAL CLASSIFICATION TO PLANNED DEVELOPMENT ZONING "PD- 44 PLANNED DEVELOPMENT NUMBER 44; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a change in the classification of a zoning district has been requested by James Helwig for the property more specifically described in Exhibit "A" attached hereto; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to give "Planned Development District No.44 classification to the tract of land described in Exhibit "A".

SECTION 2. That the property described in Exhibit "A" shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future. The granting of this zoning classification for the property as described in Exhibit "A" is subject to the following special conditions:

A. The use of the property shall be regulated by the following requirements:

1. The uses, area requirements and development standards of the Commercial zoning category of the Comprehensive Zoning ordinance as currently adopted,

or as revised in the future, except as otherwise provided for in this ordinance and the following additional permitted uses:

- a. Commercial Trucking Operation
- b. Outdoor Storage of Vehicles used in association with the trucking operation

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 2nd day of February, 1998.

APPROVED:

  
\_\_\_\_\_  
Mayor

ATTEST:

BY Cindy Kindred

1st reading 1/20/98

2nd reading 2/2/98



# EXHIBIT 'A'

## PROPERTY DESCRIPTION

BEING a lot, tract or parcel of land situated in the City of Rockwall, Rockwall County, Texas, and being 7.51 acres out the William H. Barnes Survey, Abstract No. 26, said 7.51 acre tract being all of the Helwig Addition Lot 1, Block A recorded in Cabinet C, Slide 176, all of a 1.24 acre tract recorded in Volume 893, Page 244, and also containing part of the Pentecostal Church a 2.0 acre tract recorded in Volume 137, Page 201, part of the Gentry Plumbing a 10 acre tract recorded in Volume 1098, Page 164, and part of the Estap a 10 acre tract recorded in Volume 1098, Page 164, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for corner at the intersection of the Southwest line of State Highway No. 205 ( 100 foot right of way ) with the Southeast line of Sid's Road ( 40 foot right of way), said corner being the Northeast corner of the 7.51 acre tract of land and a U.S.C. & G.S. monument bears North 60 degrees 05 minutes 41 seconds East a distance of 350 feet and North 29 degrees 54 minutes 19 seconds East a distance of 1562.59 feet from said corner;

THENCE South 29 degrees 54 minutes 19 seconds East along the Southwest right of way line of said State Highway No. 205 a distance of 330.08 feet to a 1/2 inch iron rod found for corner said corner being the North corner of said Pentecostal Church tract;

THENCE South 60 degrees 05 minutes 41 seconds West along the North line of said Pentecostal Church tract a distance of 337.42 feet to a 1/2 inch iron rod found for corner;

THENCE South 29 minutes 54 seconds 19 minutes East along the West lines of said Pentecostal Church tract, said Gentry Plumbing tract, and said Estep tract, and the East line of said 1.24 acre tract, a distance of 417.42 feet to a 1/2 inch iron rod found for corner;

THENCE South 60 degrees 08 minutes 51 seconds West along the South line of said 1.24 acre tract a distance of 351.14 feet to a 1/2 inch iron rod found for corner;

THENCE North 30 degrees 00 minutes 00 seconds West along the West line of said 1.24 acre tract a distance of 199.67 feet to a 1/2 inch iron rod found for corner.

THENCE North 45 degrees 04 minutes 21 seconds West a distance of 350.77 feet to a 1/2 inch iron rod found for corner in the Southeast line of said Sid's Road;

THENCE North 45 degrees 06 minutes 36 seconds East along the Southwest line of said Sid's Road a distance of 808.15 feet to the POINT OF BEGINNING and containing 327,159.57 square feet or 7.51 acres of land.

CITY OF ROCKWALL

ORDINANCE NO. 09 - 03

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL AS PREVIOUSLY AMENDED SO AS TO APPROVE A CHANGE IN ZONING FROM (C) COMMERCIAL DISTRICT TO (PD-44) PLANNED DEVELOPMENT NO. 44 DISTRICT, ON A 1.57-ACRE TRACT KNOWN AS PART OF LOT 1, BLOCK A, JAMES HELWIG ADDITION AND MORE SPECIFICALLY SHOWN IN EXHIBIT "A" ATTACHED HEREIN; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a zoning change from (C) Commercial district to (PD-44) Planned Development No. 44 district has been requested by John Bledsoe of Trans Am Trucking Inc., for a 1.57-acre tract known as part of Lot 1, Block A, James Helwig Addition, City and County of Rockwall, Texas, and more specifically shown in Exhibit "A" attached herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code (Ord. No. 04-38) of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning from (C) Commercial district to (PD-44) Planned Development No. 44 district on a 1.57-acre tract known as part of Lot 1, Block A, James Helwig Addition, City and County of Rockwall, Texas, and more specifically shown in Exhibit "A" attached herein; and

**Section 2.** That the property described herein shall be used only in the manner and for the purposes provided for in **Article V, Section 4.5, Commercial District** of the City of Rockwall Unified Development Code (Ord. No. 04-38) as heretofore amended and as may be amended in the future, and shall be subject to the following additional conditions:

1. As approved via Ordinance No. 97-28, the additional permitted uses shall be allowed:
  - a. Commercial Trucking Operation
    1. No Outdoor Storage/Parking of Vehicles shall be allowed on the 1.57-acre property as shown on Exhibit "B".

2. The subject site shall be limited to "Truck Driver Training" for the adjacent Trucking Operation located on the remaining portion of Lot 1, Block A, James Helwig Addition.

2. Adherence to the approved site plan (Exhibit "B").

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

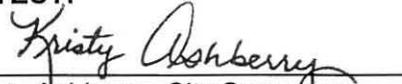
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 20<sup>th</sup> day of ~~January~~, 2009.**

2<sup>nd</sup> February  
KWA

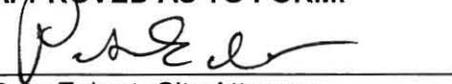


William R. Cecil, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Ashberry, City Secretary

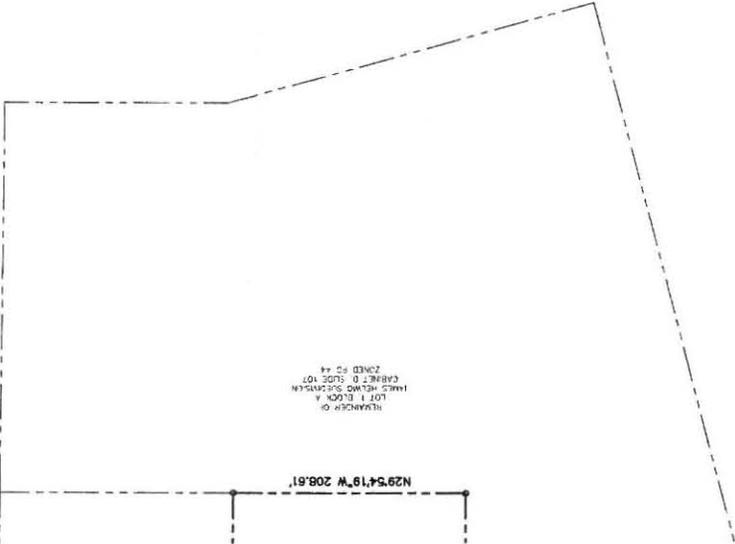
**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Pete Eckert, City Attorney

1<sup>st</sup> Reading: 01-05-09

2<sup>nd</sup> Reading: 02-02-09





TRANSFORMER  
LOT 1 BLOCK A  
JAMES HELMO SUBDIVISION  
CABINET D SLICE 107  
ZONED RS 44

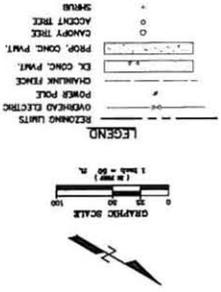
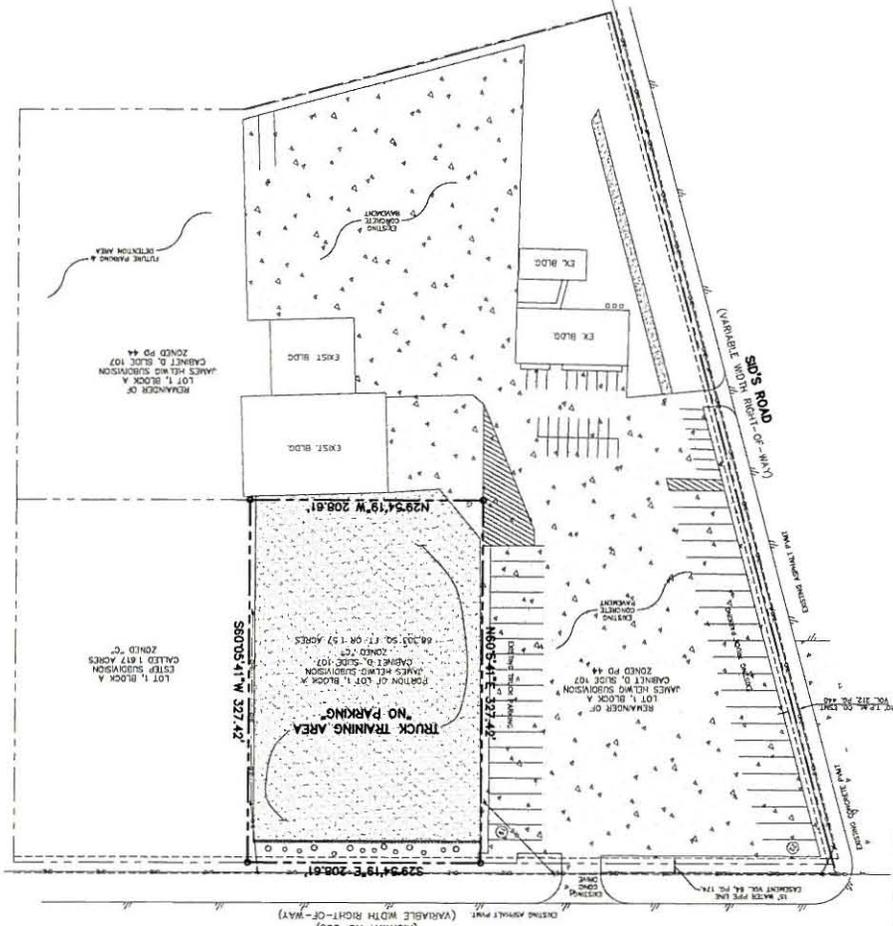
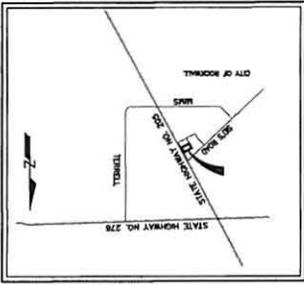
HELMO SUBDIVISION, SAME BEING THE WEST CORNER OF SAID LOT 1 (EAST SUBDIVISION),  
 THENCE NORTH 29 DEG. 24 MIN. 19 SEC. WEST, THROUGH THE INTERIOR OF SAID LOT 1 (JAMES  
 HELMO SUBDIVISION), A DISTANCE OF 206.61 FEET TO A POINT FOR CORNER.  
 THENCE NORTH 60 DEG. 06 MIN. 41 SEC. EAST, CONTINUING THROUGH THE INTERIOR OF SAID  
 LOT 1 (JAMES HELMO SUBDIVISION), A DISTANCE OF 227.42 FEET TO A POINT FOR CORNER, SAID  
 POINT BEING IN THE NORTHEAST LINE OF SAID LOT 1 (JAMES HELMO SUBDIVISION), SAME BEING  
 IN THE SOUTHWEST RIGHT-OF-WAY LINE OF AIRCRAFT BOULEVARD STREET.  
 THENCE SOUTH 29 DEG. 24 MIN. 19 SEC. EAST, ALONG THE COMMON LINE OF SAID LOT 1 (JAMES  
 HELMO SUBDIVISION), AND THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID OGDARD STREET, A  
 DISTANCE OF 206.61 FEET TO THE POINT OF BEGINNING AND CONTAINING BELOO SQUARE FEET  
 OR 1.57 ACRES OF CORPUS LAND.

PURPOSE FOR REZONING:  
 REZONE 1.57 ACRES OF LOT 1, BLOCK A  
 JAMES HELMO SUBDIVISION FROM "C"  
 COMMERCIAL TO PD 44 TO MATCH ZONING  
 ON REMAINDER OF LOT 1, BLOCK A.

N 2208 039

OWNER/APPLICANT:  
 TRANSMAR TRUCKING, INC.  
 2670 SOUTH GOLIAD,  
 ROCKWALL, TEXAS 75082  
 PHONE: 972-722-0673  
 FAX: 972-961-9050

<p><b>SP1</b></p> <p>SHEET</p>	Scale: 1" = 50'	<p><b>ZONING EXHIBIT</b></p> <p>TRANS-MAR TRUCKING</p> <p>TRAIL LOT 1, BLOCK A</p> <p>CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS</p>
	Designed By: J.L.V.	
	Drawn By: J.L.V.	
	Created By: J.L.V.	
<p>UT 20081010-00-VAR\TRAILLOT SH</p> <p>DATE: 11/11/2008</p>		



PURPOSE FOR REZONING:  
 REZONE 1.57 ACRES OF LOT 1, BLOCK A  
 JAMES HELWIG SUBDIVISION FROM "C"  
 COMMERCIAL TO PD 44 TO MATCH ZONING  
 ON REMAINDER OF LOT 1, BLOCK A.

OWNER/APPLICANT:  
 TRANSAM TRUCKING, INC.  
 2670 SOUTH GOLIAD  
 ROCKWALL, TEXAS 75083  
 PHONE: 972-722-0573  
 FAX: 972-981-9050

<p>Scale: 1" = 50'</p> <p>Designed by: JLV</p> <p>Drawn by: JLV</p> <p>Checked by: JLV</p> <p>12/18/2008 15:26</p>	<p>PD SITE PLAN</p> <p>TRANS-AM TRUCKING</p> <p>TRANS-AM LOT 1, BLOCK A</p> <p>CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS</p>	<p>TRANSAM TRUCKING, INC.</p> <p>2670 SOUTH GOLIAD</p> <p>ROCKWALL, TEXAS 75083</p> <p>PHONE: 972-722-0573</p> <p>FAX: 972-981-9050</p>		<p>TOMDEN ENGINEERING, L.L.P.</p> <p>12509 N. Central Expressway, Suite 700A</p> <p>Ph: 972.386.6446 Fax: 972.386.6408</p> <p>mail@tomden.com</p>	NO	DATE	APP

PDS1  
 SHEET

● **COMMERCIAL/RETAIL (CR)**

The *Commercial/Retail* land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. Zoning in conformance with the Commercial/Retail land uses category can be incorporated into a Planned Development (PD) District as part of a larger mix-use master planned community, and may vary in size depending on the adjacent service area. In certain cases where commercial land uses are eminent, it may be appropriate to incorporate zoning in conformance to the Commercial land use category on all four (4) corners of an intersection; however, this is not necessary in all cases. These areas should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision.

**DESIGNATION CHARACTERISTICS**

- 1 *Primary Land Uses:* Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers
- 2 *Secondary Land Uses:* Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses
- 3 *Zoning Districts:* Neighborhood Services (NS) District, General Retail (GR) District, Commercial (C) District and certain mixed-use Planned Development (PD) Districts

**EXISTING LAND USE EXAMPLES**

- 1 Shops at Stone Creek
- 2 Corner of the Intersection of N. Lakeshore Drive and N. Goliad Street [SH-205]
- 3 Walmart Neighborhood Market Shopping Center



● **COMMERCIAL/INDUSTRIAL (CI)**

The *Commercial/Industrial* land use category typically is characterized by smaller business and industrial land uses that are focused around assembly, manufacturing and fabrication. This designation may also accommodate land uses that require outside storage. These areas are also appropriate for small business and business incubator arrangements. Land uses under this designation should be heavily screened by landscaping and should be separated from other land uses using large buffers and roadways. These areas are not appropriate adjacent to residential land use designations and should be separated from these areas using transitional land uses.

**DESIGNATION CHARACTERISTICS**

- 1 *Primary Land Uses:* Small Scale Manufacturing, Assembly, and Fabrication Businesses, Business Incubators, Contractors Shops, and Heavy Equipment/Truck Rental Businesses
- 2 *Secondary Land Uses:* Warehouse and Outside Storage
- 3 *Zoning Districts:* Heavy Commercial (HC) District and Heavy Industrial (HI) District

**EXISTING LAND USE EXAMPLES**

- 1 Areas Adjacent to National Drive
- 2 Areas Adjacent to Sids Road

● **BUSINESS CENTERS (BC)**

The Business Center land use designation is intended to provide areas with a variety of employment options. While focusing on employment land uses, these areas may also incorporate limited supporting land uses (*e.g. restaurants and commercial-retail*) that complement the primary land uses. These areas should be designed with public amenities and greenspaces, increased landscaping, and unique design features that will help create a sense of place.

**DESIGNATION CHARACTERISTICS**

- 1 *Primary Land Uses:* Professional Offices, Corporate Offices, General Offices, Institutional Land Uses, Research and Design/Development Businesses, and Technology/Data Centers.
- 2 *Secondary Land Uses:* Supporting Restaurants and Commercial-Retail Land Uses, Hotels, Parks, Open Space and Civic Uses
- 3 *Zoning Districts:* Commercial (C) District, Light Industrial (LI) District, and Planned Development (PD) Districts

**EXISTING LAND USE EXAMPLES**

- 1 Trend Tower

# 18 SOUTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

## DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

**1 Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

**2 Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

**3 Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

**4 Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



1 Current Suburban Residential



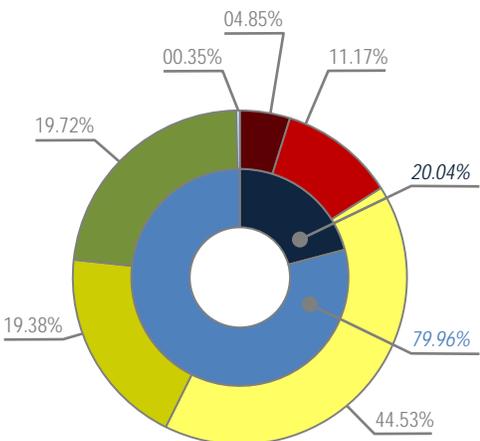
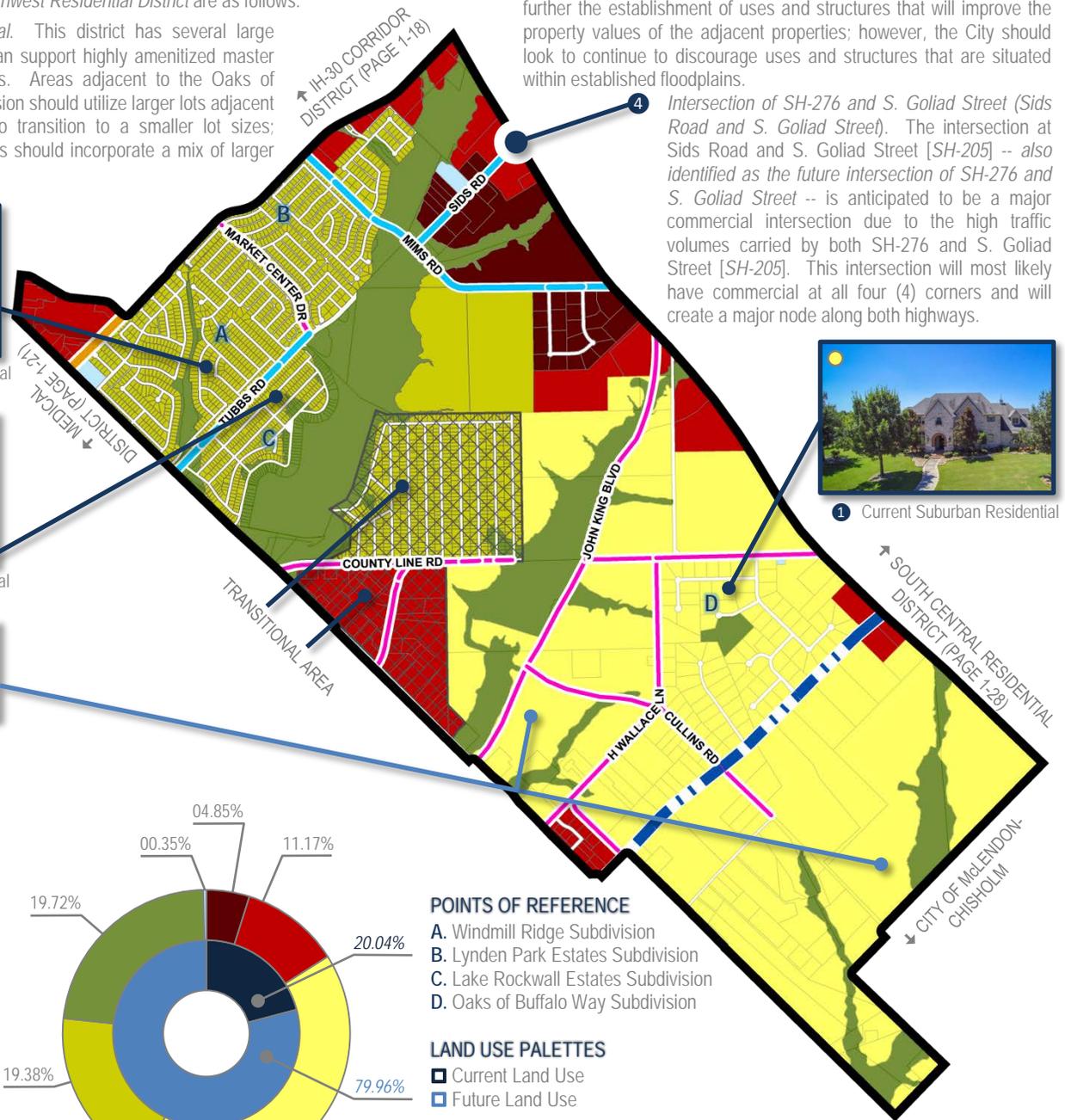
1 Current Suburban Residential



1 Future Suburban Residential



1 Current Suburban Residential



### POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

### LAND USE PALETTES

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 44 (PD-44) [ORDINANCE NO.'S 97-28 & 09-03] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A HEAVY COMMERCIAL (HC) DISTRICT AND COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 44 (PD-44) AND FOR THE PURPOSES AMENDING THE CONCEPT PLAN AND DEVELOPMENT STANDARDS FOR A 90.37-ACRE TRACT OF LAND IDENTIFIED AS LOTS 6, 7, 8 & 9, BLOCK A, RAYBURN COUNTRY ADDITION; LOT 1, BLOCK 1, HELWIG ADDITION; LOT 1, BLOCK A, ESTEP ADDITION; AND TRACT 3 OF THE W. H. BARNES SURVEY, ABSTRACT NO. 26, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from David Naylor of Rayburn Electric Cooperative for the approval of a *Zoning Change* from a Heavy Commercial (HC) District and Commercial (C) District to Planned Development District 44 (PD-44) and for the purposes of amending the concept plan and development standards contained within Planned Development District 44 (PD-44) [Ordinance No.'s 97-28 & 09-03] for a 90.37-acre tract of land identified as Lots 6, 7, 8 & 9, Block A, Rayburn Country Addition; Lot 1, Block 1, Helwig Addition; Lot 1, Block A, Estep Addition; and Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, Heavy Commercial (HC) District, and Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, bounded by SH-205 to the east, Sids Road to the north, and Mims Road south and west, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 44 (PD-44) [Ordinance No.'s 97-28 & 09-03] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF**

**ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No.'s 97-28 & 09-03*;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 5.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 6.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 7.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (*including references to the Unified Development Code [UDC]*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5<sup>TH</sup> DAY OF AUGUST, 2024.**

\_\_\_\_\_  
Trace Johannessen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: July 15, 2024

2<sup>nd</sup> Reading: August 5, 2024

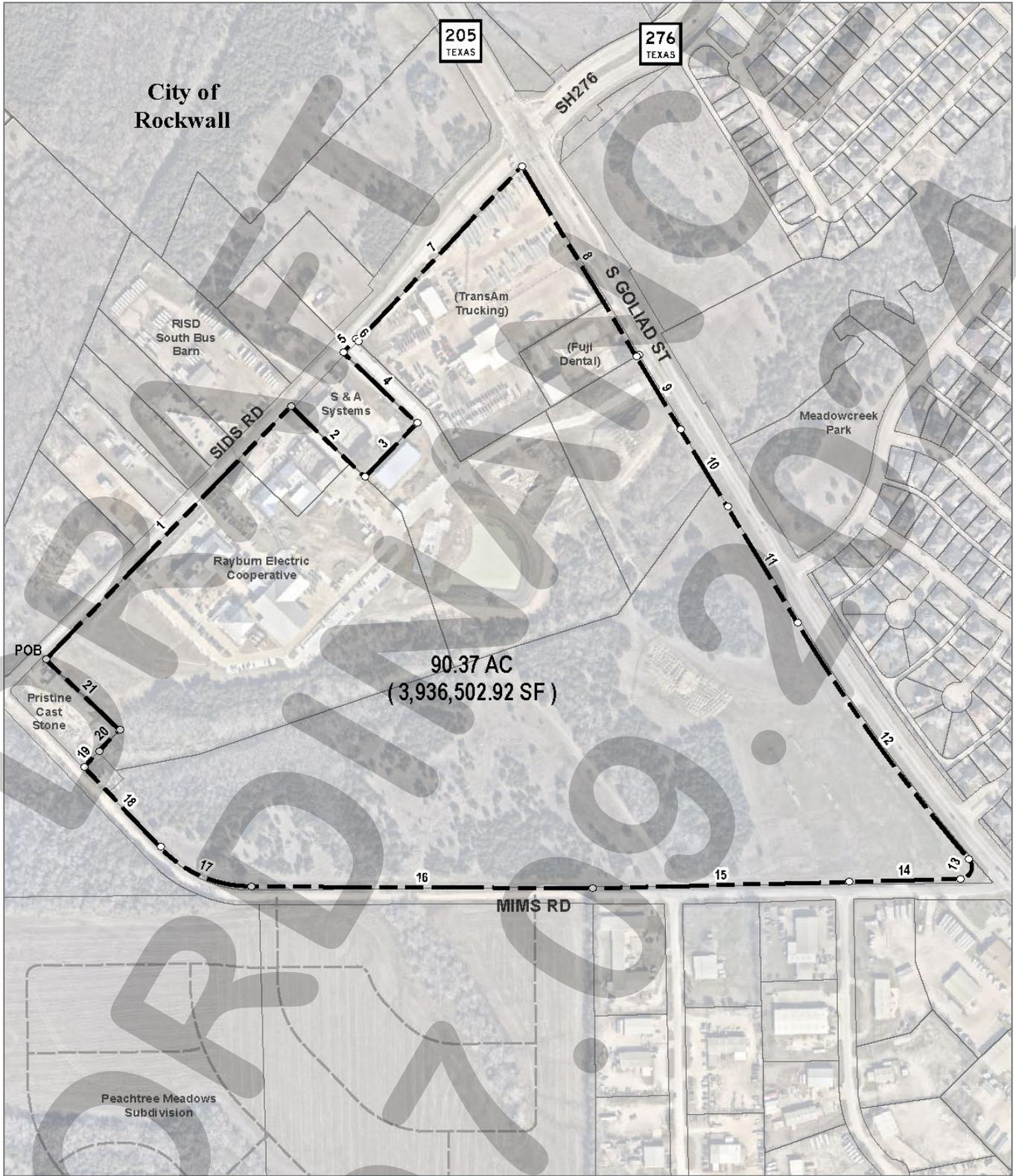
**Exhibit 'A'**  
**Legal Description**

*BEING* 90.37 acres of land situated in Abstract 26, William N. Barnes Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

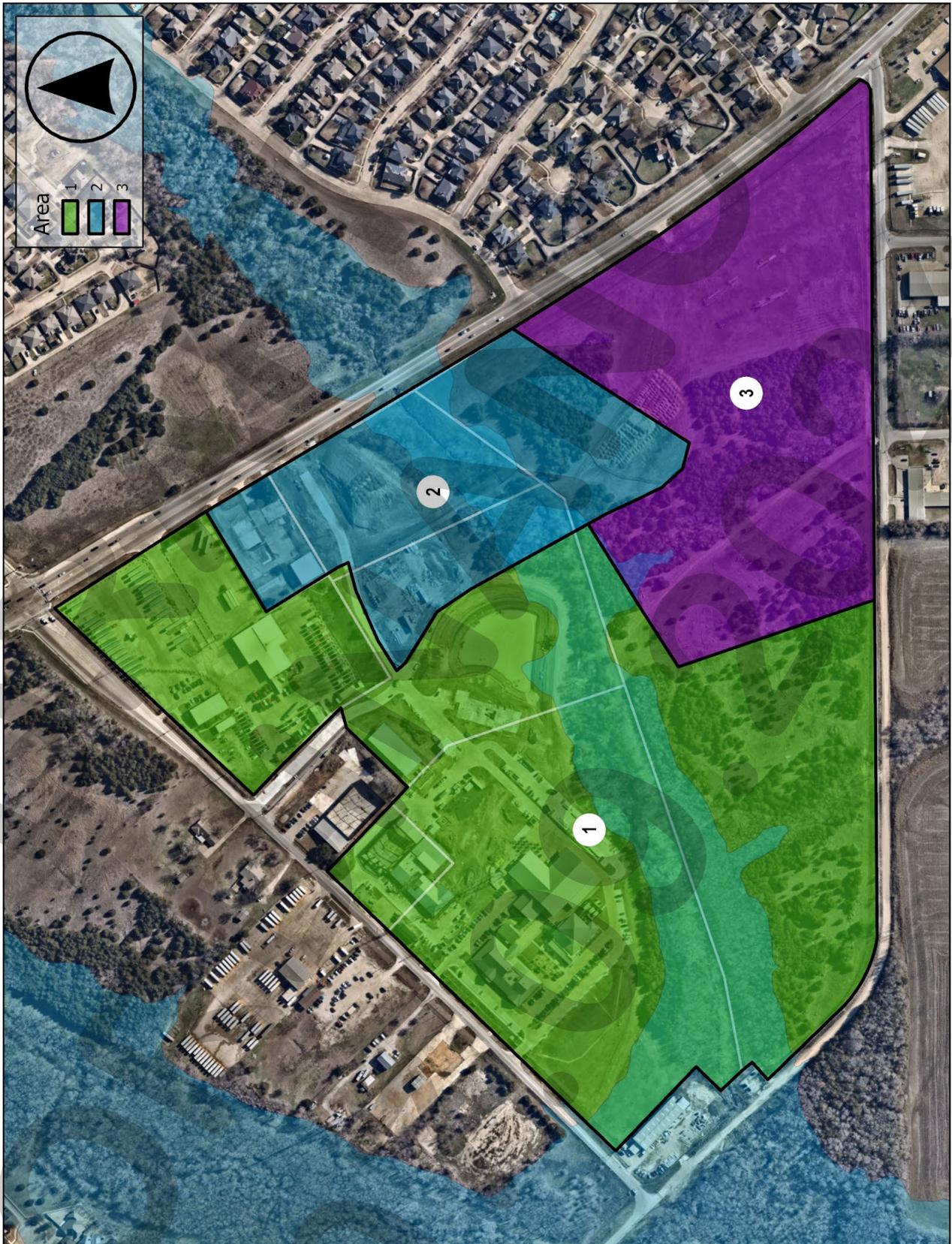
*BEGINNING* at the Westernmost corner of the Rayburn Country Addition, Block A, Lot 9 (2019), NAD83 Texas State Plane GPS Coordinate (Grid): E 2598018.94, N 7014699.27-feet;

- 1      *THENCE* North 45°-09'-40" East, along the Southern Right of Way of Sids Road, a distance of 1166.39-feet to a corner;
- 2      *THENCE* South 45°-09'-07" East, following the boundary of the Pott Shrigley Addition (RCAD Account # 47004), a distance of 338.73-feet to a corner;
- 3      *THENCE* North 45°-09'-13" East, continuing along said boundary, a distance of 247.63-feet to a corner;
- 4      *THENCE* North 45°-02'-39" West, a distance of 338.69-feet to a corner;
- 5      *THENCE* North 45°-09'-41" East, a distance of 59.41-feet to a corner;
- 6      *THENCE* South 46°-05'-37" East, a distance of 10.654-feet for a corner;
- 7      *THENCE* North 44°-07'-04" East, following the boundary of the Helwig Addition (RCAD Account # 44046), a distance of 794.409-feet to a corner;
- 8      *THENCE* South 29°-54'-19" East, continuing along said boundary a distance of 734.37-feet to a corner;
- 9      *THENCE* South 30°-01'-35" East, along the West Right of Way of South Goliad St. (State Highway 205), a distance of 284.635-feet to a point;
- 10     *THENCE* South 30°-01'-35" East, continuing along said Right of Way, a distance of 297.94-feet to a point;
- 11     *THENCE* South 30°-01'-35" East, a distance of 449.71-feet to the beginning of a curve;
- 12     *THENCE* along said curve to the left having an angle of 09°-34'-15" and a radius of 5789.71-feet with a chord distance of 966.01-feet and a chord bearing of South 34°-48'-42" East, to the beginning of a curve;
- 13     *THENCE* along said curve to the right having an angle of 129°-16'-39" and a radius of 40.00-feet with a chord distance of 72.29-feet and a chord bearing of South 25°-02'-31" West, to a point;
- 14     *THENCE* South 89°-40'-52" West, along the North Right of Way of Mims Rd, a distance of 366.51-feet to a point;
- 15     *THENCE* South 89°-40'-52" West, continuing along said Right of Way, a distance of 849.66-feet to a point;
- 16     *THENCE* North 88°-36'-16" West, a distance of 1129.63-feet to the beginning of a curve;
- 17     *THENCE* along said curve to the right having an angle of 46°-17'-43" and a radius of 417.50-feet with a chord distance of 328.24-feet and a chord bearing of North 65°-27'-24" West, to a point;
- 18     *THENCE* North 42°-18'-34" West, a distance of 364.963-feet to a corner;
- 19     *THENCE* North 43°-30'-55" East, following the boundary of Abstract 26, Tract 3-7, a 1.5-acre tract (RCAD Account # 26918), a distance of 70.203-feet to a point;
- 20     *THENCE* North 45°-33'-50" East, continuing along said boundary, a distance of 99.73-feet to a corner;
- 21     *THENCE* North 45°-07'-43" West, a distance of 338.235-feet, to the *POINT OF BEGINNING AND CONTAINING* 90.37 acres of land (3,936,502.92 square-feet) more or less.

Exhibit 'B'  
Survey



**Exhibit 'C'**  
Concept Plan



**Exhibit 'D'**  
**Development Standards**

(A) PURPOSE.

The purpose of this Planned Development District ordinance is to provide flexible design standards to accommodate a commercial campus for the Rayburn Electric Cooperative that incorporates unique architecture and land uses that are otherwise not permitted in the Commercial (C) and Heavy Commercial (HC) Districts. These land uses include the existing offices and warehouse space, future amenities for employees and their guests (e.g. a private indoor gun range and recreation area), and community spaces (e.g. recreational fields, soccer complex, playgrounds, etc.).

(B) GENERAL STANDARDS FOR ALL AREAS.

(1) Development Review Process. All development proposed for the *Subject Property* shall require site plan approval in accordance with the requirements and procedures of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

(2) Development Standards. In addition to the standards stipulated for the underlying zoning district, *Areas 1, 2, & 3 -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the requirements of Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

(3) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, the land uses permitted within *Areas 1, 2, & 3 -- as depicted in Exhibit 'C' of this ordinance --* shall be determined by the underlying zoning district and additional land use provisions stated in Sections (C), (D), & (E) of this ordinance and as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC); however, the following land uses shall be prohibited in all *Areas* of this Planned Development District:

- Animal Boarding/Kennel without Outside Pens
- Animal Clinic for Small Animals without Outdoor Pens
- Animal Hospital or Clinic
- Community Garden
- Urban Farm
- Caretakers Quarters/Domestic or Security Unit
- Covenant, Monastery, or Temple
- Limited Service Hotel
- Full Service Hotel
- Residence Hotel
- Motel
- Assisted Living Facility
- Blood Plasma Donor Center
- Cemetery/Mausoleum
- Church/House of Worship
- College, University, or Seminary
- Convalescent Care Facility/Nursing Home
- Congregate Care Facility/Elderly Housing
- Daycare with Seven (7) or More Children
- Emergency Ground Ambulance Services
- Hospice
- Hospital
- Local Post Office

**Exhibit 'D'**  
**Development Standards**

- Regional Post Office
- Temporary Carnival, Circus, or Amusement Ridge
- Private Country Club
- Private Club, Lodge or Fraternal Organization
- Theater
- Alcoholic Beverage Package Sales
- Alcoholic Beverage Store
- Antique/Collectible Store
- Brew Pub
- Business School
- Catering Service
- Temporary Christmas Tree Sales Lot and/or Similar Uses
- Copy Center
- Craft/Micro Brewery, Distillery and/or Winery
- Incidental Display
- Garden Supply/Plant Nursery
- Hair Salon and/or Manicurist
- Laundromat with Dropoff/Pickup Services
- Self-Service Laundromat
- Massage Therapist
- Private Museum or Art Gallery
- Night-Club, Discotheque, or Dance Hall
- Pawn Shop
- Permeant Cosmetics
- Pet Shop
- Temporary Real Estate Sales Office
- Rental Store without Outside Storage and/or Display
- Restaurant with less than 2,000 SF with Drive-Through or Drive-In
- Restaurant with less than 2,000 SF without Drive-Through or Drive-In
- Restaurant with 2,000 SF or more with Drive-Through or Drive-In
- Restaurant with 2,000 SF or more without Drive-Through or Drive-In
- Retail Store with Gasoline Sales that has Two (2) or Less Dispensers (*i.e. a Maximum of Four [4] Vehicles*)
- Retail Store with Gasoline Sales that has more than Two (2) Dispensers
- Secondhand Dealer
- Art, Photography, or Music Studio
- Tailor, Clothing, and/or Apparel Shop
- Tattoo and/or Body Piercing
- Taxidermist Shop
- Bail Bond Service
- Commercial Cleaners
- Custom and Craft Work
- Electrical, Watch, Clock, jewelry and/or Similar Repair
- Fee Store or Ranch Supply
- Furniture Upholstery/Refinishing and Resale
- Gunsmith Repair and Sales
- Rental, Sales and Service of Heavy Machinery and Equipment
- Locksmith
- Medical or Scientific Research Lab
- Manufactured Home Sales
- Shoe and Boot Repair and Sales
- Trade School
- Major Automotive Repair Garage
- Minor Automotive Repair Garage
- Automobile Rental
- New or Used Boat and Trailer Dealership

**Exhibit 'D'**  
**Development Standards**

- Full Service Car Wash
- Self-Service Car Wash
- New and/or Used Indoor Motor Vehicle Dealership/Showroom
- New Motor Vehicle Dealership for Cars and Light Trucks
- Commercial Parking Lot
- Recreational Vehicle (RV) Sales and Service
- Service Station
- Towing and Impound Yard
- Towing Service without Storage
- Truck Rental
- Truck Stop with Gasoline Sales and Accessory Services
- Carpet and Rug Cleaning
- Environmentally Hazardous Materials
- Food Processing with No Animal Slaughtering
- Light Assembly and Fabrication
- Heavy Manufacturing
- Light Manufacturing
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Printing and Publishing
- Salvage or Reclamation of Products Indoors
- Sheet Metal Shop
- Welding Repair
- Cold Storage Plant
- Mini-Warehouse
- Wholesale Showroom Facility
- Bus Charter Service and Service Facility
- Radio Broadcasting
- Recording Studio
- Trucking Company

(4) Landscape Standards. Unless specifically provided for by this Planned Development District ordinance, and in addition to the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), *Areas 1, 2, & 3 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the following requirements:

(a) Landscape Buffer (SH-205). A minimum of a 25-foot landscape buffer shall be provided along the frontage of SH-205 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum combined height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering five (5) foot sidewalk shall be constructed within the 25-foot landscape buffer.

(b) Landscape Buffer (Mims Road and Sids Road). A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Mims Road and Sids Road (*outside of and beyond any required right-of-way dedication*). In addition, one (1) canopy and one (1) accent trees shall be required to be planted per 50-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.

(5) Building and Design Standards. All buildings proposed within *Areas 1, 2, & 3 -- as depicted in Exhibit 'C' of this ordinance* -- shall incorporate complementary architectural styles, building materials, and colors. The Architecture Review Board (ARB) shall review all building elevations during the site plan process to ensure that a complementary

**Exhibit 'D'**  
**Development Standards**

design scheme and building materials are being proposed, and that the design is consistent and complimentary to the existing buildings on the site. In addition, buildings that are adjacent to or that will be highly visibility from S. Goliad Street (SH-205) should generally conform to the *General Overlay District Standards*; however, buildings internal to the site should be given special consideration through the variance process to allow more functional buildings and building materials.

- (6) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance; however, in considering a variance to the standards of this ordinance the Architectural Review Board (ARB) and Planning and Zoning Commission shall consider the previous approvals and design schemes of the overall campus and look to create uniformity in design and aesthetics for the area.

(C) AREA 1.

- (1) Permitted Uses. *Area 1 -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Heavy Commercial (HC) District, as stipulated by the *Permissible Use Charts* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC); however, the following additional land use provisions shall apply to *Area 1*:

- (a) The following additional land uses shall be permitted *by-right*:

- Private Indoor Gun Range

*NOTE:* For the purposes of this Planned Development District ordinance, a Private Indoor Gun Range shall be defined as a gun range that is fully contained within an enclosed area (*i.e. all activities shall be done inside an indoor building*) that is intended for the private use of employees of Rayburn Electric Cooperative and their guests.

- (b) The following additional land uses shall be permitted as an accessory land use to an *Corporate Office Campus/Warehouse* land use:

- Major Automotive Repair Garage
- Service of Heavy Machinery and Equipment
- Self-Service Car Wash
- Welding Repair

- (2) Development Standards. Unless specifically provided for by this Planned Development District ordinance, the development standards for *Area 1* shall be those stipulated for properties in the Heavy Commercial (HC) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC).

(D) AREA 2.

- (1) Permitted Uses. *Area 2 -- as depicted in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC); however, the following additional land use provisions shall apply to *Area 2*:

**Exhibit 'D'**  
**Development Standards**

(a) The following additional land uses shall be permitted *by-right*:

- Private Outdoor Recreation Facilities
- Banquet Facility/Event Hall

**NOTE:** For the purposes of this Planned Development District ordinance, the Private Outdoor Recreation Facilities land use shall be defined as private recreation facilities (e.g. pickleball courts, basketball courts, picnic areas, playgrounds, or similar uses) that are intended for the private use of employees of Rayburn Electric Cooperative and their guests.

(2) Development Standards. Unless specifically provided for by this Planned Development District ordinance, the development standards for Area 2 shall be those stipulated for properties in the Commercial (C) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC).

(E) AREA 3.

(1) Permitted Uses. Area 3 -- as depicted in Exhibit 'C' of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC); however, the following additional land use provisions shall apply to Area 3:

(a) The following additional land uses shall be permitted *by-right*:

- Outdoor Commercial Amusement/Recreation
- Banquet Facility/Event Hall
- Solar Collector Energy Panels (*Ground Mounted*)<sup>1</sup>

**NOTES:**

<sup>1</sup>: The Solar Collector Energy Panels land use shall adhere to the following *Conditional Land Use Standards*:

- (1) The Solar Collector Energy Panels shall be required to be shown on a site plan that is approved by the Planning and Zoning Commission.
- (2) The Solar Collector Energy Panels shall be fully screened from the public's view (i.e. adjacent properties or rights-of-way) by a solid masonry screening wall. As an alternative, the Planning and Zoning Commission may grant the use of three (3) tiered screening and berms where it is deemed to be an appropriate screening alternative.
- (3) All ground mounted or pole mounted Solar Collector Energy Panels shall be located outside of any building setbacks or easements.
- (4) The maximum overall height of ground mounted or pole mounted Solar Collector Energy Panels shall be eight (8) feet.
- (5) Solar Collector Energy Panels shall meet all other pertinent requirements of the Unified Development Code (UDC).

(2) Development Standards. Unless specifically provided for by this Planned Development District ordinance, the development standards for Area 3 shall be those stipulated for properties in the Commercial (C) District as stipulated by Article 05, *District Development*

**Exhibit 'D'**  
**Development Standards**

Standards, of the Unified Development Code (UDC).

DRAFT  
ORDINANCE  
07.09.2024



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 9, 2024  
**APPLICANT:** Ben Lewis  
**CASE NUMBER:** Z2024-029; *Specific Use Permit (SUP) for a Detached Garage at 911 N. Alamo Road*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Ben Lewis for the approval of a *Specific Use Permit (SUP)* for a *Detached Garage* that exceeds the maximum size and height on a 0.3168-acre parcel of land identified as Lot 3, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 911 N. Alamo Street, and take any action necessary.

### BACKGROUND

The subject property is considered to be a part of Old Town Rockwall, and was platted with the Garner Addition prior to 1934 per the 1934 Sanborn Maps. According to the City's historic zoning maps, at some point after the time of annexation and January 3, 1972, the subject property was zoned Single-Family 2 (SF-2) District. According to the Rockwall Central Appraisal District (RCAD) the 1,296 SF single-family home and ~150 SF accessory building situated on the subject property were constructed in 1980. Following this, sometime between January 22, 1982 and May 16, 1983, the subject property was rezoned from a Single-Family 2 (SF-2) District to Single-Family 10 (SF-10) District.

### PURPOSE

The applicant -- *Ben Lewis* -- is requesting the approval of a Specific Use Permit (SUP) to allow the construction of a *Detached Garage* that exceeds the maximum allowable size and height as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 911 N. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 0.3250-acre parcel of land (*i.e. Lot 4, Part of Block 5, Garner Addition*). Following this are seven (7) tracts of land (*i.e. 915, 917, 919, 921, 921, 925, & 975 N. Alamo Road*) developed with single-family homes. All of these properties are zoned Single-Family 10 (SF-10) District. Beyond this is a vacant 2.76-acre tract of land (*i.e. Tract 5 of the J. H. B. Jones Survey, Abstract No. 124*) zoned Neighborhood Services (NS) District. North of this is East Fork Drive, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several parcels of land that make up the remainder of the Garner Addition and the Briones Addition. All of these properties are developed with single-family homes and zoned Single-Family 10 (SF-10) District. Beyond this is E. Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Alamo Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are two (2)

parcels of land (*i.e.* 908 & 910 N. Alamo Road) developed within single-family homes and zoned Single-Family 10 (SF-10) District. Beyond this are two (2) parcels of land (*i.e.* Lot 1, Block 1, Misty Addition & Lot 1, Block 1, Henry Addition) developed with *Medical Offices* (*i.e.* *estheticians*) zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. East of this is N. Goliad Street [SH-205], which is identified as a A5D (*i.e.* *arterial, five [5] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is the terminus of N. West Street, which is identified as a R2 (*i.e.* *residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 1.495-acre parcel of land (*i.e.* Lot 1, Block A, Jameson Addition) developed with a single-family home, zoned Single-Family 10 (SF-10) District. Beyond this is Phase 1 of the Preserve Subdivision, which consists of 130 single-family homes zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses.

## **CHARACTERISTICS OF THE REQUEST**

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the construction of a *Detached Garage*. The building elevations indicate that the *Detached Garage* will have a building footprint of 910 SF, and stand 20-feet in height. The site plan also indicates that the *Detached Garage* will be located behind the primary structure, meet the building setbacks, and be accessed at the rear of the property from a 20-foot concrete driveway that connects to an existing alleyway. The building elevations provided by the applicant indicate that the garage will be clad in metal, and have two (2) roll up garage doors facing the rear of the property and one (1) facing the house.

## **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 10 (SF-10) District allows one (1) detached garage with a maximum square footage of 625 SF. In this case, there is an existing accessory building that will be replaced with the proposed 910 SF *Detached Garage*. This makes the *Detached Garage* 285 SF larger than what is permitted *by-right*. This Subsection continues to state that *Detached Garages* may not exceed 15-feet in height. In this case, the building elevations indicate the *Detached Garage* will be 20-feet in height, five (5) taller than what is permitted.

In addition, the UDC states that a *Detached Garage* must be located behind the front façade of the primary structure, incorporate a minimum 20-foot concrete driveway, and must be affixed to a permanent concrete foundation. In this case, the proposed *Detached Garage* meets all of these requirements, and meets all of the density and dimensional requirements, with the exception of those being requested through this Specific Use Permit (SUP). Staff should note, if approved, the proposed *Detached Garage* will be the only accessory building permitted on the subject property.

## **STAFF ANALYSIS**

Staff examined other accessory buildings located on properties along N. Alamo Road in between W. Heath Street and Live Oak Street, and found that the vast majority of these accessory buildings (*i.e.* 13 of the 15 accessory buildings identified) were for storage purposes (*i.e.* *not detached garages*). Staff only identified one (1) other *Detached Garage* along this roadway, and estimates that it is approximately 615 SF in size. Given this, the proposed *Detached Garage* would be the largest accessory building along this portion of N. Alamo Road. With that being said, the proposed development is situated at the dead end of N. West Street and is one (1) of five (5) properties with access to this roadway that also have access to N. Alamo Road. Based on this, the *Detached Garage* will only have limited visibility from either N. Alamo Road or N. West Street. Taking all of this into consideration, the proposed *Detached Garage* does not appear to create a negative impact on any of the adjacent properties; however, it could create a precedence with regard to the size of the proposed structure given that no other accessory buildings of a similar size were identified in this area. A Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On June 18, 2024, staff mailed 103 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Preserve and Caruth Lakes Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
  - (b) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 911 N ALAMO RD

SUBDIVISION GARNER LOT 3 BLOCK 5

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFR CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE .317 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Ben Lewis</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Ben Lewis</u>
CONTACT PERSON	<u>Ben Lewis</u>	CONTACT PERSON	<u>Ben Lewis</u>
ADDRESS	<u>911 N Alamo RD</u>	ADDRESS	<u>911 N Alamo RD</u>
CITY, STATE & ZIP	<u>Rockwall TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall TX 75087</u>
PHONE	<u>214 504 4544</u>	PHONE	<u>214 504 4544</u>
E-MAIL	<u>benlewis@tce.com</u>	E-MAIL	<u>benlewis@tce.com</u>

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ben Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF June, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

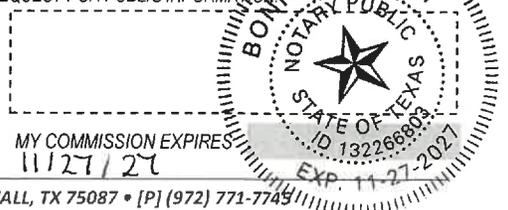
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF June, 2024.

OWNER'S SIGNATURE

Ben Lewis

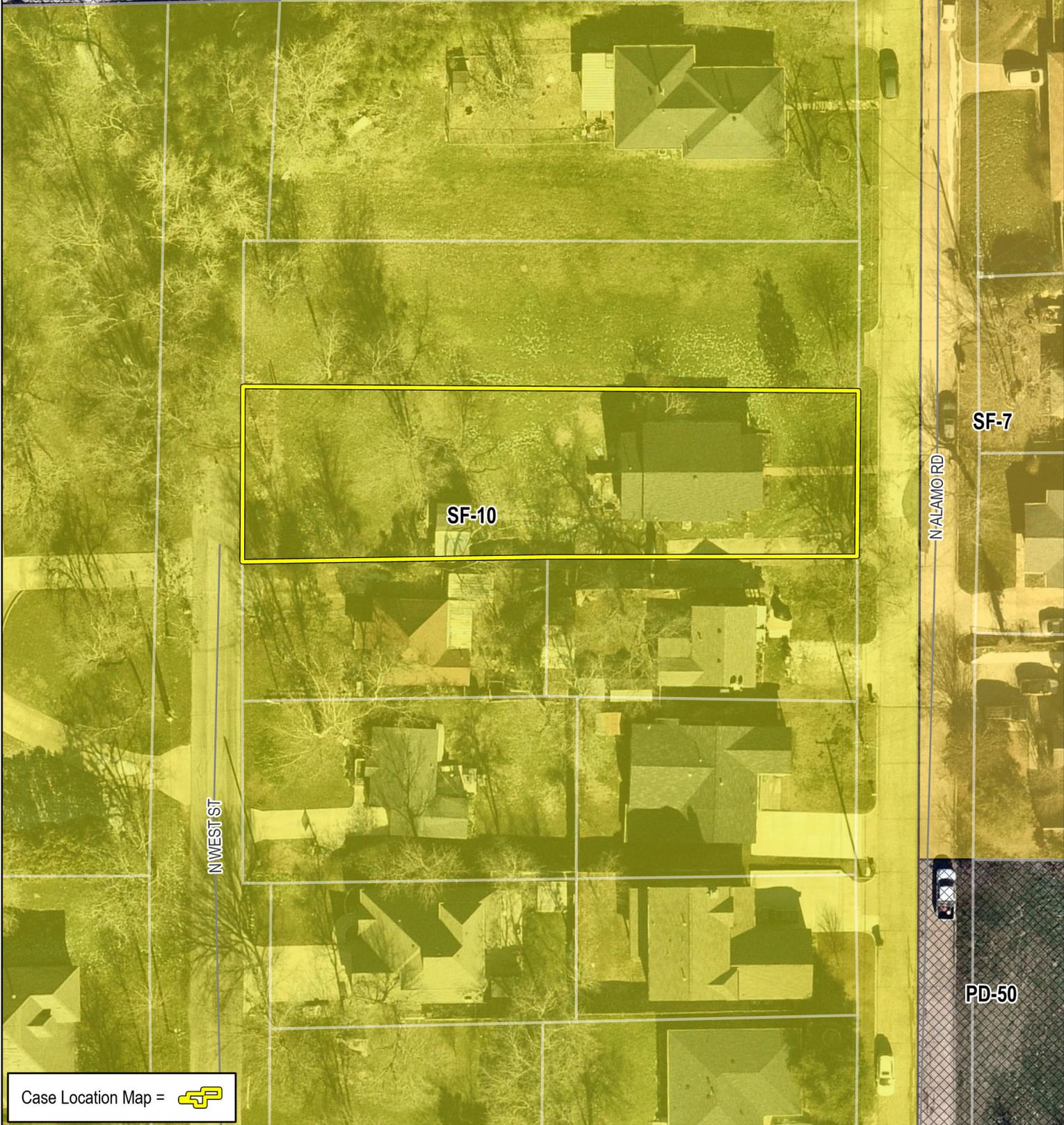
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Bonni Orpuit





Z2024-029: Specific Use Permit (SUP) for an Accessory Building at 911N. Alamo Road



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

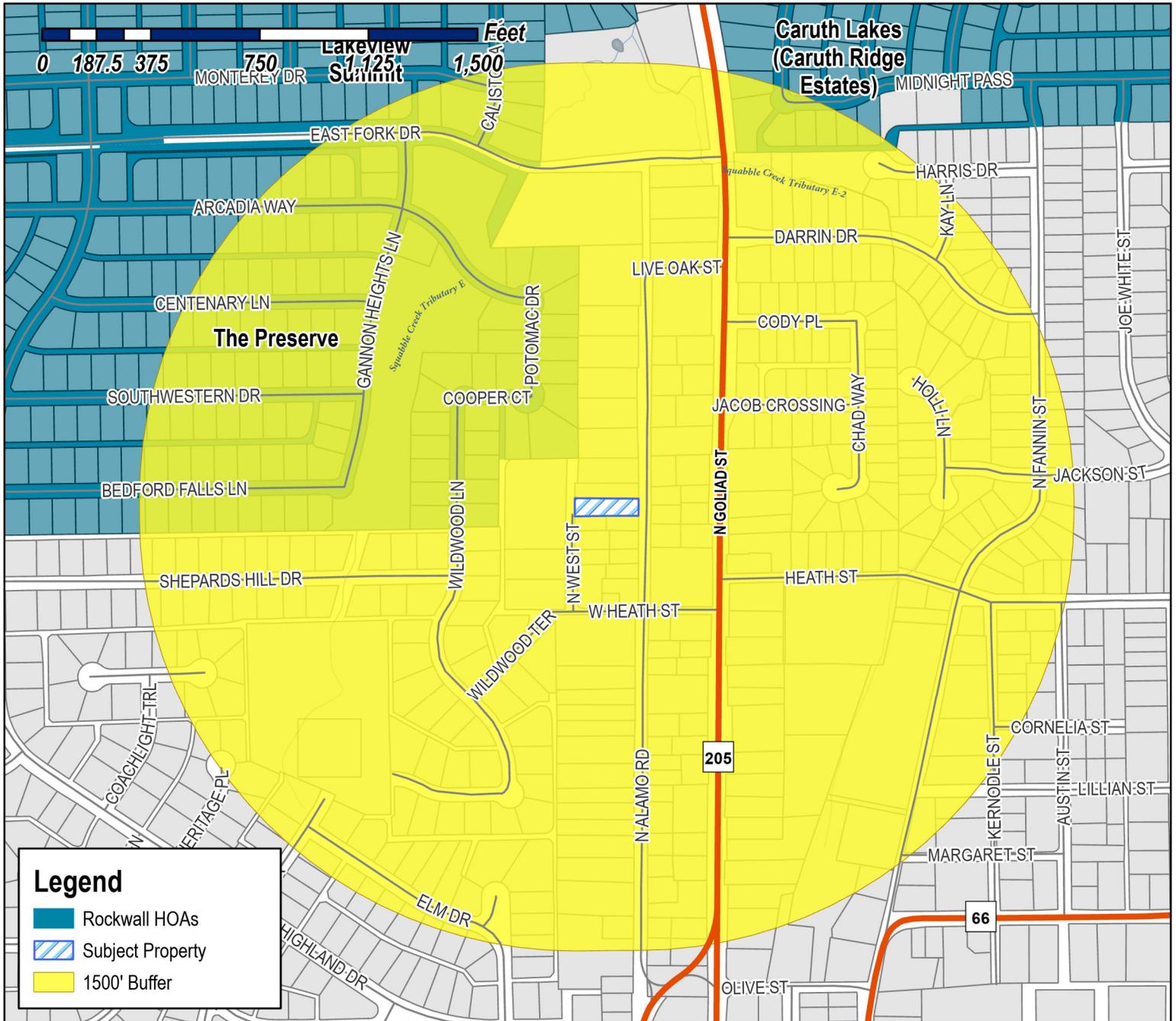




# City of Rockwall

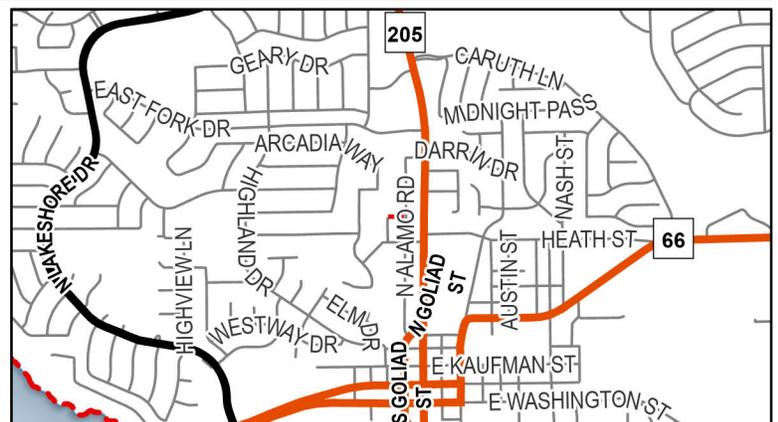
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-029  
**Case Name:** SUP for 911 N Alamo Rd  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 911 N Alamo Rd

**Date Saved:** 6/13/2024  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2024-029]  
**Date:** Friday, June 21, 2024 1:15:16 PM  
**Attachments:** [HOA Map \(06.14.2024\).pdf](#)  
[Public Notice \(P&Z\) \(06.17.2024\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday June 21, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-029: SUP for a Detached Garage

Hold a public hearing to discuss and consider a request by Ben Lewis for the approval of a [Specific Use Permit \(SUP\)](#) for a Detached Garage that exceeds the maximum size and height on a 0.3168-acre parcel of land identified as Lot 3, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 911 N. Alamo Street, and take any action necessary.

Thank you,

***Melanie Zavala***

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

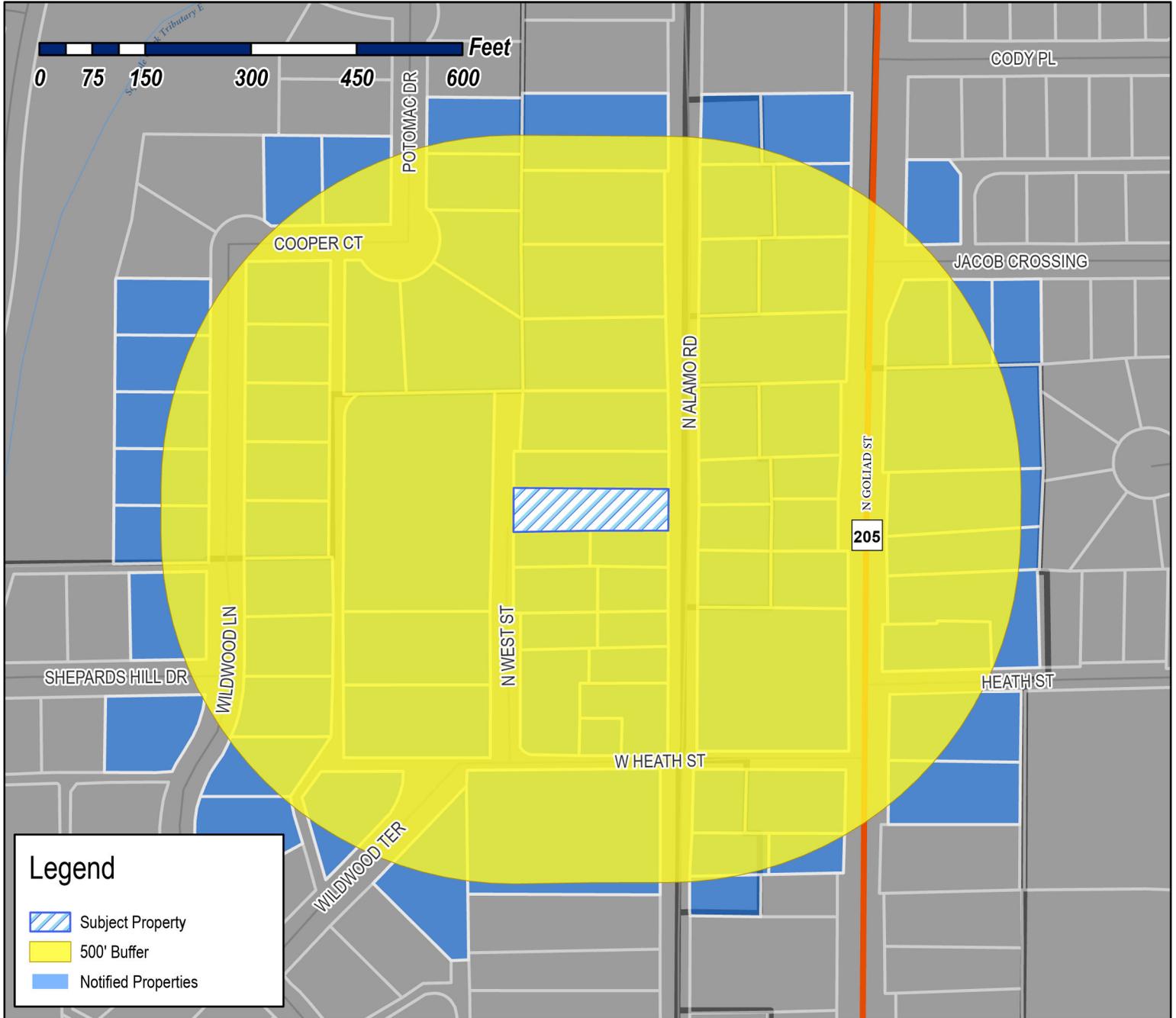
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

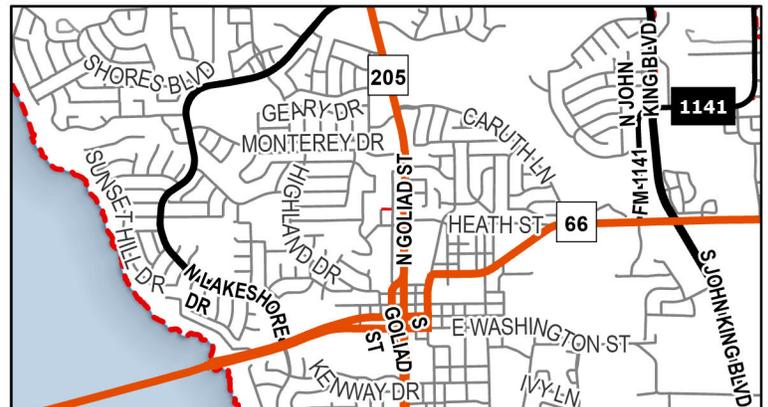
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-029  
**Case Name:** SUP for 911 N Alamo Rd  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 911 N Alamo Rd

**Date Saved:** 6/13/2024

For Questions on this Case Call: (972) 771-7745



FITE CENTRE LLC  
1200 FRONTIER TRAIL  
ROCKWALL, TX 75032

380 PROPERTY INC  
12207 DARK HOLLOW RD  
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN  
1408 S LAKESHORE DR  
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES  
1410 S GOLIAD ST APT 1707  
ROCKWALL, TX 75087

ESTATE OF DOSVILLE PEOPLES  
1410 S GOLIAD ST APT 1707  
ROCKWALL, TX 75087

DOUBLE T VENTURES LLC  
1500 S KREYMER LN  
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA  
1855 HIDDEN HILLS  
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW  
192 JACOB CROSSING  
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S  
193 JACOB CROSSING  
ROCKWALL, TX 75087

RESIDENT  
196 JACOB CROSSING  
ROCKWALL, TX 75087

917 PROPERTIES LLC  
2 MANOR COURT  
HEATH, TX 75032

VANILLA BEAN PROPERTIES, SERIES 5 LLC  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
200 JACOB CROSSING  
ROCKWALL, TX 75087

RESIDENT  
204 W HEATH ST  
ROCKWALL, TX 75087

PRITCHETT JOHNETTA  
206 W HEATH ST  
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC  
208 SUMMIT RIDGE  
ROCKWALL, TX 75087

RESIDENT  
208 W HEATH ST  
ROCKWALL, TX 75087

HOLLON GREGORY D  
2778 S FM 549  
ROCKWALL, TX 75032

WEST MICHAEL  
299 SHENNENDOAH LANE  
ROCKWALL, TX 75087

RESIDENT  
301 SHEPARDS HILL DR  
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST  
301 COOPER COURT  
ROCKWALL, TX 75087

VICK JOHN C AND ANDREA E  
302 SHEPARDS HILL DRIVE  
ROCKWALL, TX 75087

HARKLAU CAROLINE  
312 DARTBROOK  
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M  
317 COOPER STREET  
ROCKWALL, TX 75087

WEBER MARY JANE  
318 COOPER CT  
ROCKWALL, TX 75087

BOLER RICKY D JR AND  
NANCY L GUTIERREZ  
334 COOPER COURT  
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC  
400 CHIPPENDALE DRIVE  
HEATH, TX 75032

TURNER KYLE RADEY  
4002 BROWNSTONE CT  
DALLAS, TX 75204

DAVENPORT RENTAL PROPERTIES - SERIES 200  
DARRIN DRIVE  
407 CASTLE PINES DRIVE  
HEATH, TX 75032

HOWELL RONALD & MICHELE  
434 JORDAN FARM CIRCLE  
ROCKWALL, TX 75087

RESIDENT  
505 WILDWOOD TERRACE  
ROCKWALL, TX 75087

HICKERSON JON D  
506 WILDWOOD TER  
ROCKWALL, TX 75087

ALLEN TRACY  
508 WILDWOOD LANE  
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA  
602 W RUSK ST  
ROCKWALL, TX 75087

HANSARD STANLEY E ETUX DALE  
602 WILDWOOD LN  
ROCKWALL, TX 75087

KENDALL JESSICA  
604 WILDWOOD LANE  
ROCKWALL, TX 75087

MURRAY JAMES & VIRGINIA  
606 WILDWOOD LN  
ROCKWALL, TX 75087

JORDAN LARK & CAMERAN  
608 WILDWOOD LN  
ROCKWALL, TX 75087

CASTRO MICHAEL AND RENE  
700 WINDSONG LN  
ROCKWALL, TX 75087

EIZELDIN SAM AND RAZITA  
701 WILDWOOD LANE  
ROCKWALL, TX 75087

FRANK RYAN ANDREW AND WHITNEY JANE  
702 WILDWOOD LANE  
ROCKWALL, TX 75087

ROSENBERGER PERRY D & MARY LEHRMANN  
715 WILDWOOD LANE  
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL  
DAWN  
718 WILDWOOD LANE  
ROCKWALL, TX 75087

MAYNARD JEREMY SHAME AND  
AMY ELIZABETH FLORES  
731 WILDWOOD LANE  
ROCKWALL, TX 75087

FLITCRAFT CHRISTOPHER BERNARD AND NANCY  
MARGO  
734 WILDWOOD LANE  
ROCKWALL, TX 75087

HENDRICKSON PAUL A AND PATRICIA A  
747 WILDWOOD LANE  
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES  
750 JUSTIN RD  
ROCKWALL, TX 75087

MCDONALD JR EDWARD & KAYLA  
752 WILDWOOD LN  
ROCKWALL, TX 75087

CRAWFORD HAROLD E JR  
763 WILDWOOD LANE  
ROCKWALL, TX 75087

RESIDENT  
768 WILDWOOD LN  
ROCKWALL, TX 75087

SMUU INC  
7892 FM 35  
ROYSE CITY, TX 75189

JONES WILLIAM P AND DEBRA L STODDARD-  
JONES  
790 ELK REST RD.  
EVERGREEN, CO 80439

MASON MARK S & TAMARA M  
802 POTOMAC DRIVE  
ROCKWALL, TX 75087

RESIDENT  
808 N ALAMO  
ROCKWALL, TX 75087

MARTINEZ RAQUEL P  
809 N GOLIAD ST  
ROCKWALL, TX 75087

SWIERCINSKY LEXUS M  
810 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
810 N GOLIAD  
ROCKWALL, TX 75087

AOUN PIERRE E  
811 N GOLIAD ST  
ROCKWALL, TX 75087

RICKY JOHN SMITH AND DEBORAH KAY SMITH  
LIVING TRUST - 09/27/2008  
AND AS AMENDED AND RESTATED ON  
08/22/2016  
812 N ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
812 N GOLIAD  
ROCKWALL, TX 75087

CAIN JAMES O  
815 N ALAMO RD  
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN  
818 POTOMAC DR  
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID  
834 POTOMAC DR  
ROCKWALL, TX 75087

INGLES CRISTINA LA SAIGNE  
901 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
902 N GOLIAD  
ROCKWALL, TX 75087

MOMSEN KIMBERLY  
903 N ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
904 N GOLIAD ST  
ROCKWALL, TX 75087

HAM JOSHUA L  
905 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
905 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
905 N WEST ST  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

TCB CONSTRUCTION GROUP LLC  
906 N GOLIAD ST  
ROCKWALL, TX 75087

BRIONES RONALD AND THERESA  
906 N WEST  
ROCKWALL, TX 75087

RESIDENT  
907 N GOLIAD ST  
ROCKWALL, TX 75087

JC GAERLAN LLC  
907 NORTH ALAMO ROAD  
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID  
908 N ALAMO RD  
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC  
908 N GOLIAD ST  
ROCKWALL, TX 75087

MARTINKUS NICOLE  
908 N WEST ST  
ROCKWALL, TX 75087

MOLINA JOE C II  
909 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
909 N GOLIAD  
ROCKWALL, TX 75087

MCFADIN SARA TERESA  
909 N WEST STREET  
ROCKWALL, TX 75087

ZAVALA VICTOR V  
910 N ALAMO RD  
ROCKWALL, TX 75087

PERRY RUBY DELL  
910 N WEST ST  
ROCKWALL, TX 75087

WHITE TIMOTHY E  
9104 PRIVATE ROAD 2325  
TERRELL, TX 75160

LEWIS BEN  
911 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
911 N GOLIAD  
ROCKWALL, TX 75087

JONES PAMELA J  
912 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
912 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
913 N ALAMO RD  
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE  
ELIZABETH  
915 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
915 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
917 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
917 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
918 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N GOLIAD  
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS  
921 N ALAMO RD  
ROCKWALL, TX 75087

BARRY BARBARA  
922 N ALAMO RD  
ROCKWALL, TX 75087

HUDSON SHELI O  
923 N ALAMO  
ROCKWALL, TX 75087

CHAVEZ ENRIQUE  
923 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
924 N ALAMO  
ROCKWALL, TX 75087

WOMEN IN NEED INC  
PO BOX 349  
GREENVILLE, TX 75403

OLDEN FREDERICK EINER AND LISA HALSTEAD  
PO BOX 671288  
DALLAS, TX 75367

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-029: SUP for a Detached Garage

Hold a public hearing to discuss and consider a request by Ben Lewis for the approval of a *Specific Use Permit (SUP)* for a Detached Garage that exceeds the maximum size and height on a 0.3168-acre parcel of land identified as Lot 3, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 911 N. Alamo Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2024-029: SUP for a Detached Garage

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**911 N Alamo Rd**  
**Rockwall TX 75087**  
**Proposed Shop**

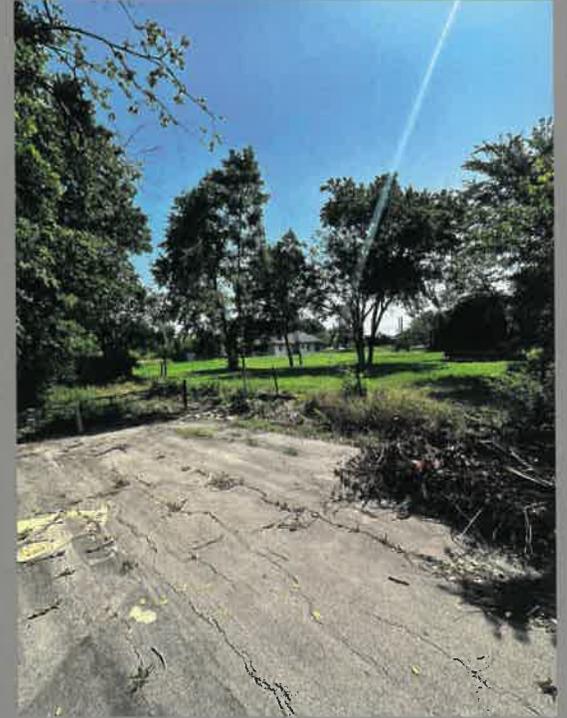
**P1 -Shop Details And Photos**

**P2- Shop Schedule**

**P3-Photos and Description of Current property**

# Current Condition

Currently the property has a 12x12x17 accessory building that backs up to a dead end road. Once in good shape the storms have had their way with it. The placement of the requested building is in the same location as the current shop. My proposed shop will allow me to clean up the property, make the area look much more appealing. This shop is intend to improve the over all look of the area and will allow me to store a boat and other items that are applicable to the city and lake. (I plan to have an 8ft cedar fence also put in place with gate entry. This will also make the area much more appealing.



# Expected timeline



**CONCRETE**



IF YES,  
IF NO, SKIP  
TO BUILDING

[SEE CONCRETE  
WAIVER](#)

**1-3 WEEKS**

If there are any items pending in Processing, we cannot start this process.

Holidays, weather, peak seasons, schedule accommodations, 3rd party permit inspections, may cause delays.



**BUILDING**



**REQUIRED 3-5 WEEKS**

[SEE EQUIPMENT  
WAIVER](#)

If there are any items pending in Processing or Concrete, we cannot start this process.

Holidays, weather, peak seasons, schedule accommodations, 3rd party permit inspections may cause delays.

**\*\*Tubular & red iron projects differ in timeframes\*\***



**ACCESSORIES**



IF YES,  
IF NO,  
YOU'RE  
DONE!

**1-3 WEEKS**

If there are any items pending in Building we cannot start these.

Accessories may include overheads, sprayfoam, gutters, custom windows, cedar posts, etc.

Style: Vertical Garage  
 Base Price: 26'x35'  
 Installation Surface: Concrete  
 Roof: Black  
 Trim: Black  
 Gable End Wall: Royal Blue  
 Side Wall: Royal Blue  
 Gable Ends Deluxe (Wainscot): Black  
 Side Walls Deluxe (Wainscot): Black  
 Roof Style: A-Frame Vertical  
 Roof Pitch: 3 / 12  
 Roof Overhang: 6"  
 Trusses: Triple Wide  
 Gauge: 14-Gauge Framing  
 Brace: Standard Brace  
 Wind Warranty: 100mph Wind Warranty Package (Concrete)

Height: 20'  
 Left Side: Fully Enclosed  
 Left Side Siding: Vertical  
 Right Side: Fully Enclosed  
 Right Side Siding: Vertical  
 Front End: Fully Enclosed  
 Front End Siding: Vertical  
 Back End: Fully Enclosed  
 Back End Siding: Vertical

**Roll-Up Doors**  
 10' x 12' Roll-Up Door  
 with Header Seal  
 10' x 10' Roll-Up Door  
 with Header Seal  
 10' x 10' Roll-Up Door  
 with Header Seal  
**Walk-In Doors**  
 Walk-In Door (36 x 80)  
 Walk-In Door (36 x 80)

**Windows**  
 36W x 36H Single Pane w/ Grid  
 36W x 36H Single Pane w/ Grid  
 36W x 36H Single Pane w/ Grid  
 36W x 36H Single Pane w/ Grid

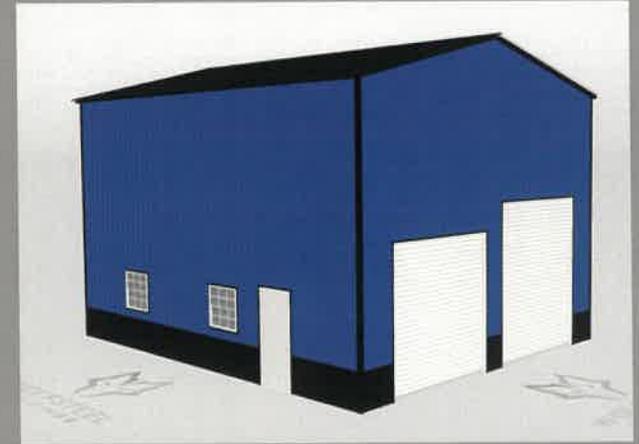
**Frameouts**  
 Corner Style: Square (Traditional)  
 Corner Style: Square (Traditional)  
 Corner Style: Square (Traditional)

**Additional Options**  
 R16 Bubble Insulation: Left Sidewall  
 R16 Bubble Insulation: Right Sidewall  
 R16 Bubble Insulation: Back Wall  
 R16 Bubble Insulation: Front Wall  
 R16 Bubble Insulation: Roof  
 29 Gauge Ag Panel (Standard)

Labor Fee  
 Colored Screws

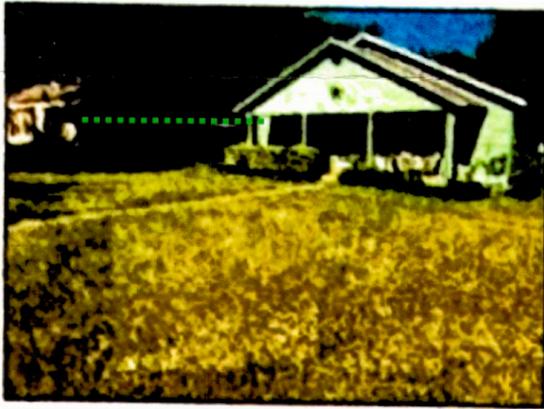
Foam Enclosure (Doors and Windows Not Included)

## Garage Doors Facing the Alley

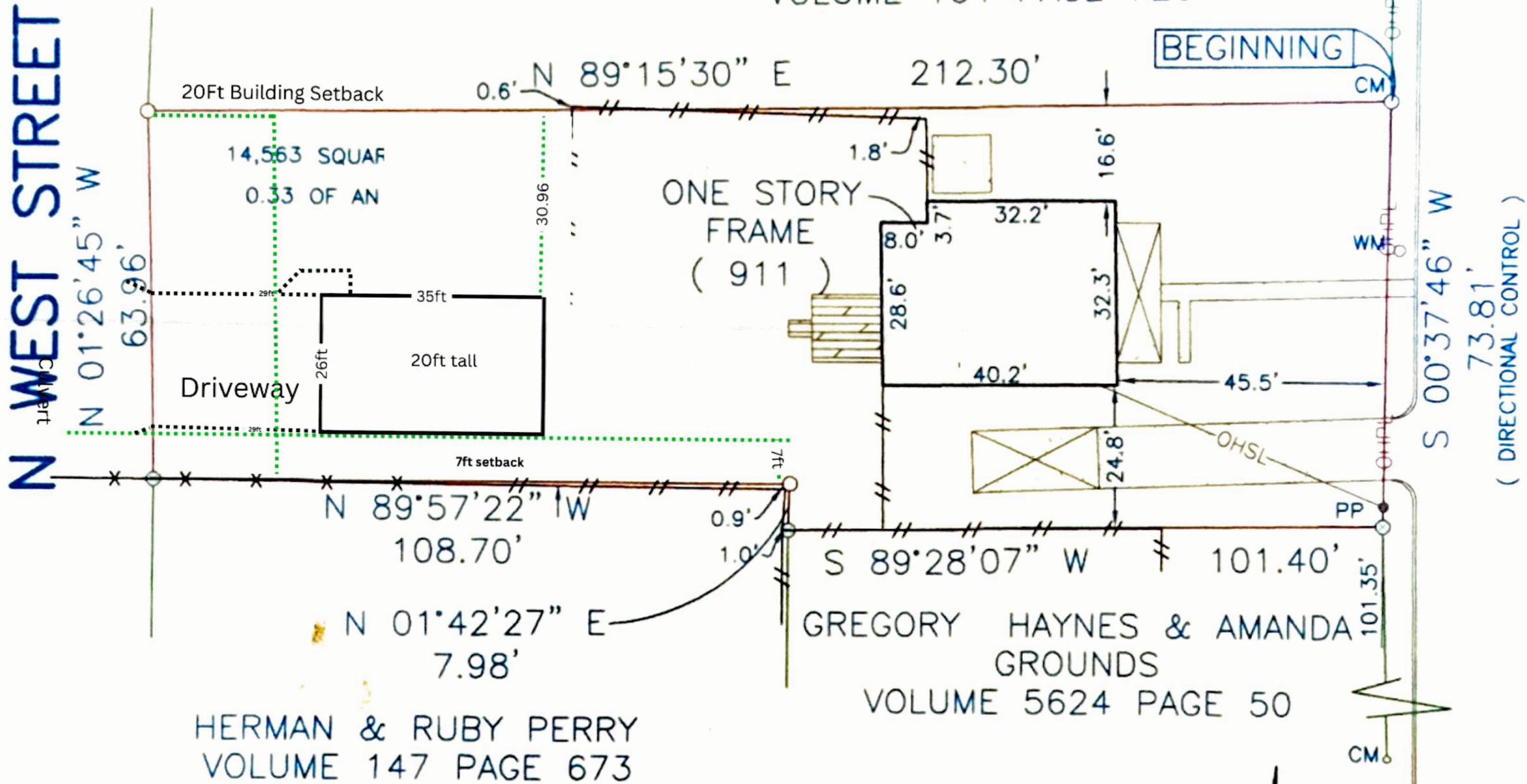


## Portion Facing the Home

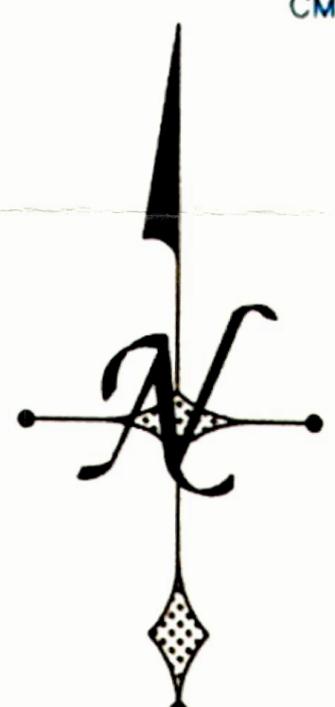




DERYL & DEBRA PEOPLES  
VOLUME 164 PAGE 720



SCALE 1" = 40'



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *DETACHED GARAGE* THAT EXCEEDS THE MAXIMUM SIZE AND HEIGHT ON A 0.3168-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK 5, GARNER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Ben Lewis for the approval of a *Specific Use Permit (SUP)* for a *Detached Garage* on a 0.3168-acre parcel of land identified as Lot 3, Block 5, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 911 N. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Detached Garage* that exceeds the maximum permissible size and height as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future

-- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) The *Detached Garage* shall not exceed a maximum height of 20-feet.
- 4) The *Detached Garage* shall not exceed a maximum size of 910 SF.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF AUGUST, 2024.

\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: July 15, 2024

2<sup>nd</sup> Reading: August 5, 2024

**Exhibit 'A':**  
*Location Map*

Address: 911 N. Alamo Road

Legal Description: Lot 3, Block 5, Garner Addition



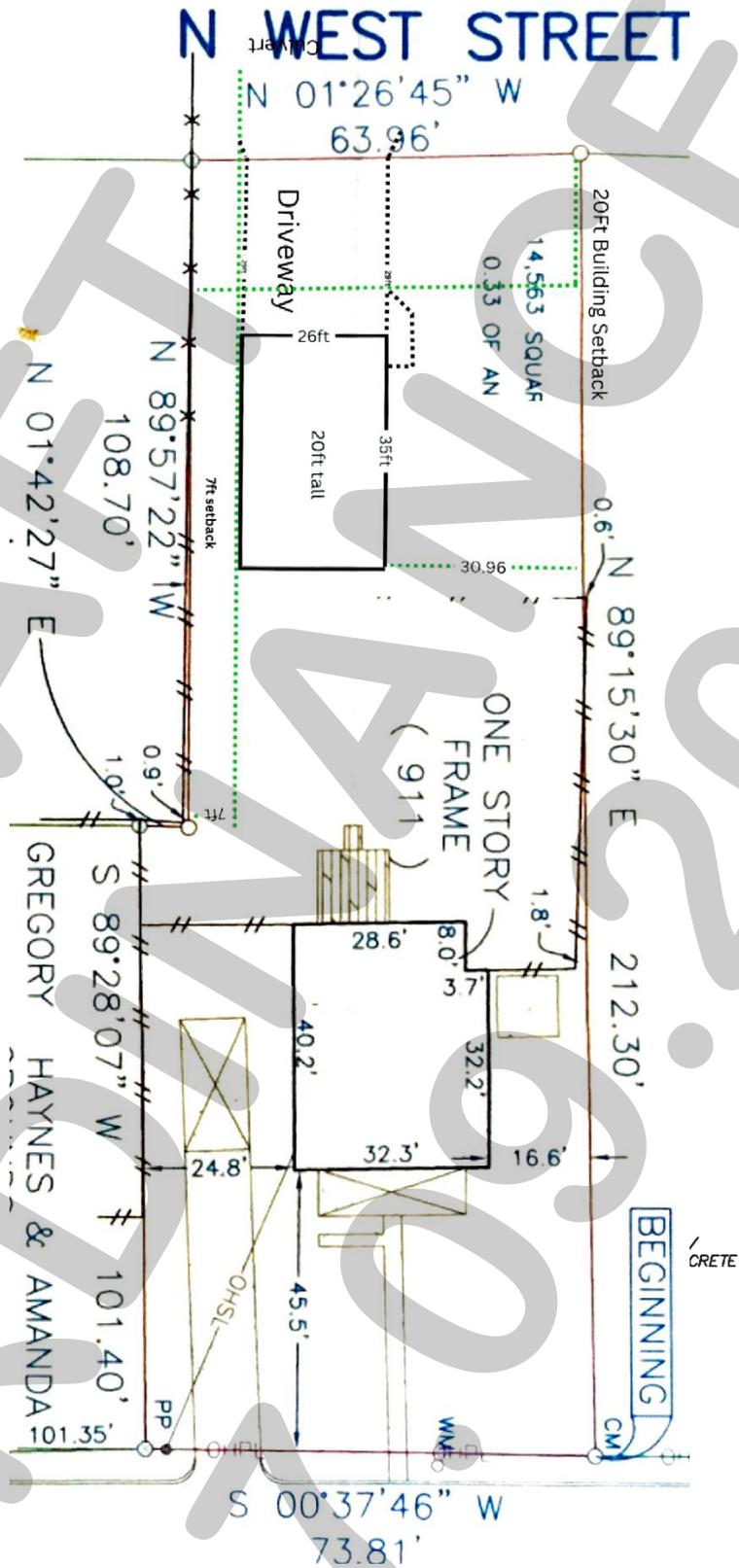
**City of Rockwall**

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

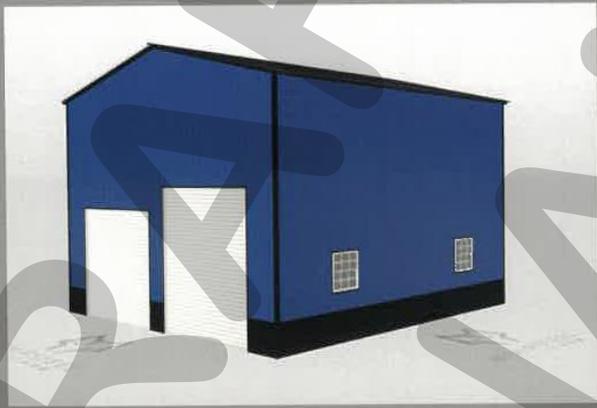


Exhibit 'B':  
Residential Plot Plan



**Exhibit 'C':**  
*Building Elevations*

Garage Doors Facing  
the Ally



Portion Facing the  
Home





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** July 9, 2024

**APPLICANT:** David Bohorquez

**CASE NUMBER:** Z2024-030; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 329 Harborview Drive*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevations, maximum pad elevations, and maximum house heights was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD-8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

### PURPOSE

The applicant -- *David Bohorquez* -- is requesting the approval of a *Specific Use Permit (SUP)* for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 329 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land (*i.e. 331, 333, 335, & 337 Harborview Drive*) developed with single-family homes. Beyond this is a 6.242-acre tract of land (*i.e. Tract 134-06 of the E. Teal Survey, Abstract No. 207*) that is owned by the Chandlers Landing Community Association. North of this is Phase 9 of the Chandlers Landing Subdivision, which consists of 14 single-family residential lots and has been in existence since April 1, 1975. All of these properties are zoned Planned Development District 8 (PD-8).

South: Directly south of the subject property are two (2) parcels of land (*i.e. 325 & 327 Harborview Drive*) developed with single-family homes. Beyond this is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. South of this are the corporate limits of the City of Rockwall followed by Lake Ray Hubbard, which is owned and maintained by the City of Dallas.

East: Directly east of the subject property is Harborview Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (*i.e. 320 Portview Place and 326 & 330 Harborview Drive*) and one (1) vacant parcel of land (*i.e. 328 Harborview Drive*). East of this is Portview Place, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the remainder of Phase 1 of the Harbor Landing Subdivision, which was established on December 22, 1986 and consists of 38 single-family residential lots. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is Phase 2 of the Cutter Hills Subdivision which is situated on 1.17-acres, consists of 27 single-family residential lots, and has been in existence since November 17, 1977. Beyond this is Phase 1 of the Cutter Hills Subdivision which is situated on 0.89-acres, consists of 20 single-family residential lots, and has been in existence since January 4, 1977. West of this is an 8.775-acre parcel of land that houses the Chandlers Landing Yacht Club and belongs to the Chandlers Landing Community Association. All of these properties are zoned Planned Development District 8 (PD-8).

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is adjacent to Phase 1 of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 38 single-family residential lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	2007-2021	N/A
Building SF on Property	2,764 SF – 6,210 SF	5,086 SF
Building Architecture	Traditional Brick/Stucco and Modern Contemporary	Modern Contemporary
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet, 5-Inches
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet, 2-inches
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	31-Feet
Building Materials	Brick, Stone, Stucco, Siding	Stucco, Stone, Brick, and Siding
Paint and Color	Tan, Brown, Grey, White, Black	N/A

Roofs	Composite Shingles, Metal Roofs	Metal Roof
Driveways	Driveways are either flat front entry or side entry garages.	The proposed garage will be situated approximately four (4) feet in front of the front façade of the home.

In this case, the applicant is proposing a single-family home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the proposed garage is located approximately four (4) feet in front of the front façade of the single-family home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2021, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with roof pitches of 1¾ :12 and 2:12. Staff should point out that there are other homes in this phase of the Harbor Landing Subdivision with roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

## **NOTIFICATIONS**

On June 18, 2024, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler’s Landing, The Cabana at Chandler’s Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the applicant’s request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific

Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 329 HARBORVIEW DR, ROCKWALL, TX 75032

SUBDIVISION Harbor Landing Phase Two LOT 5 BLOCK B

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER DAVID BOHORQUEZ  APPLICANT \_\_\_\_\_

CONTACT PERSON DAVID BOHORQUEZ CONTACT PERSON \_\_\_\_\_

ADDRESS 1397 GLENWICK DR ADDRESS \_\_\_\_\_

CITY, STATE & ZIP ROCKWALL, TX 75032 CITY, STATE & ZIP \_\_\_\_\_

PHONE 469-766-4127 PHONE \_\_\_\_\_

E-MAIL DAVID@B6GROUPSERVICES.COM E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Bohorquez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF JUNE, 2024

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cynthia C Kides





Z2024-030: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 329 Harborview Drive

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

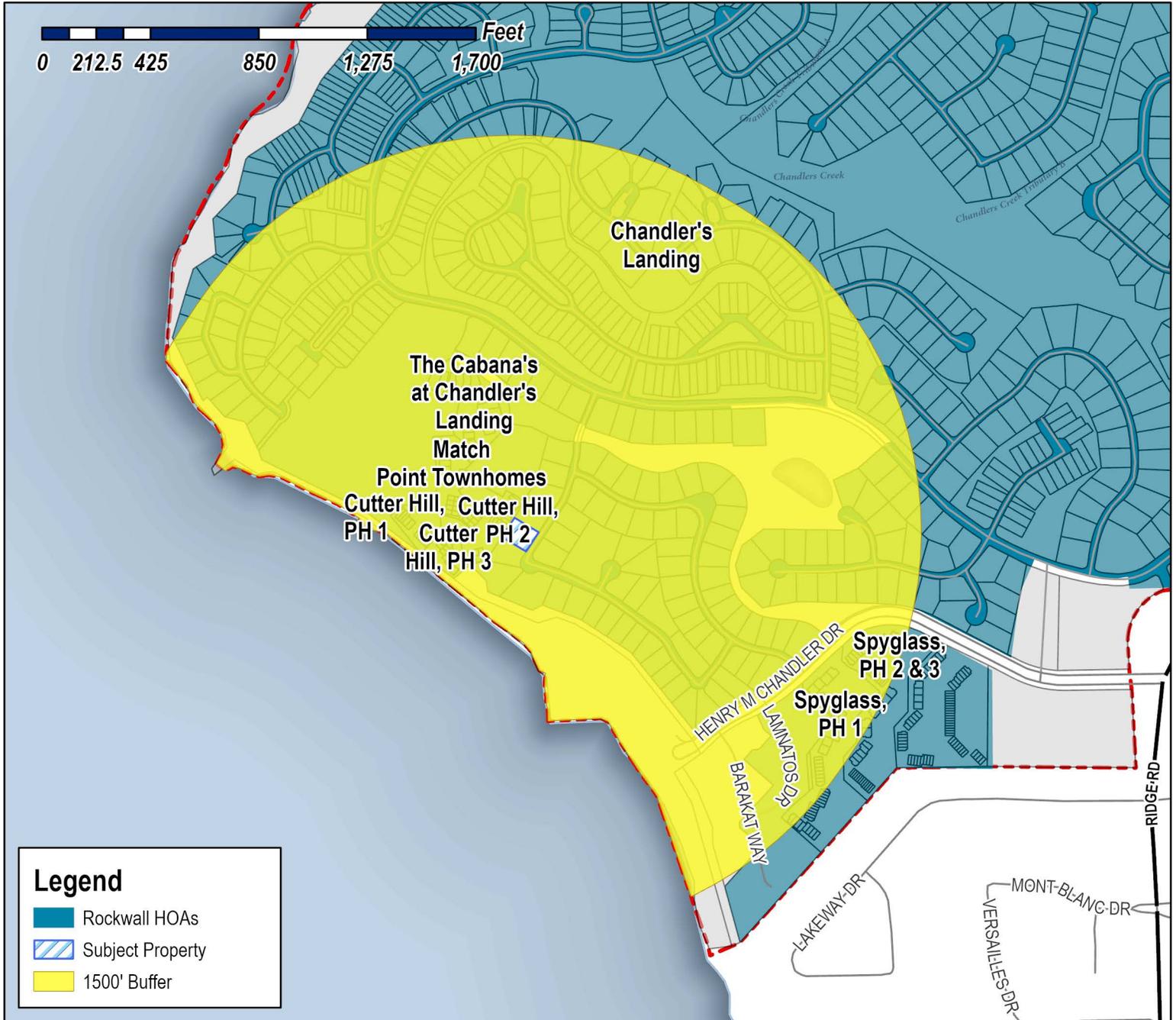




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-030  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 329 Harborview Drive

**Date Saved:** 6/13/2024  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Guevara, Angelica](#); [Ross, Bethany](#)  
**Subject:** Neighborhood Notification Program [Z2024-030]  
**Date:** Friday, June 21, 2024 1:12:01 PM  
**Attachments:** [HOA Map \(06.17.2024\).pdf](#)  
[Public Notice \(P&Z\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday June 21, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-030: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

Thank you,

***Melanie Zavala***

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

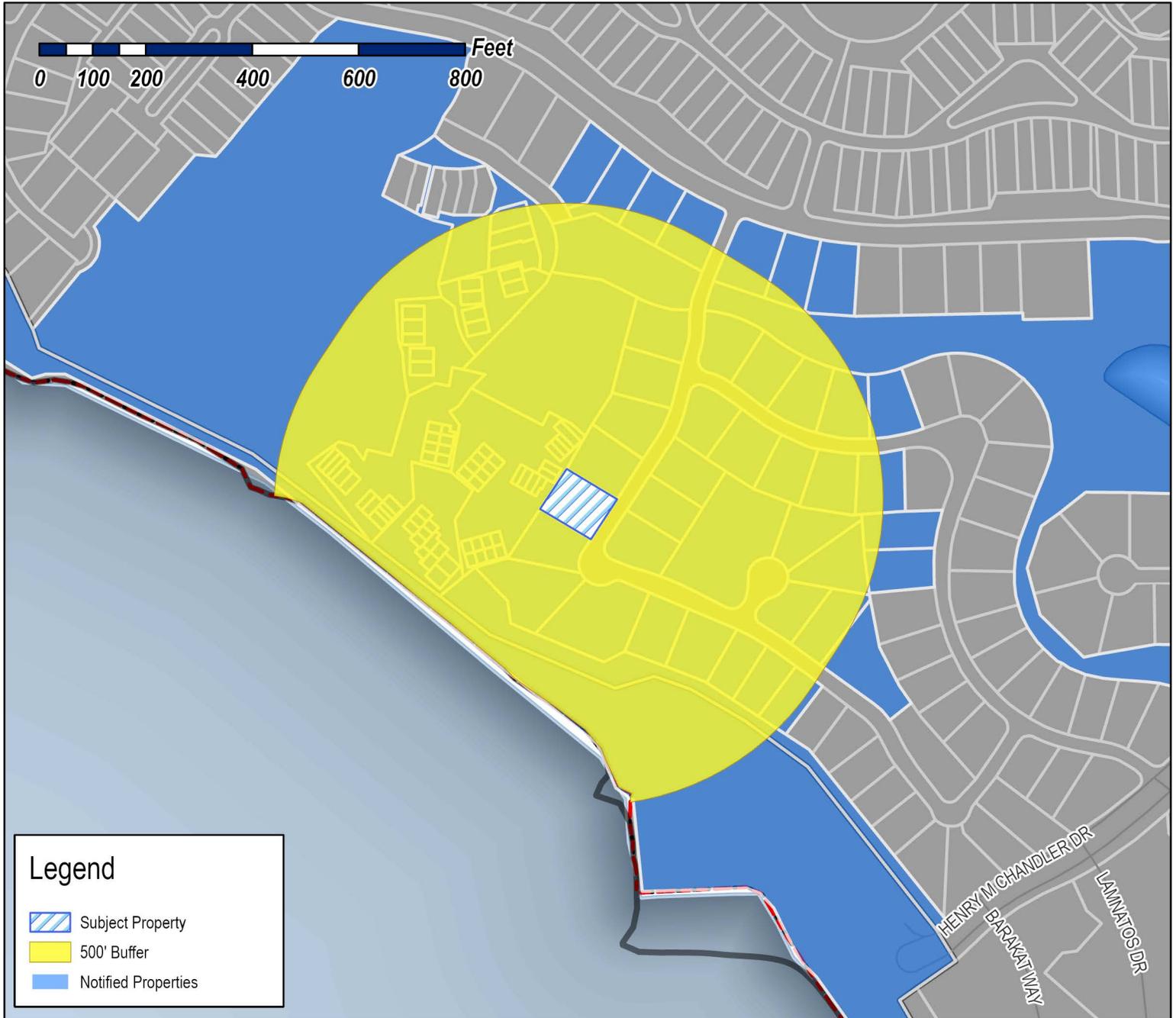
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-030  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 329 Harborview Drive

**Date Saved:** 6/13/2024

For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC  
1 COMMODORE PLAZA  
ROCKWALL, TX 75032

WILLIS PATRICIA D  
12218 GLADWICK DR  
HOUSTON, TX 77077

CROUCH FAMILY LIVING TRUST  
JERROLD F AND KATHLEEN A CROUCH TRUSTEES  
134 HENRY M. CHANDLER DR.  
ROCKWALL, TX 75032

BOHORQUEZ DAVID  
1397 GLENWICK DRIVE  
ROCKWALL, TX 75032

BRAD RHODES REALTY LLC  
1514 ANDY DRIVE  
SHERMAN, TX 75092

DALROCK INDEPENDENCE LLC  
1718 CAPITOL AVE  
CHEYENNE, WY 82001

RAY HUBBARD SMI JV LLC  
17330 PRESTON ROAD SUITE 220A  
DALLAS, TX 75252

ESTATE OF KENNETH GENE PONDER  
ELMA PONDER, EXECUTOR  
1850 ASHBOURNE DRIVE  
ROCKWALL, TX 75087

VREELAND DENISE AND  
DAN CALNON  
1956 GEAR AVE  
FAIRFIELD, IA 52556

VINES AMY  
200 VZCR 3710  
EDGEWOOD, TX 75117

VINES GREGORY S  
200 VZCR 3710  
EDGEWOOD, TX 75117

LAZYDALE PARTNERS LLP  
202 N SAN JACINTO  
ROCKWALL, TX 75087

SELZER DEANNA  
202 RAINBOW CIRCLE  
ROCKWALL, TX 75032

SLATE CRAIG AND TANYA  
208 S AVENIDA DEL SEMBRADOR  
TUSCAN, AZ 85745

COLLICHIO KIMBERLY ANN  
210 RAINBOW CIR  
ROCKWALL, TX 75032

MCCALLUM TERRY  
2231 W FM 550  
ROCKWALL, TX 75032

SARA M FRANKEL TRUST  
SARA M FRANKEL - TRUSTEE  
2366 FAYETTEVILLE AVE  
HENDERSON, NV 89052

ZUCCHERO MICHAEL  
24212 NOBE ST  
CORONA, CA 92883

ROBERTS GARREN AND MARY BERNADETTE  
FIDELMA  
25112 SLEEPY HOLLOW  
LAKE FOREST, CA 92630

PORTER INVESTMENTS LLC  
3 COVE CREEK COURT  
HEATH, TX 75032

RESIDENT  
308 HARBORVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75087

TAYLOR ANTHONY  
311 HARBOR LANDING  
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA  
311 HARBORVIEW DR  
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L  
312 PORTVIEW PL  
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND  
ROSSITZA I POPOVA  
313 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R  
313 HARBORVIEW DR  
HEATH, TX 75032

PENCE DENNIS AND DIANNA  
314 PORTVIEW PL  
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE  
315 HARBORVIEW DR  
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH  
316 PORTVIEW PL  
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH  
316 PORTVIEW PL  
ROCKWALL, TX 75032

RESIDENT  
317 HARBORVIEW DR  
ROCKWALL, TX 75087

QUILLEN BOBBY RAY JR  
317 HARBOR LANDING DR  
ROCKWALL, TX 75032

BAILEY WAYNE & JACQUELINE  
319 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

SELF JANET  
319 HARBORVIEW DR  
ROCKWALL, TX 75032

SELF SCOTT L & JAN  
319 HARBORVIEW DR  
ROCKWALL, TX 75032

POTTS JASON AND ANNA  
320 PORTVIEW PLACE  
ROCKWALL, TX 75032

RESIDENT  
321 HARBORVIEW DR  
ROCKWALL, TX 75087

LINNSTAEDTER RANDALL AND KIMBERLY  
321 HARBOR LANDING DR  
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN  
322 HARBOR LANDING DR  
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K  
323 HARBOR LANDING DR  
ROCKWALL, TX 75032

RIZZARI VANESSA GABRIELA  
324 HARBOR LANDING DR  
ROCKWALL, TX 75032

GRAY RUSSELL LEE  
325 HARBOR LANDING DR  
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C  
325 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
326 HARBORVIEW DR  
ROCKWALL, TX 75087

DENIKE SARAH  
326 HARBOR LANDING DR  
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES  
327 HARBORVIEW DR  
ROCKWALL, TX 75032

Haidar Lamora J and  
Lucinda K Polhemus  
327 Yacht Club Drive  
Rockwall, TX 75032

RESIDENT  
328 HARBORVIEW DR  
ROCKWALL, TX 75087

WHETSELL BETTY R  
328 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
329 HARBORVIEW DR  
ROCKWALL, TX 75087

BOOKHOUT JAMES M & KATHRYN C  
329 YACHT CLUB DR  
ROCKWALL, TX 75032

MATTES JOHN AND TONG  
330 HARBOR LANDING DR  
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDOS AND ANDRESSA  
HENDLER  
330 HARBORVIEW DR  
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D  
331 HARBORVIEW DR  
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN  
331 YACHT CLUB DRIVE  
ROCKWALL, TX 75032

DAMALUX RENTAL AND REMODELING LLC  
3320 AUGUSTA BLVD  
ROCKWALL, TX 75087

RESIDENT  
333 YACHT CLUB DR  
ROCKWALL, TX 75087

TMCC TRUST  
THOMAS V MCCROSSAN- TRUSTEE  
333 HARBORVIEW DRIVE  
ROCKWALL, TX 75032

MARTIN AND LISA MANASCO LIVING TRUST  
MARTIN EDWARD MANASCO AND LISA MARIE  
MANASCO- TRUSTEES  
335 HARBORVIEW DR  
ROCKWALL, TX 75032

MCCROSSAN LIA AND JAMES  
337 HARBORVIEW DRIVE  
ROCKWALL, TX 75032

KORTEMIER WILLIAM F  
401 YACHT CLUB DR  
ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY  
403 YACHT CLUB DR  
ROCKWALL, TX 75032

RESIDENT  
405 YACHT CLUB DR  
ROCKWALL, TX 75087

CENSULLO TERESA ANN  
405 COLUMBIA DR  
ROCKWALL, TX 75032

WISE RUTHANNE  
407 YACHT CLUB DRIVE  
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S  
4109 DESERT GARDEN DR  
PLANO, TX 75093

FRONTERA JOSE ANTONIO & CAROLINE  
4241 BUENA VISTA #18  
DALLAS, TX 75205

RESIDENT  
426 S YACHT CLUB DR  
ROCKWALL, TX 75087

JONES AMBER  
426 YACHT CLUB DR UNIT H  
ROCKWALL, TX 75032

PETTITT GREGORY S AND CONNIE L  
426 YACHT CLUB DRIVE APT D  
ROCKWALL, TX 75032

WEEKLEY PATRICIA H  
426 YACHT CLUB DRIVE #G UNIT C-3  
ROCKWALL, TX 75032

RESIDENT  
428 YACHT CLUB DR  
ROCKWALL, TX 75087

WRIGHT RHONDA LYNN  
428 YACHT CLUB DR APT C  
ROCKWALL, TX 75032

WRIGHT RHONDA  
428C YACHT CLUB DR  
ROCKWALL, TX 75032

GALLIGUEZ PRESILO A & ANNABELLE B  
429 YACHT CLUB DR B UNIT A 2  
ROCKWALL, TX 75032

RESIDENT  
430 S YACHT CLUB DR  
ROCKWALL, TX 75087

STROUD SUZETTE AND ANDY  
430A YACHT CLUB  
ROCKWALL, TX 75032

KAY SUZANNE KAY  
430E YACHT CLUB DRIVE  
ROCKWALL, TX 75032

BARRINGER VAN  
4310 COCHRAN CHAPEL CIR  
DALLAS, TX 75209

RESIDENT  
436 S YACHT CLUB DR  
ROCKWALL, TX 75087

BECK JOAN K  
436 YACHT CLUB DR APT A  
ROCKWALL, TX 75032

MERCKLING BRYAN AND SARAH HUSSAIN  
436 YACHT CLUB DRIVE #G  
ROCKWALL, TX 75032

HALL DEREK  
436C YACHT CLUB DRIVE  
ROCKWALL, TX 75032

RESIDENT  
438 S YACHT CLUB DR  
ROCKWALL, TX 75087

WALLACE BRITTANY  
438 S YACHT CLUB DR APT H  
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH  
438 YACHT CLUB #E  
ROCKWALL, TX 75032

JAMES DEBRA SUE  
438 YACHT CLUB DR APT D  
ROCKWALL, TX 75032

BARLOW DAVID ALLEN  
438 YACHT CLUB DR APT F  
ROCKWALL, TX 75032

TUCKER ASHLEY NICOLE  
438 YACHT CLUB DR #G  
ROCKWALL, TX 75032

SFIKAS SCOTT  
438 YACHT CLUB DRIVE APT C  
ROCKWALL, TX 75032

RESIDENT  
440 S YACHT CLUB DR  
ROCKWALL, TX 75087

BROWN CYNTHIA  
440 YACHT CLUB UNIT E  
ROCKWALL, TX 75032

SERRANO MANUEL  
440 YACHT CLUB DR UNIT B  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
4401 GMD UNIT 702  
LONGBOAT KEY, FL 34228

RESIDENT  
442 S YACHT CLUB DR  
ROCKWALL, TX 75087

SPOENEMAN DAVID AND JODI  
442A YACHT CLUB APT A  
ROCKWALL, TX 75032

RESIDENT  
450 S YACHT CLUB DR  
ROCKWALL, TX 75087

ARMSTRONG MARK C  
450 YACHT CLUB DRIVE UNIT C  
ROCKWALL, TX 75032

RUYON DANA T  
450A YACHT CLUB DRIVE  
ROCKWALL, TX 75032

RESIDENT  
452 S YACHT CLUB DR  
ROCKWALL, TX 75087

SULLIVAN ROBERT MICHAEL  
452 YACHT CLUB DR #B  
ROCKWALL, TX 75032

ROGERS TARA MICHELLE & FRANCISCO LOPEZ  
454 YACHT CLUB DR  
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K  
456 YACHT CLUB DRIVE, C UNIT 302  
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K  
456 YACHT CLUB DRIVE, C UNIT 302  
ROCKWALL, TX 75032

RESIDENT  
458 S YACHT CLUB DR  
ROCKWALL, TX 75087

CLAYCOMB DENISE MASUNAS AND JOHN  
WILLIAM  
458 YACHT DRIVE 458A  
ROCKWALL, TX 75032

BENDER VIRGINIA  
4600 GREENVILLE AVE STE 180  
DALLAS, TX 75206

RESIDENT  
501 YACHT CLUB DR  
ROCKWALL, TX 75087

HAMMOND LIVING TRUST  
519 E I30 #704  
ROCKWALL, TX 75087

HARMON H VICTOR ETUX  
519 E INTERSTATE 30 PMB 212  
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C  
519 E INTERSTATE 30 PMB 212  
ROCKWALL, TX 75087

HOGAN CANDICE LYNN AND  
KEVIN PETER CRANTZ  
522 YACHT CLUB DRIVE  
ROCKWALL, TX 75032

DEATON KHRISTY & ROBERT  
524 YACHT CLUB DR  
ROCKWALL, TX 75032

RESIDENT  
526 YACHT CLUB DR  
ROCKWALL, TX 75087

RESIDENT  
528 YACHT CLUB DR  
ROCKWALL, TX 75087

RESIDENT  
530 YACHT CLUB DR  
ROCKWALL, TX 75087

RESIDENT  
532 YACHT CLUB DR  
ROCKWALL, TX 75087

TROTTER STEVEN DOUGLAS & LISA ANN  
534 YACHT CLUB DRIVE  
ROCKWALL, TX 75032

DENNALLEY DENA S  
536 YACHT CLUB DR  
ROCKWALL, TX 75032

RESIDENT  
540 YACHT CLUB DR  
ROCKWALL, TX 75087

RESIDENT  
542 YACHT CLUB DR  
ROCKWALL, TX 75087

FULLER JULIE  
5425 BYERS AVE  
FORT WORTH, TX 76107

JOHNSON BETTY  
544 YACHT CLUB DR  
ROCKWALL, TX 75032

STENBERG SHANE & TRACY ENGLISH  
5449 MARTEL  
DALLAS, TX 75206

RESIDENT  
546 YACHT CLUB DR  
ROCKWALL, TX 75087

GIBSON JEANETTE L  
548 YACHT CLUB DR  
ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST  
JENNIFER REBECCA BLUM- TRUSTEE  
5556 CANADA CT  
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC  
5601 RANGER DR  
ROCKWALL, TX 75032

BRANCO ANTHONY J  
5731 SOUTHERN CROSS DR  
ROCKWALL, TX 75032

ULMEN PEGGY SUE  
5909 VOLUNTEER PLACE  
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

RESIDENT  
7 GREENBELT  
ROCKWALL, TX 75087

STIEGELMAR RICHARD L AND DORA L  
7 MAGNOLIA DR  
MEXICO BEACH, FL 32456

VELASCO ALEJANDRO PORTOCARRERO AND  
STEPHANIE G ARAMAYO  
7205 STONE MEADOW CIR  
ROWLETT, TX 75088

ARMSTRONG JOHN D  
804 EAGLE PASS  
HEATH, TX 75032

ESPARZA KRISTIN  
8565 PLAINFIELD ROAD  
LYONS, IL 60534

DALTON PAMELA JOY, TRUSTEE  
PAMELA JOY DALTON LIVING TRUST  
872 RATHBONE CIRCLE  
FOLSOM, CA 95630

STEPHENSON ROBIN AND LARRY JR  
9005 BRIARCREST DR  
ROWLETT, TX 75089

MALLARD DAVID S & SHERRY A  
9405 WAYNE AVE  
LUBBOCK, TX 79424

SELF BILLY & KATIE  
C/O PRO SOAP 321 HARBORVIEW DR  
ROCKWALL, TX 75032

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2024-030: SUP for a Residential Infill**

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2024-030: SUP for a Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

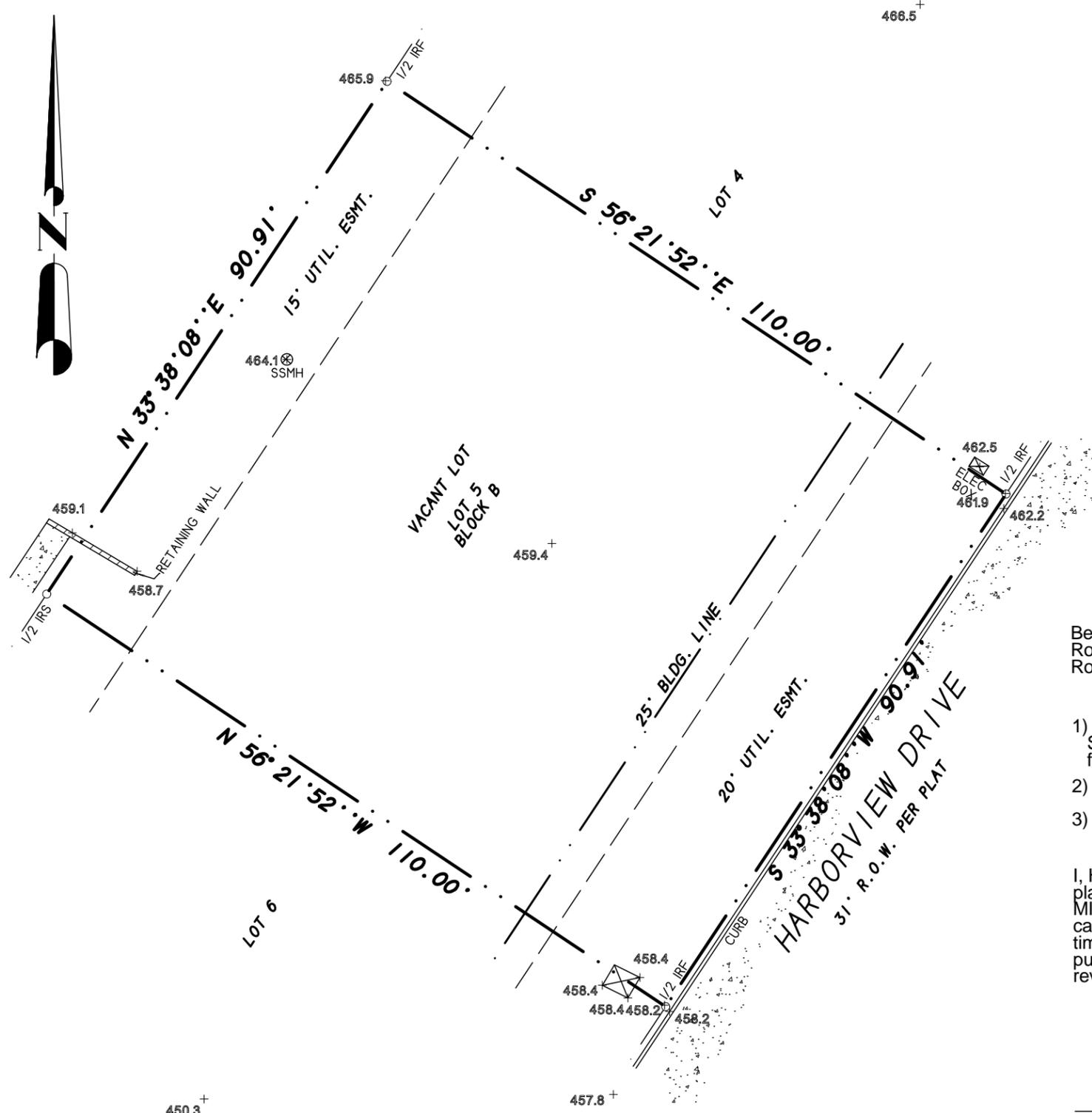
[Empty form area for comments]

Name: [Input field]  
Address: [Input field]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLAT OF SURVEY



DESCRIPTION

Being Lot 5, Block B, of HARBOR LANDING PHASE TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY, ROCKWALL RENTAL PROPERTIES, and MIKE WHITTLE, at HARBORVIEW DRIVE, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 29th day of June, 2009.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
⊕	⊗	⊕	⊕
TELEVISION CABLE RISER	GAS METER	TEL. PHONE RISER	FH FIRE HYDRANT
⊕	⊕	⊕	⊕
ELEC. ELECTRIC METER	ELEC. BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE
—	—	—	—
FENCE	EASEMENT LINE	A/C AIR COND. UNIT	PROPANE TANK
—	—	—	—
	PROPERTY LINES		

SURVEY DATE	JUNE 29, 2009
SCALE	1" = 20'
CLIENT	RRP
FILE #	20090418-5
GF #	NONE

SURVEY ACCEPTED BY:

\_\_\_\_\_ DATE \_\_\_\_\_

\_\_\_\_\_ DATE \_\_\_\_\_

**H.D. Fetty Land Surveyor, LLC**

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE 972-635-9979 FAX

**SQUARE FOOTAGE CALCULATIONS:**

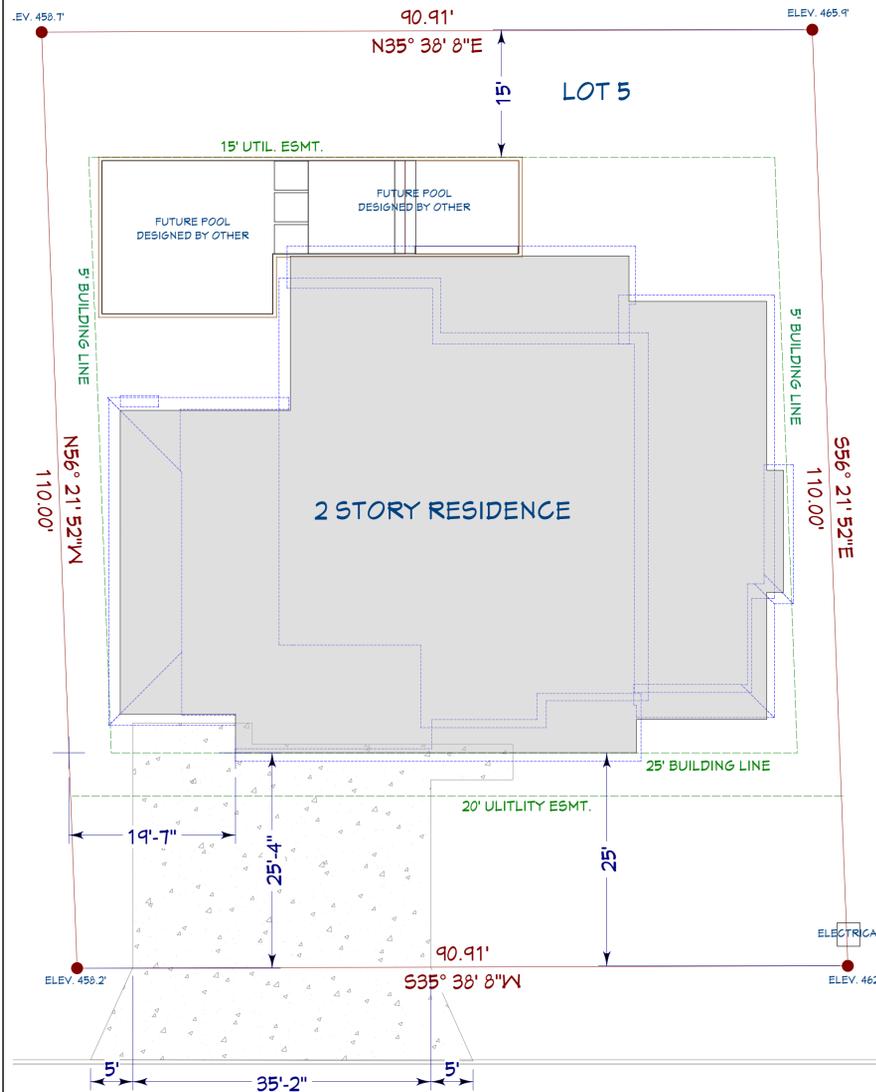
- I. GARAGE & PORCH SQFT INCLUDE BRICK LEDGE.
- II. SQFT LISTED BY ROOM ARE FOR INTERIOR AREA ONLY, SHEETROCK TO SHEETROCK. THIS TO AID IN CALCULATING HVAC LOADS & FLOORING TAKEOFFS.
- III. FLOORING MATERIAL SQFT IS CALCULATED BY SHEETROCK TO SHEETROCK AREA & INCLUDES THE AREA UNDER CABINETS.

**NOTICE & DISCLAIMER**

UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

**BOHORQUEZ RESIDENCE G ©**  
**329 HARBORVIEW DR. ROCKWALL, TX 75032**  
**GENERAL OVERVIEW**

111 FARMERSVILLE PKWY STE. 300  
 FARMERSVILLE, TX. 75442  
 (972) 784-9044  
 sales@tracyscustomhomes.com  
 www.tracyscustomhomes.com



**HARBORVIEW DRIVE**

**SITE PLAN**

SCALE: 1" = 10'

LOT 5, BLOCK B  
 HARBOR LANDING PHASE 2  
 CITY OF ROCKWALL, TX

WATER LINE - 1-1/4"  
 ELECTRICAL - 200AMP SERVICE



THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT & PROPERTY OF TRACY'S CUSTOM HOMES. USE OF THESE DRAWINGS & CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF TRACY'S CUSTOM HOMES IS PROHIBITED & MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

DRAWING PACKAGE		AREA (Sq. Ft.)	
PAGE #	TITLE		
1	GENERAL OVERVIEW	1st Floor Living	2630
2	MAIN FLOOR PLAN	Total Garages	833
3	UPSTAIRS & SCHEDULES	Total Porches	442
4	EXTERIOR ELEVATIONS	<b>Total Foundation</b>	<b>3905</b>
5	ROOF PLAN	2nd Floor Living	1181
6	ELECTRICAL	<b>Total Living</b>	<b>3811</b>
7	ELECTRICAL 2ND FLOOR	<b>Total Under Roof</b>	<b>5086</b>
8	ROUGH-IN	Total Sun Deck	671
9	CABINETS	Total Carpet	1196
		Total Tile	500
		Total Wood	2428

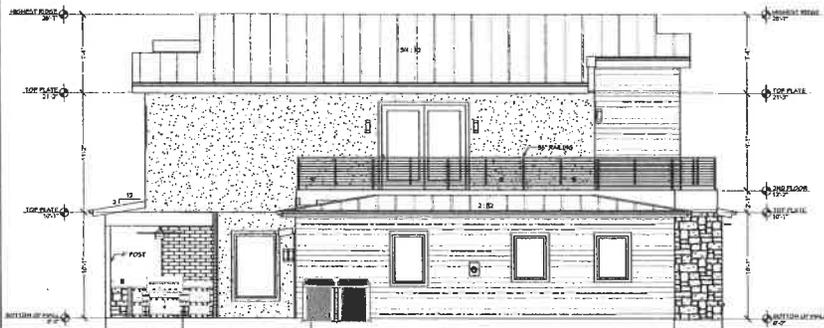
- 1. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, NOTES, & CONDITIONS PRIOR TO THE START OF ANY WORK.
- 2. ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS
- 3. THE AUTHOR OF THESE DOCUMENTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR ANY PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK, & SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE UNIFORM BUILDING CODES (UBC) & LOCAL BUILDING CODES, OR AS SPECIFICALLY NOTED ON THESE PLANS & CALCULATIONS, WITH THE MOST STRINGENT CONDITION GOVERNING.

DRAWN BY: KENDALL NOTO  
 CHECKED BY: ROY HOMFELD  
 SHEET SIZE: ARCH D (24" x 36")

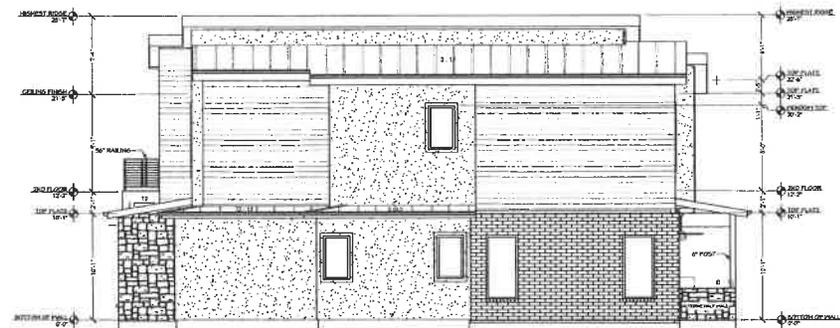




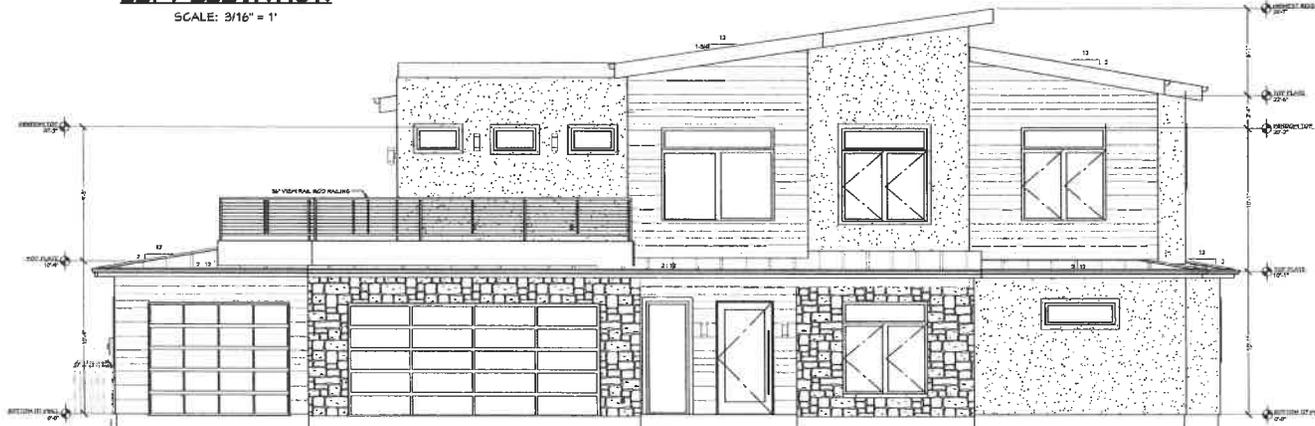
**REAR ELEVATION**  
SCALE: 1/4" = 1'



**LEFT ELEVATION**  
SCALE: 3/16" = 1'



**RIGHT ELEVATION**  
SCALE: 3/16" = 1'



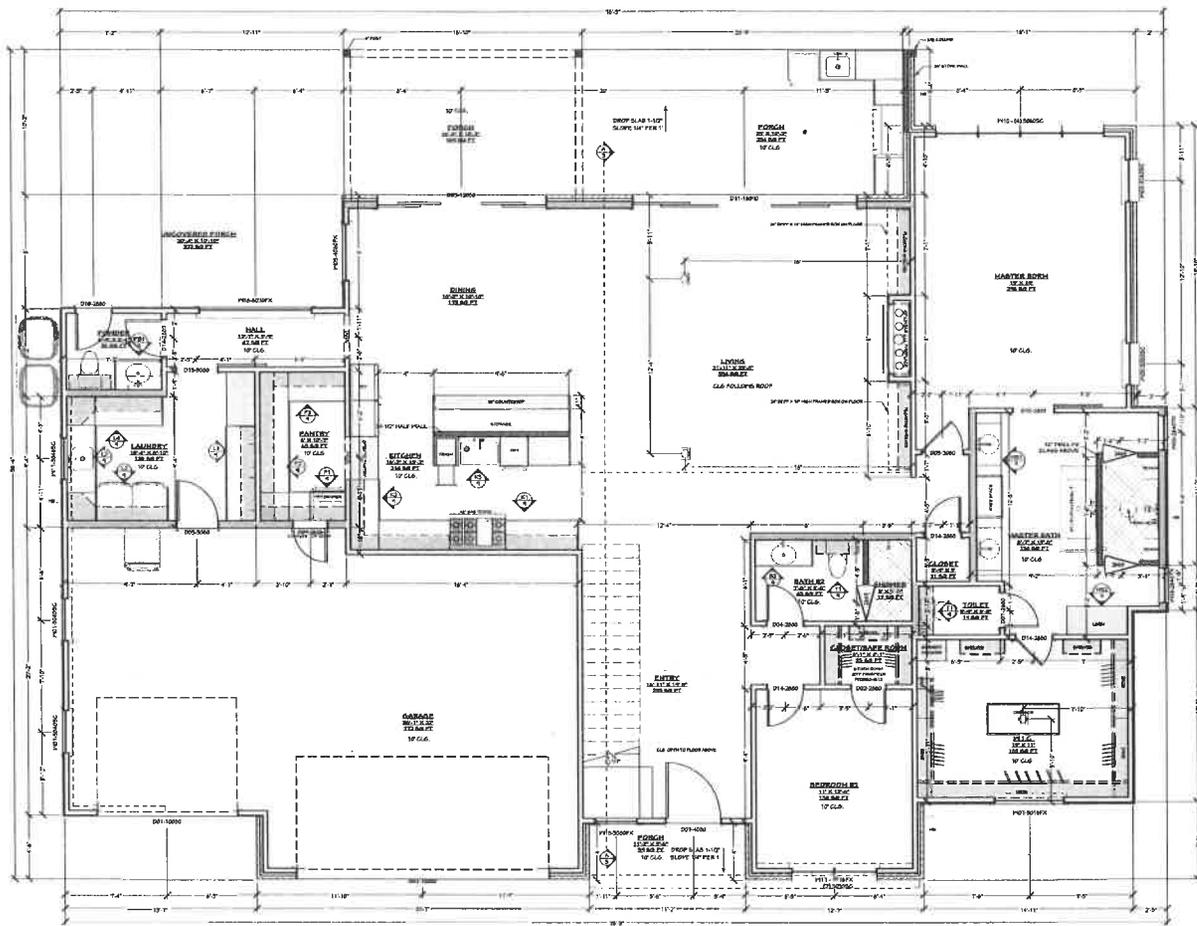
**FRONT ELEVATION**  
SCALE: 1/4" = 1'

**NOTICE & DISCLAIMER**  
UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

**BOHORQUEZ RESIDENCE G ©**  
329 HARBORVIEW DR. ROCKWALL, TX 75082  
**EXTERIOR ELEVATIONS**

111 FARMERSVILLE PKWY STE. 300  
FARMERSVILLE, TX 75442  
(972) 754-9044  
sales@tracyscustomhomes.com  
www.tracyscustomhomes.com





**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'

ITEM	UNIT	AREA
Living	Sq. Ft.	2630
Garage	Sq. Ft.	833
Porch	Sq. Ft.	442
Foundation	Sq. Ft.	3905
2nd Floor Living	Sq. Ft.	1181
Total Living	Sq. Ft.	3811
Total Under Foot	Sq. Ft.	5638
Total Sun Deck	Sq. Ft.	671
Total Carpet	Sq. Ft.	1196
Total Tile	Sq. Ft.	500
Total Wood	Sq. Ft.	2428

AREA (Sq. Ft.)	Value
1st Floor Living	2630
Total Garages	833
Total Porches	442
Total Foundation	3905
2nd Floor Living	1181
Total Living	3811
Total Under Foot	5638
Total Sun Deck	671
Total Carpet	1196
Total Tile	500
Total Wood	2428

BUILDING CONTRACTOR/OWNER TO VERIFY ALL DIMENSIONS, SPECS. & CONNECTIONS BEFORE CONSTRUCTION BEGINS.  
PLANS DESIGNED BY WCL INC.

**NOTICE & DISCLAIMER**  
UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

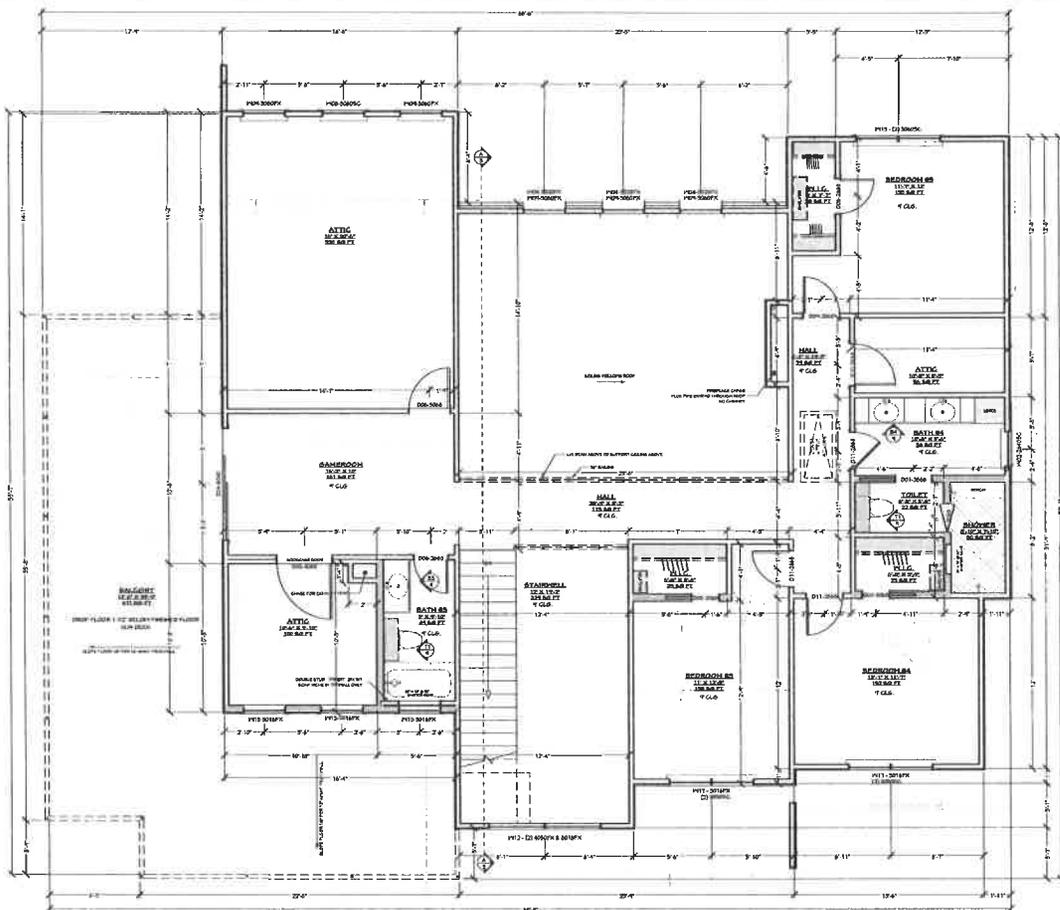
**BOHORQUEZ RESIDENCE G ©**  
329 HARBORVIEW DR. ROCKWALL, TX 75032  
**MAIN FLOOR PLAN**

111 FARMERSVILLE PKWY STE. 300  
FARMERSVILLE, TX, 75442  
(972) 784-9044  
sales@tracyscustomhomes.com  
www.tracyscustomhomes.com

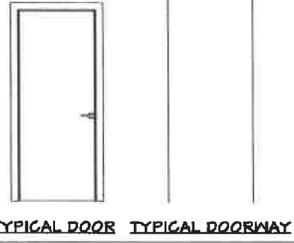


NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
D01	[Symbol]	1	1000	1 5/8"	34726 514"	Comp
D02	[Symbol]	1	1000	1 5/8"	34726 12"	Comp
D03	[Symbol]	1	1200 L R EX	1 5/8"	34726 112"	Quad Slab
D04	[Symbol]	1	2000 R EX	1 5/8"	34726 514"	Slab
D05	[Symbol]	1	2000 L EX	1 5/8"	34726 12"	Hinged
D06	[Symbol]	1	3000 R EX	1 5/8"	34726 12"	Hinged
D07	[Symbol]	1	4000 L EX	1 5/8"	34726 514"	Hinged
D08	[Symbol]	1	4000 R EX	1 5/8"	34726 12"	Hinged
D09	[Symbol]	1	3000 L EX	1 5/8"	34726 12"	Hinged
D10	[Symbol]	1	2000 R EX	1 5/8"	34726 514"	Hinged
D11	[Symbol]	1	1000 L R EX	1 5/8"	34726 112"	Quad Slab

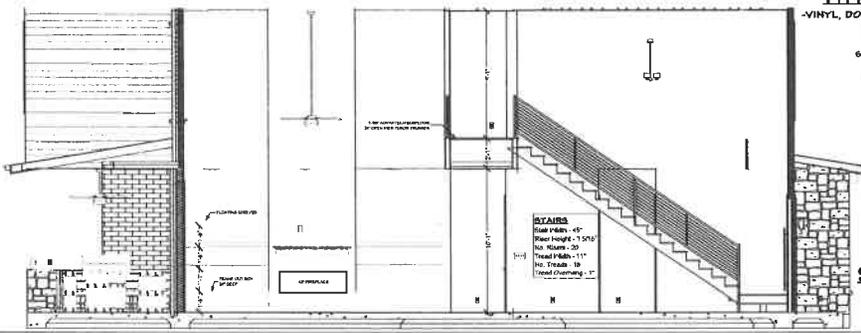
NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
D01	[Symbol]	1	3360 R	1 5/8"	34726 12"	Fixed
D02	[Symbol]	1	2400 L R	1 5/8"	34726 12"	Hinged
D03	[Symbol]	1	2000 L	1 5/8"	34726 12"	Fixed
D04	[Symbol]	1	2000 L R	1 5/8"	34726 12"	Hinged
D05	[Symbol]	1	1000 L R	1 5/8"	34726 12"	Hinged
D06	[Symbol]	3	2400 L R	1 5/8"	34726 12"	Hinged
D07	[Symbol]	1	2400 R H	1 5/8"	34726 12"	Hinged
D08	[Symbol]	1	2000 R	1 5/8"	34726 12"	Fixed
D09	[Symbol]	1	2000 L R	1 5/8"	34726 12"	Hinged
D10	[Symbol]	1	2000 R H	1 5/8"	34726 12"	Hinged
D11	[Symbol]	3	2400 R H	1 5/8"	34726 12"	Hinged
D12	[Symbol]	4	2400 R H	1 5/8"	34726 12"	Hinged
D13	[Symbol]	1	1000 L	1 5/8"	34726 12"	Run



**2ND FLOOR PLAN**  
SCALE: 1/4" = 1'



**TYPICAL DOOR TYPICAL DOORWAY**



**TYPICAL WINDOW**  
-VINYL, DOUBLE PANE, LOW E 566-  
DH - Double Hung  
SH - Single Hung  
DH - Double Hung  
SH - Single Hung  
GC - Single Casement  
LB - Left Sliding  
RB - Right Sliding

**SECTION A-A**  
SCALE: 1/4" = 1'

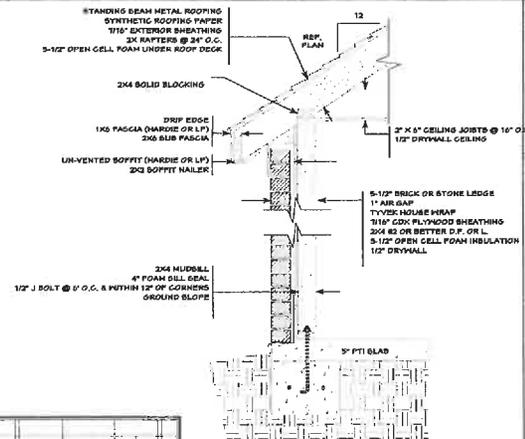
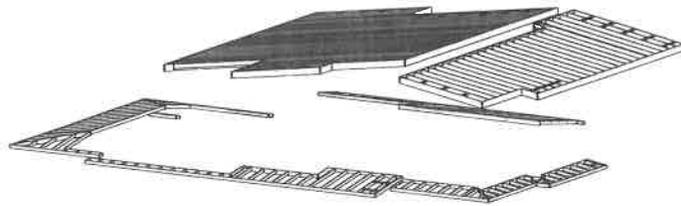
Window No.	Symbol	Qty	Typ	Temp	Unit
W101-3045C	[Symbol]	2	4"		1
W102-3045C	[Symbol]	1	4"		1
W103-4074C	[Symbol]	1	4"		1
W104-3027X	[Symbol]	3	10 1/2"		1
W105-3047Y	[Symbol]	2	4"		1
W106-3047C	[Symbol]	1	4"		1
W107-3026C	[Symbol]	3	4"		1
W108-3027X	[Symbol]	2	4"		1
W109-1013005C	[Symbol]	1	4"		1
W110-1013005C	[Symbol]	1	4"		1
W111-1013005C	[Symbol]	1	10 1/2"		1
W112-1013005C	[Symbol]	1	4"		1
W113-1013005C	[Symbol]	2	4"		1
W114-3027X	[Symbol]	1	4"		1
W115-3027X	[Symbol]	1	4"		1
W116-3027X	[Symbol]	1	4"		1

**NOTICE & DISCLAIMER**  
UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

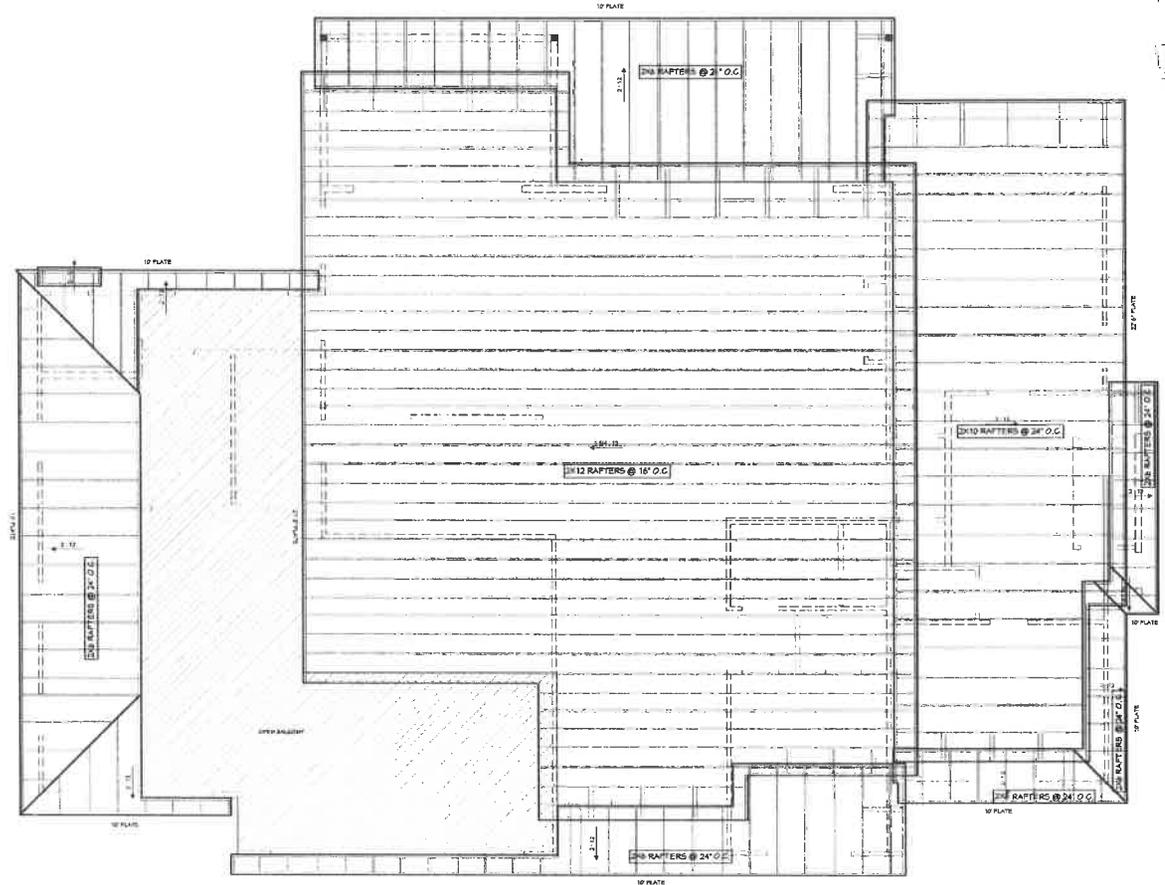
**BOHORQUEZ RESIDENCE G ©**  
329 HARBORVIEW DR. ROCKWALL, TX 75032  
**UPSTAIRS & SCHEDULES**

111 FARMERSVILLE PKWY STE. 300  
FARMERSVILLE, TX, 75442  
(972) 784-9044  
sales@tracyscustomhomes.com  
www.tracyscustomhomes.com





**WALL/ROOF  
DETAIL**  
N.T.S.



**ROOF PLAN**  
SCALE: 1/4" = 1'  
3,582 SF of Metal Roofing

**ROOFING NOTES:**  
ROOFING SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO SOLIDLY SHEATHED ROOFS, NOT LESS THAN 4 NAILS PER EACH 50 TO 40" STRIP SHINGLES & 2 NAILS PER EACH 1" TO 1 1/2" INDIVIDUAL SHINGLE  
**SOFFITS:**  
12" GABLES  
16" HP VENTED HARDIEPLANK (PORCHES & GARAGES)  
NON-VENTED HARDIEPLANK (LIVING AREA)

**NOTICE & DISCLAIMER**  
UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING AS A RESULT OF THE USE OF THESE DRAWINGS.

**BOHORQUEZ RESIDENCE G ©**  
329 HARBORVIEW DR. ROCKWALL, TX 75082  
**ROOF PLAN**

111 FARMERSVILLE PKWY STE. 300  
FARMERSVILLE, TX. 75442  
(972) 784-9044  
sales@tracyscustomhomes.com  
www.tracyscustomhomes.com



CUSTOM HOME DESIGNS



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
315 Harborview Drive	Single-Family Home	2015	4,602	N/A	Stucco, Stone, and Siding
317 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
319 Harborview Drive	Single-Family Home	2010	3,770	N/A	Stone
321 Harborview Drive	Single-Family Home	2012	6,210	N/A	Stone and Brick
325 Harborview Drive	Single-Family Home	2018	5,443	N/A	Stone and Brick
326 Harborview Drive	Single-Family Home	2007	3,810	N/A	Siding
327 Harborview Drive	Single-Family Home	2015	4,222	N/A	Stone
328 Harborview Drive	Single-Family Home	2021	2,764	N/A	Stucco, Brick, and Siding
329 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
330 Harborview Drive	Single-Family Home	2016	3,893	N/A	Brick and Stone
331 Harborview Drive	Single-Family Home	2015	4,098	N/A	Brick and Stone
AVERAGES:		2014	4,312	#DIV/0!	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



315 Harborview Drive



317 Harborview Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



319 Harborview Drive



321 Harborview Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



325 Harborview Drive



326 Harborview Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



327 Harborview Drive



328 Harborview Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



329 Harborview Drive



330 Harborview Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



331 Harborview Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [ORDINANCE NO. 23-40] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2273-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2273-acre parcel of land identified as Lot 5, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 23-40] for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [Ordinance No. 23-40] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 8 (PD-8) [Ordinance No. 23-40] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF AUGUST, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: July 15, 2024

2<sup>nd</sup> Reading: August 5, 2024

**Exhibit 'A':**  
*Location Map*

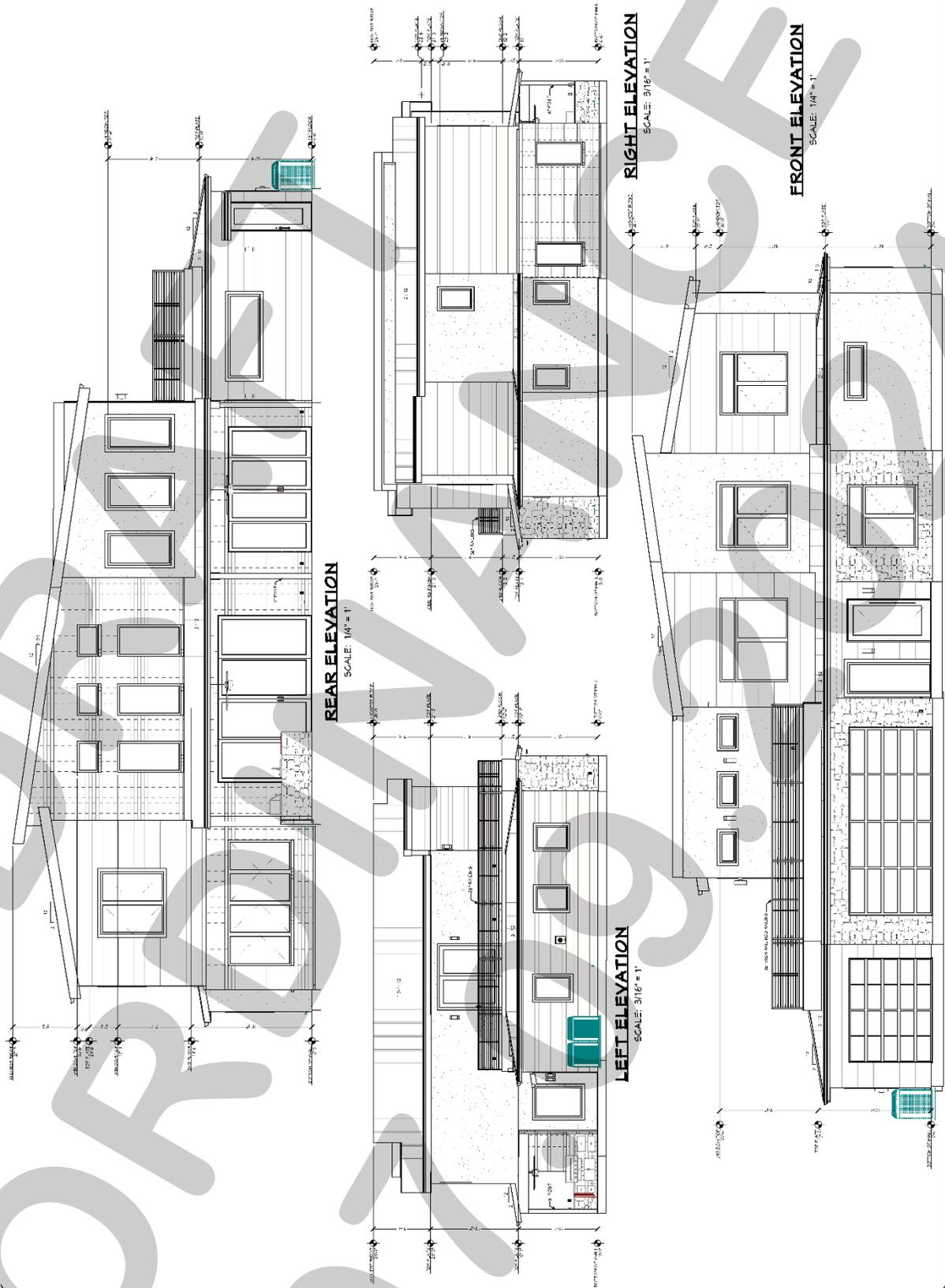
Address: 329 Harborview Drive

Legal Description: Lot 5, Block B, Harbor Landing Phase 2 Addition





Exhibit 'C':  
Building Elevations





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 9, 2024  
**APPLICANT:** Keaton Mai; *The Dimension Group*  
**CASE NUMBER:** SP2024-025; *Site Plan for a Restaurant 2,000 SF or More w/ Drive Through or Drive in*

---

On June 25, 2024, the Planning and Zoning Commission approved a motion to table *Case No. SP2024-025* to the July 9, 2024 Planning and Zoning Commission meeting to allow the applicant time to receive authorization from HTeaO's corporate office to comply with the recommendation made by the Architectural Review Board (ARB) relating to the color of the stucco on the proposed building. This motion was approved by a vote of 6-0, with one (1) vacant seat. Given this, the applicant has submitted new building elevations showing the proposed stucco color, which appears to conform to the ARB's recommendation. Staff should note that these new building elevations will be reviewed for recommendation by the ARB prior to the July 9, 2024 Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning this case, staff will be available at the July 9, 2024 meeting.



FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

06.27.2024  
THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.

H Tea O  
ROCKWALL, TX  
FM549 & SH205

NO.	DATE	REVISION DESCRIPTION

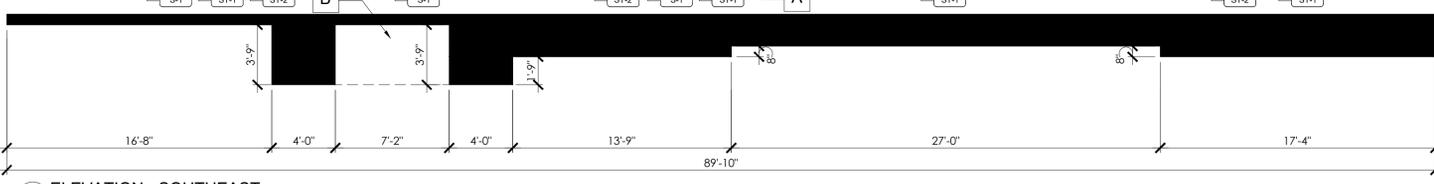
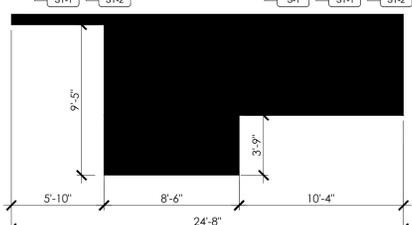
FOR REVIEW ONLY

SHEET:



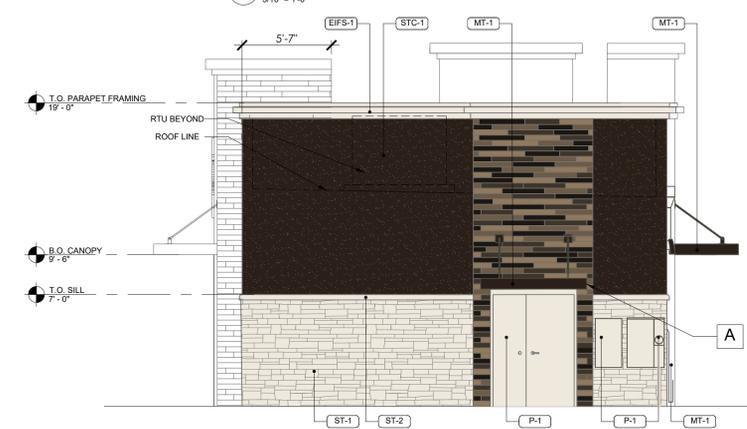
Southwest Elevation Materials	SF	Percent
ST-1	85 sf	20.0%
ST-2	5 sf	1.0%
WDS-1	184 sf	38.0%
STC-1	167 sf	36.0%
EIFS-1	20 sf	4.0%
MT-1	9 sf	2.0%
Total	480 sf	100%

Southwest Elevation Materials	SF	Percent
ST-1	858 sf	50.0%
ST-2	14 sf	1.0%
WDS-1	263 sf	15.0%
STC-1	503 sf	29.0%
EIFS-1	43 sf	3.0%
MT-1	33 sf	2.0%
Total	1,716 sf	100%



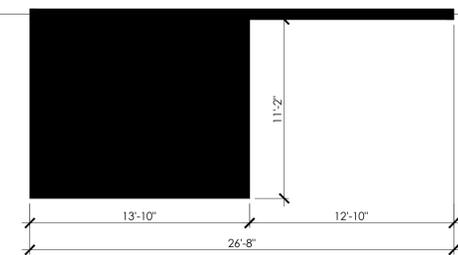
1 ELEVATION - SOUTHWEST (ADJACENT TO R.O.W.)  
3/16" = 1'-0"

2 ELEVATION - SOUTHEAST  
3/16" = 1'-0"



Northeast Elevation Materials	SF	Percent
ST-1	128 sf	27.0%
ST-2	7 sf	1.0%
WDS-1	62 sf	20.0%
STC-1	211 sf	46.0%
EIFS-1	27 sf	6.0%
MT-1	4 sf	1.0%
Total	469 sf	100%

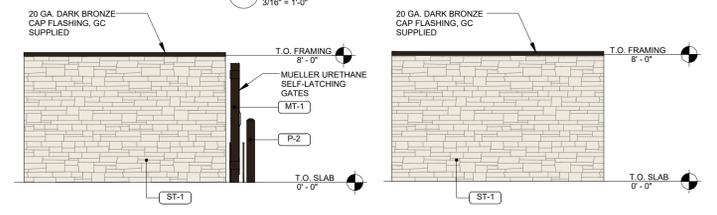
Northeast Elevation Materials	SF	Percent
ST-1	303 sf	23.5%
ST-2	13 sf	1.0%
WDS-1	303 sf	23.5%
STC-1	573 sf	44.0%
EIFS-1	63 sf	5.0%
MT-1	40 sf	3.0%
Total	1,295 sf	100%



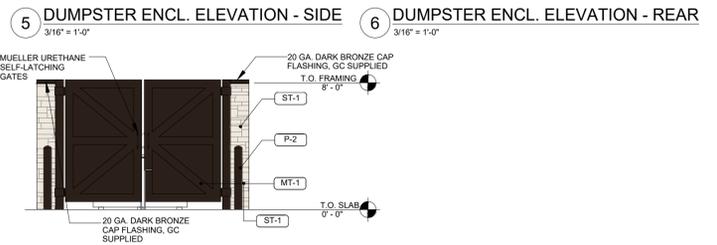
4 ELEVATION - NORTHWEST  
3/16" = 1'-0"

3 ELEVATION - NORTHEAST  
3/16" = 1'-0"

### MATERIAL SCHEDULE



<p><b>WDS-1</b> COMPOSITE WOOD NEWTech WOOD AN EQUAL MIX OF THE FOLLOWING: BRAZILIAN IPE HAWAIIAN CHARCOAL PERUVIAN TEAK SPANISH WALNUT</p>	<p><b>ST-1</b> NATURAL STONE AUSTIN LIMESTONE THIN VENEER WHITE ON WHITE</p>	<p><b>STC-1</b> THREE STEP STUCCO FINE PEBBLE FINISH PAINT (SW7048) URBANE BRONZE</p>	<p><b>EIFS-1</b> DRYVIT FINE PEBBLE FINISH PAINT (SW7002) DOWNY</p>	<p><b>MT-1</b> PRE-FINISHED CANOPIES, DOWNSPOUTS, AND METAL COPING DARK BRONZE</p>
---	--	---	---	--



5 DUMPSTER ENCL. ELEVATION - SIDE  
3/16" = 1'-0"

6 DUMPSTER ENCL. ELEVATION - REAR  
3/16" = 1'-0"

7 FRONT DUMPSTER ENCL. ELEVATION  
3/16" = 1'-0"

REQUIRED ARCHITECTURAL ELEMENTS - ACHIEVED	
A	CANOPIES, AWNINGS, OR PORTICO - CANOPIES
B	RECESSES/PROJECTIONS - TOWER ELEMENTS, OVERHANG SOFFIT ABOVE MAIN STOREFRONT
C	ARCHITECTURAL DETAILS - DIFFERENT CORNICE TREATMENTS
D	VARIED ROOF HEIGHTS

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.071
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,482 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,960 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

**SITE PLAN**  
LOT 15, BLOCK A, CREEKSIDE COMMONS  
ADDITION  
NWC STATE HIGHWAY 205 & F.M. 549  
A 0.67 ACRE TRACT OF LAND IN THE  
WILLIAM W. FORD SURVEY, ABST. NO 80  
CITY OF ROCKWALL, ROCKWALL  
COUNTY, TEXAS  
CITY PROJECT #SP2024-025  
June 27, 2024

PROJECT CONTACT LIST		
<p><b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 ALEXANDRA MATIS AMATIS@ DIMENSIONGROUP.COM</p>	<p><b>CIVIL ENGINEER</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 KEATON MAI KMAI@ DIMENSIONGROUP.COM</p>	<p><b>DEVELOPER</b> PRUDENT DEVELOPMENT 10755 SANDHILL RD. DALLAS, TX 75238 214.271.4630 MICHAEL HAMPTON MHAMPTON@ PRUDENTDEVELOPMENT.COM</p>
<b>PROPOSED FACADE PLAN</b>		
CITY CASE #SP2024-025 4853 S. GOLIAD ST. CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS DATE PREPARED : 05.31.2024		

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 25, 2024  
**APPLICANT:** Keaton Mai; *The Dimension Group*  
**CASE NUMBER:** SP2024-025; *Site Plan for Restaurant, 2,000 SF or More, with Drive Through or Drive In*

---

### **SUMMARY**

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In (i.e. HteaO)* on a 0.676-acre parcel of land identified as a portion of Lot 3, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

### **BACKGROUND**

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No. 86-37 [Case No A1986-005]*. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [*Case No. Z2013-002; Ordinance No. 13-03*] for a 45.5601-acre tract of land. On June 7, 2021, the City Council approved a preliminary plat [*Case No. P2021-027*] for a 14-lot commercial development (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which includes the subject property. On November 7, 2022, the City Council approved a final plat that established the subject property as a portion of Lot 3, Block A, Creekside Commons Addition. The subject property has remained vacant since its annexation.

### **PURPOSE**

On May 17, 2024, the applicant -- *Keaton Mai of The Dimension Group* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located southeast of the intersection of S. Goliad Street [SH-205] and S. FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Beyond this is S. FM-549, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Phase I of the Somerset Park Subdivision, which consists of 152 single-family residential lots and is zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) land uses.

South: Directly south of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 6.9998-acre tract of land (*i.e. Tract 10-1 of the W. W. Ford Survey, Abstract No. 80*) that is zoned General Retail (GR) District. Beyond this is S. FM-549, which is classified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.251-acre tract of land [i.e. a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition]. Beyond this is a 1.50-acre parcel of land [i.e. Lot 1, Block A, Creekside Commons Addition], developed with a convenience store with gasoline sales (i.e. 7-11). Following this is the remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Adjacent to the property line of the Creekside Commons Addition is the corporate limits of the City of Rockwall.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.9998-acre vacant tract of land (i.e. Tract 10-01 of the W. W. Ford Survey, Abstract No. 80) that is zoned General Retail (GR) District. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 58 single-family residential lots on 109.57-acres that is zoned Single-Family Estate 1.5 (SFE-1.5) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* is permitted by-right in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=0.676-acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X= 105.48-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=269.61-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X&gt; 15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X&gt;10-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X&gt;10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=19-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=7.46%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1 Parking Space/250 SF 9 Required Parking Spaces</i>	<i>X=20; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=25.7%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=74%; In Conformance</i>

**TREESCAPE PLAN**

There are no trees being removed from the property, therefore no treescape plan is required.

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 02.02(F)(29), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.”

In this case, the applicant’s proposed use falls under this classification, which is permitted by-right within a Commercial (C) District. When reviewing the proposed site plan against these standards and the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

(1) Architectural Standards.

- (a) Primary and Secondary Articulation. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, the proposed building does not meet the commercial building articulation standards on the northwest elevation. However, the ARB has requested that the applicant bring the side walls back on all projecting tower elements, which the applicant has done on three (3) of the four (4) building facades. This will require a Variance from the Planning and Zoning Commission.
- (b) Roof Design Standards. According to Subsection 06.02 (C)(3), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case, the applicant is requesting that this requirement be waived in order to meet their brand standards and match the surrounding buildings. Staff should note that this variance has been granted before for the adjacent restaurant (*i.e. McDonald's*). This will require a Variance from the Planning and Zoning Commission.
- (c) 90% Masonry Requirement. According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." In this case, the applicant does not meet this requirement on any of the of the building facades. Specifically, they are proposing more than ten (10) percent composite lumber material on each elevation to match the HTeaO brand. This will require a Variance from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide two (2) compensatory measures that directly offset each requested variance and/or exception, and based on the submitted materials, the applicant's request would require six (6) compensatory measures. The applicant has indicated the following compensatory measures: [1] increased landscape buffer along SH205 (*from 20-feet to 40-feet*), [2] increased overall open space (*more than 25% provided vs. 20% required*), [3] adding parking lot landscaping (*almost 4 times the minimum of five [5] percent*), [4] effective and enhanced landscape screening adjacent to the drive-thru lane, [5] removed the exterior roof ladder and parapet opening, and [6] increased natural stone material beyond 20% (*overall total of 35%*) on the site. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the South Central Residential District and is designated for Commercial land uses. According to the *District Strategies* this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." In this case, the applicant is proposing a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan. In addition, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should "... encourage high quality and inspiring architecture throughout the City..." More specifically the OURHometown Vision 2040 Comprehensive Plan states that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or 'articulated' in architectural terms --, and architectural

elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town.” In this case, it is a discretionary decision if the applicant’s request conforms with the goals for non-residential buildings contained in the Comprehensive Plan because of the amount of requested variances associated with materials and articulation.

**ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On May 28, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB requested to see revised building elevations that incorporated more of the articulation requirements. The ARB will review the updated building elevations and provide a recommendation before action is taken by the Planning and Zoning Commission at the June 25, 2024 meeting.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for the construction of a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The subject property will be required to replat after the engineering process to establish property lines and new easements necessary for development.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: NWC of Hwy 205 and Future FM 549

SUBDIVISION: Creekside Commons      LOT: 15      BLOCK: A

GENERAL LOCATION: NWC of Hwy 205 and Future FM 549

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Commercial (C)      CURRENT USE: Undeveloped

PROPOSED ZONING: Commercial (C)      PROPOSED USE: Restaurant w/ drive-through

ACREAGE: 0.676      LOTS [CURRENT]: 1      LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Creekside Commons Crossing LP	<input checked="" type="checkbox"/> APPLICANT	The Dimension Group
CONTACT PERSON	Michael Hampton	CONTACT PERSON	Keaton Mai
ADDRESS	10755 Sandhill Rd	ADDRESS	10755 Sandhill Rd
CITY, STATE & ZIP	Dallas, TX 75238	CITY, STATE & ZIP	Dallas, TX 75238
PHONE	214-271-4630	PHONE	214-600-1152
E-MAIL	mhampton@prudentdevelopment.com	E-MAIL	kmai@dimensiongroup.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

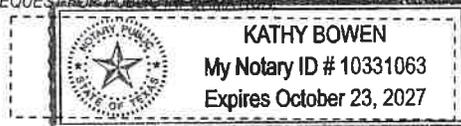
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF May, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF May, 2024

OWNER'S SIGNATURE

*[Handwritten Signature]*  
**Kathy Bowen**

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 10/23/24

0 35 70 140 210 280 Feet

PD-63

SP2024-025: Site Plan For HTEAO

549 SFM1549



Case Location Map = 

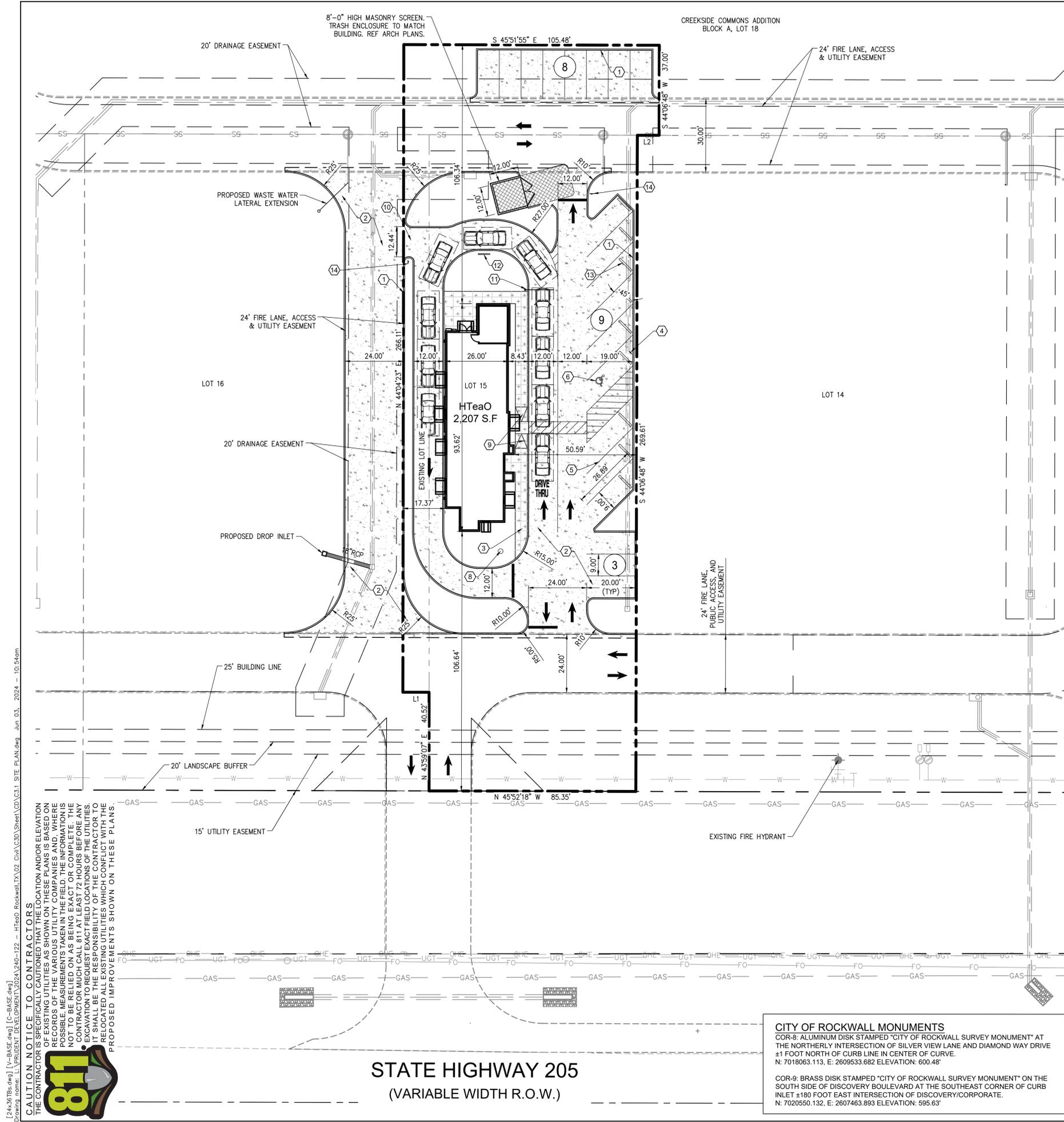


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



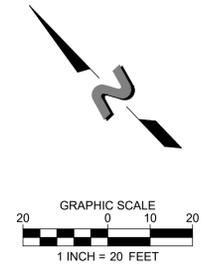


**SITE PLAN KEYNOTES:**

- ① CONSTRUCT 6" CURB & GUTTER
- ② CONSTRUCT 6" CONCRETE PAVEMENT SECTION
- ③ INSTALL SIDEWALK PAVEMENT
- ④ INSTALL HANDICAP VAN AND CAR SIGN
- ⑤ 4" WHITE PAVEMENT SOLID PARKING STRIPES
- ⑥ HANDICAP VAN PARKING
- ⑦ STANDARD AREA LIGHT POLE
- ⑧ PROPOSED FLAG POLE
- ⑨ NEW BARRIER FREE RAMPS
- ⑩ PROPOSED ESCAPE PLAN
- ⑪ CLEARANCE BAR
- ⑫ MENU BOARD
- ⑬ WHEEL STOP
- ⑭ "ONE WAY DO NOT ENTER" SIGN

**GENERAL NOTES**

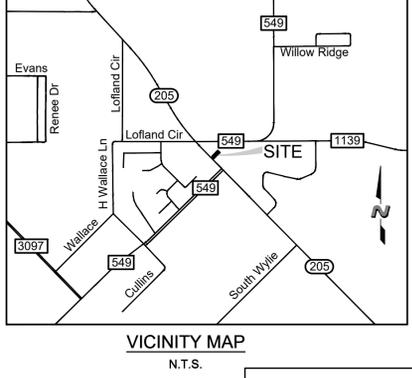
1. The contractor shall assume sole and complete responsibility for his means and methods of construction, job site conditions and job site safety, including safety of all persons and property. This requirement shall apply continuously and not be limited to working hours. The contractor shall save, protect, indemnify defend and hold harmless the owner, the architect and the engineer from any claim of liability, real or alleged, arising out of the performance of any work on this project. The contractor shall name the owner, the architect and the engineer as "additional insured" on his insurance policies.
2. Existing above ground utilities have been shown based on information shown on a survey of the property. Underground utilities are shown based on recorded data and may not be complete or exact. The contractor shall be responsible for verifying the locations and depths of all above ground and underground utilities prior to construction. The contractor shall be responsible for damage to existing above ground or underground utilities, including those not shown on the plans. The contractor is advised to contact the city and all franchise utility companies, easement holders, etc. at least 48 hours prior to beginning excavation in the vicinity of any underground utility.
3. The contractor shall comply with all building codes and regulations, federal, state, county, and city safety codes and inspection requirements.
4. The contractor shall provide dust protection during construction. All trash and debris shall be picked up at all times. Commercial construction debris/solid waste hauler permit required.
5. There will be no outside storage or above ground storage tanks. (Subsection 01.05, of Article 05, UDC)
6. Per the Engineering Standards of Design and Construction, dumpster areas will need to drain to oil/water separator and then to storm lines.



USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.07:1
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,462 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,980 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

**PAVING LEGEND**

	PARKING AREA	6" THICK 4000 P.S.I. #4 REBAR AT 18" O.C.E.W. (6.5 SACK MIX)
	DUMPSTER PAD	7" THICK 4000 P.S.I. #4 REBAR AT 18" O.C.E.W. (6.5 SACK MIX)
	SIDEWALK	4" THICK 3000 P.S.I. #3 REBAR AT 24" O.C.E.W. (6.5 SACK MIX)



**SITE PLAN**  
 LOT 15, BLOCK A, CREEKSIDE COMMONS ADDITION  
 NWC STATE HIGHWAY 205 & F.M. 549  
 A 0.67 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT #SP2024-025  
 JUNE 03, 2024

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2024.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2024.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**CITY OF ROCKWALL MONUMENTS**  
 COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
 N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'  
 COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE.  
 N: 7020550.132, E: 2607463.893 ELEVATION: 595.63'

**LINE TABLE**

LINE NO.	LENGTH	BEARING
L1	10.84'	N45°55'37"W
L2	9.00'	N45°51'55"W

**CAUTION NOTICE TO CONTRACTORS**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE RECORDED UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



**STATE HIGHWAY 205**  
 (VARIABLE WIDTH R.O.W.)



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF KEATON L. MAI, P.E. 125077 ON 6/03/2024. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

BY	REVISION DESCRIPTION	DATE

HTeaO- CREEKSIDE COMMONS  
 BLOCK A, LOT 15  
 ROCKWALL, TEXAS  
 SHEET **C3.1**

No.	DATE	REVISION DESCRIPTION

PROJECT NO: 240-122  
 DATE: 05.31.24  
 DRAWN:  
 APPROVED:

FOR REVIEW ONLY

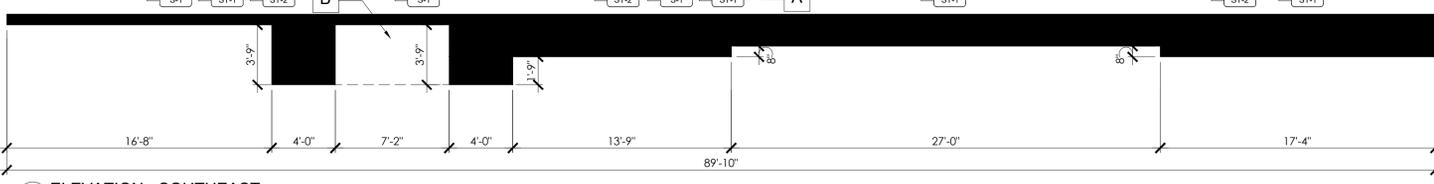
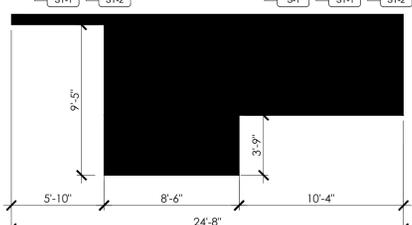


**Southwest Elevation Materials**

Material	SF	Percent
ST-1	85 sf	20.0%
ST-2	5 sf	1.0%
WDS-1	184 sf	38.0%
STC-1	167 sf	36.0%
EIFS-1	20 sf	4.0%
MT-1	9 sf	2.0%
<b>Total</b>	<b>480 sf</b>	<b>100%</b>

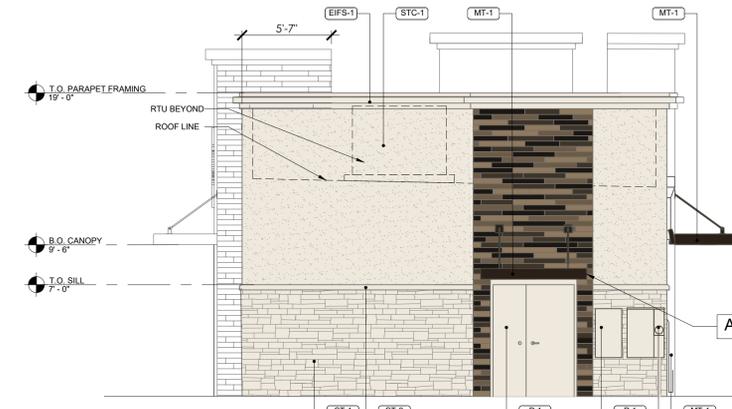
**Southeast Elevation Materials**

Material	SF	Percent
ST-1	858 sf	50.0%
ST-2	14 sf	1.0%
WDS-1	263 sf	15.0%
STC-1	503 sf	29.0%
EIFS-1	43 sf	3.0%
MT-1	33 sf	2.0%
<b>Total</b>	<b>1,716 sf</b>	<b>100%</b>



**1 ELEVATION - SOUTHWEST (ADJACENT TO R.O.W.)**  
 3/16" = 1'-0"

**2 ELEVATION - SOUTHEAST**  
 3/16" = 1'-0"

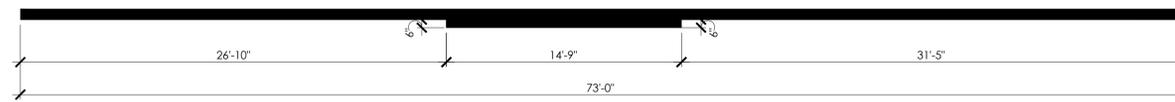
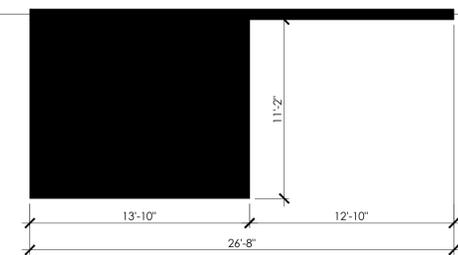


**Northeast Elevation Materials**

Material	SF	Percent
ST-1	128 sf	27.0%
ST-2	7 sf	1.0%
WDS-1	62 sf	20.0%
STC-1	211 sf	45.0%
EIFS-1	27 sf	6.0%
MT-1	4 sf	1.0%
<b>Total</b>	<b>469 sf</b>	<b>100%</b>

**Northwest Elevation Materials**

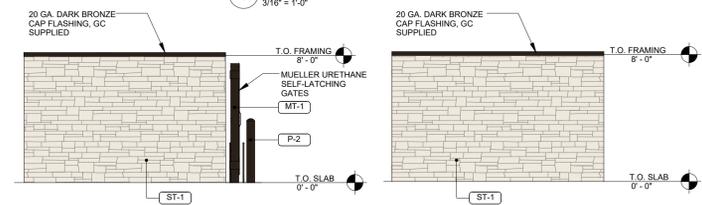
Material	SF	Percent
ST-1	303 sf	23.5%
ST-2	13 sf	1.0%
WDS-1	303 sf	23.5%
STC-1	573 sf	44.0%
EIFS-1	63 sf	5.0%
MT-1	40 sf	3.0%
<b>Total</b>	<b>1,295 sf</b>	<b>100%</b>



**3 ELEVATION - NORTHEAST**  
 3/16" = 1'-0"

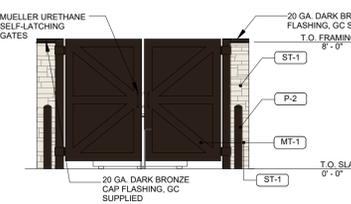
**4 ELEVATION - NORTHWEST**  
 3/16" = 1'-0"

**MATERIAL SCHEDULE**



**5 DUMPSTER ENCL. ELEVATION - SIDE**  
 3/16" = 1'-0"

**6 DUMPSTER ENCL. ELEVATION - REAR**  
 3/16" = 1'-0"



**7 FRONT DUMPSTER ENCL. ELEVATION**  
 3/16" = 1'-0"

<p><b>WDS-1</b> COMPOSITE WOOD NEWTECH WOOD AN EQUAL MIX OF THE FOLLOWING: BRAZILIAN IPE HAWAIIAN CHARCOAL PERUVIAN TEAK SPANISH WALNUT</p>	<p><b>ST-1</b> NATURAL STONE AUSTIN LIMESTONE THIN VENEER WHITE ON WHITE</p>	<p><b>STC-1</b> THREE STEP STUCCO FINE PEBBLE FINISH PAINT (SW7002) DOWNY</p>	<p><b>EIFS-1</b> DRYVIT FINE PEBBLE FINISH PAINT (SW7002) DOWNY</p>	<p><b>MT-1</b> PRE-FINISHED CANOPIES, DOWNSPOUTS, AND METAL COPING DARK BRONZE</p>
<p><b>ST-2</b> STONE SILL CORONADO STONE 900 SERIES OFF WHITE</p>	<p><b>P-1</b> PAINT SHERWIN WILLIAMS SW7002 DOWNY</p>	<p><b>P-2</b> PAINT SHERWIN WILLIAMS SW7048 URBANE BRONZE</p>	<p><b>S-1</b> KAWNEER, "DARK BRONZE" ALUMINUM STOREFRONT FRAME 1" INSULATED CLEAR GLAZING</p>	<p>APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning &amp; Zoning Commission of the City of Rockwall on the ___ day of ___, 2024. WITNESS OUR HANDS, this ___ day of ___, 2024.</p> <p>_____      Planning &amp; Zoning Commission, Chairman      Director of Planning and Zoning</p>

**REQUIRED ARCHITECTURAL ELEMENTS - ACHIEVED**

Element	Description
A	CANOPIES, AWNINGS, OR PORTICO - CANOPIES
B	RECESSES/PROJECTIONS - TOWER ELEMENTS, OVERHANG SOFFIT ABOVE MAIN STOREFRONT
C	ARCHITECTURAL DETAILS - DIFFERENT CORNICE TREATMENTS
D	VARIED ROOF HEIGHTS

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.071
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,462 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,980 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

**SITE PLAN**  
 LOT 15, BLOCK A, CREEKSIDE COMMONS  
 ADDITION  
 NWC STATE HIGHWAY 205 & F.M. 549  
 A 0.67 ACRE TRACT OF LAND IN THE  
 WILLIAM W. FORD SURVEY, ABST. NO 80  
 CITY OF ROCKWALL, ROCKWALL  
 COUNTY, TEXAS  
 CITY PROJECT #SP2024-025  
 May 31, 2024

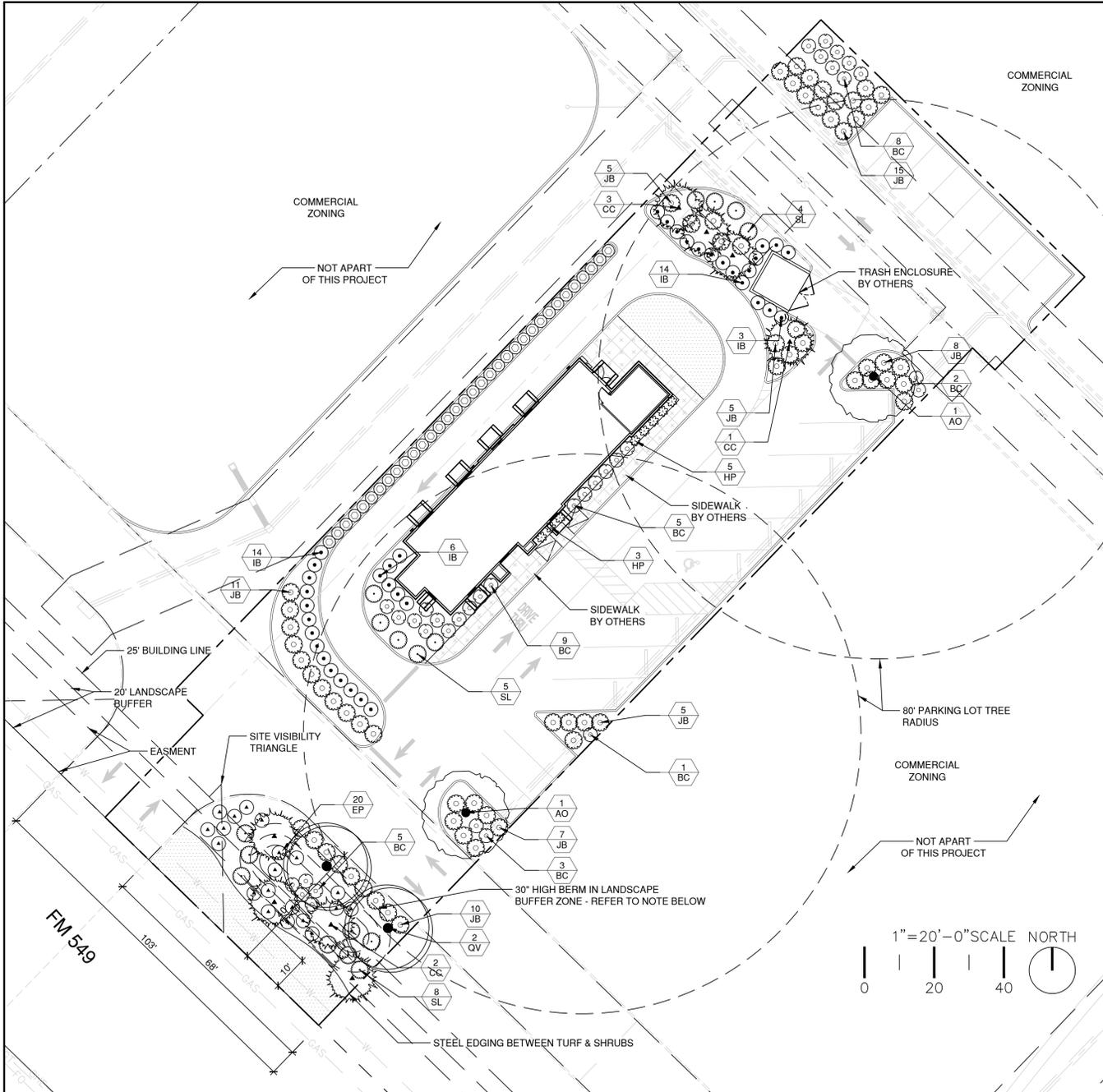
**PROJECT CONTACT LIST**

ARCHITECT	CIVIL ENGINEER	DEVELOPER
THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 ALEXANDRA MATIS AMATIS@DIMENSIONGROUP.COM	PRUDENT DEVELOPMENT 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 KEATON MAI MHAMPTON@PRUDENTDEVELOPMENT.COM	PRUDENT DEVELOPMENT 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 MICHAEL HAMPTON MHAMPTON@PRUDENTDEVELOPMENT.COM

**PROPOSED FACADE PLAN**

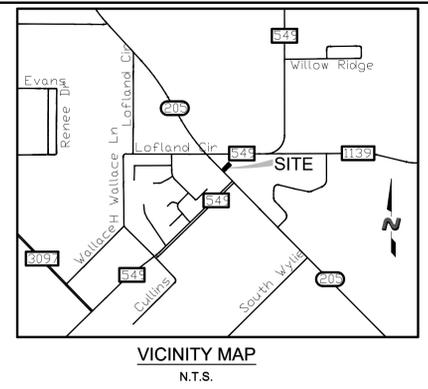
CITY CASE #SP2024-025  
 4853 S. GOLIAD ST.  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 DATE PREPARED : 05.31.2024

SHEET:



### PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CAL	HEIGHT	QTY
<b>TREES</b>						
	AO	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE WRAP TRUNK FROM THE GROUND UP TO THE BOTTOM OF CANOPY FOR THE FIRST 24 MONTHS TO PREVENT SUN SCALD BARK DAMAGE	CONT.	4"	14-16'	2
	CC	CERCIS CANADENSIS EASTERN REDBUD	CONT.	2" CAL	6'-8'	8
	QV	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	CONT.	4"	14-16'	2
<b>SHRUBS</b>						
	BC	BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY JAPANESE BARBERRY	5 GAL			35
	EP	EUONYMUS FORTUNEI 'MONCE' GOLDEN PRINCE® WINTERGREENER	5 GAL			20
	HP	HESPERALOE PARVIFLORA RED YUCCA	5 GAL			8
	IB	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL			37
	ID	ILEX VOMITORIA 'SCHILLINGS DWARF' SCHILLINGS DWARF YAUPON HOLLY	5 GAL			34
	JB	JUNIPERUS CONFERTA 'BLUE PACIFIC' BLUE PACIFIC SHORE JUNIPER	5 GAL			65
	SL	STEMODIA LANATA GRAY WOOLLY TWINTIP	1 GAL			17
<b>GROUND COVERS</b>						
	CE	CYNODON DACTYLON X TRANSVAALENSIS 'DT-1' TIFTUF™ BERMUADGRASS	SOD			526 SF



### LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE 2 CANOPY TREES, 4 ACCENT TREES
FM HWY 549 - ±103' OF STREET FRONTAGE:	
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS BERM WITH EVERGREEN PLANTING PROVIDED
PROVIDED SCREENING	
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT	
TOTAL SITE AREA:	29,441 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	5,888.2 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	7,573 SF (25.7%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA
PROPOSED PARKING AREA:	±6,870 SF
REQ. PARKING LOT LANDSCAPING:	343.5 SF
PROPOSED PARKING LOT LANDSCAPING:	1,454 SF (21.2%)
	REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
ARTICLE 09: TREE PRESERVATION	
05: TREE MITIGATION REQUIREMENTS	
MITIGATION REQUIRED:	NONE REQUIRED
MITIGATION PROVIDED:	NONE REQUIRED
06.01: REPLACEMENT TREES	
ALL REPLACEMENT TREES SHALL BE A MIN. 4" CALIPER	NONE REQUIRED

### PROJECT DATA TABLE

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.07:1
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,462 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,980 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

**THE DIMENSION GROUP**  
ARCHITECTURE - CIVIL ENGINEERING - MEP ENGINEERING  
TEL: 214.343.9400 www.dimensiongroup.com

REGISTERED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
3671  
6.3.2024

**MULCHES**  
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, RECYCLED, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**ROOT BARRIERS**  
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**BERM IN BUFFER ZONE**  
30" HIGH BERM IN LANDSCAPE BUFFER ZONE - GRADED W/ 3:1 SLOPES, USE CLEAN FILL AS BASE, ADD 8"-10" OF GARDEN SOIL TO TOP OF BERM AND BLEND INTO THE TOP 4"-6" OF FILL TO AVOID CREATING A HARDPAN LAYER. GARDEN SOIL SHALL BE A MIX OF CLEAN TOPSOIL, MANURE COMPOST, SAND, AND AGED SAW DUST, TOP WITH 3" LAYER SHREDDED WOOD MULCH.

BERM SHALL BE INSTALLED OUTSIDE OF THE EASEMENT. NO FILL SHALL OCCUR IN THE UTILITY EASEMENT.

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**IRRIGATION CONCEPT**

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- IRRIGATION SHALL MEET REQUIREMENTS OF THE UDC.

**PLANTING PLAN**  
LOT 15, BLOCK A, CREEKSIDE COMMONS ADDITION  
NWC STATE HIGHWAY 205 & F.M. 549  
A 0.67 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT #SP2024-025  
May 31, 2024

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



**ENGINEER/APPLICANT**  
THE DIMENSION GROUP  
10755 SANDHILL ROAD  
DALLAS, TX, 75238  
PHONE: (214) 343-9400  
CONTACT: KEATON L. MAI, PE

**OWNER/DEVELOPER**  
PRUDENT DEVELOPMENT  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
PHONE: (214) 271-4630  
CONTACT: MICHAEL HAMPTON

REVISION DESCRIPTION

#	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			

PROJECT NO. 240-122  
DATE  
DATE  
DATE  
DATE  
DATE  
DATE

drawn by  
designed by  
approved by

PLANTING PLAN  
HTeaO - CREEKSIDE COMMONS  
BLOCK A, LOT 15  
ROCKWALL, TEXAS

SHEET  
**LP-1**  
CASE #: SP2024-025

**PLANTING SPECIFICATIONS**

**GENERAL**

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
  4. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK**
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

**PRODUCTS**

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:**
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z601-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORMAL TYPE FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM GIRDLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  5. ALL TREES SHALL BE STAKED IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADERS ARE DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.**
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.**
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.**
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 SPECIFICATIONS; NOT EXCEEDING 0.5 PERCENT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.**
- G. PLANTING MIX FOR POTS: AN EQUAL PART MIXTURE OF TOPSOIL, SAND AND COMPOST. INCORPORATE "GELSCAPE", AS MADE BY AMERCO, INC., (800) 832-8788, AT THE RATE OF 3 LB. PER CUBIC YARD OF PLANTING MIX.**
- H. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).**
- I. PALM MAINTENANCE SPRAYS: AS MANUFACTURED BY THE LUTZ CORP. (800) 203-7740, OR APPROVED EQUAL.**
- J. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.**
- K. TREE STAKING AND CUYING**
1. STAKES: 6" LONG GREEN METAL T-POSTS.
  2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- L. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN, ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.**
- M. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTAL TURF OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.**

**METHODS**

- A. SOIL PREPARATION**
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  2. SOIL TESTING:
    - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT.
    - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT FOR BIDDING PURPOSES ONLY. THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
    - b. "GLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - iii. "GLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE (2 LBS. PER CU. YD.)
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.**
- A. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.**
- B. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED ON THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.**
- C. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.**
- D. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.**
- E. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.**
- F. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.**
- ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.**

**B. SUBMITTALS**

1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
  2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  3. TRENCHING NEAR EXISTING TREES:
    - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

**D. TREE PLANTING**

1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
  2. SCARP THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLASS THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE FINISH GRADE.
  5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD THE SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
  6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - a. 1"-2" TREES: TWO STAKES PER TREE
    - b. 2-1/2" TREES: THREE STAKES PER TREE
    - c. TREES OVER 4" CALIPER: GUY AS NEEDED
    - d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
    - e. #15 CONT. - 24" BOX TREES: TWO STAKES PER TREE
    - f. 36"-48" BOX TREES: THREE STAKES PER TREE
    - g. 48"-60" BOX TREES: GUY AS NEEDED
    - h. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GUYING PLANTING**
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE EDGES. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  3. WHEN PLANTING IS COMPLETE, INSTALL ALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
  3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF FROZEN STRIPS. DO NOT OVERLAP. STAPLE STRIPS TO OFFSET JOINTS TO ADJACENT COURSES.
  4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. HYDROMULCHING**
1. TURF-HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
    - a. WINTER MIX (OCTOBER 1 - MARCH 31)
      - 50# CELLULOSE FIBER MULCH
      - 2# UNHULLED BERMUDA SEED
      - 3# ANNUAL RYE SEED
    - b. 15# 15-15 WATER SOLUBLE FERTILIZER
  2. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
    - a. 50# CELLULOSE FIBER MULCH
    - b. 2# HULLED BERMUDA SEED
    - c. 15# 15-15 WATER SOLUBLE FERTILIZER
  3. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
    - a. GENERAL
      - 50# CELLULOSE FIBER MULCH
      - 15# 15-15 WATER SOLUBLE FERTILIZER
    - b. SEED RATE PER LEGEND

**H. DRILL SEEDING**

1. ALL SEED SHALL BE DRILL SEEDING AT THE RATES SHOWN ON THE PLANS, WITH A HYDROMULCH MIX APPLIED AFTER SEEDING.
2. THE HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
  - a. 50# CELLULOSE FIBER MULCH
  - b. 15# 15-15 WATER SOLUBLE FERTILIZER
  - c. 4# ORGANIC BINDER

**I. MULCH**

1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

**J. CLEAN UP**

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

**K. INSPECTION AND ACCEPTANCE**

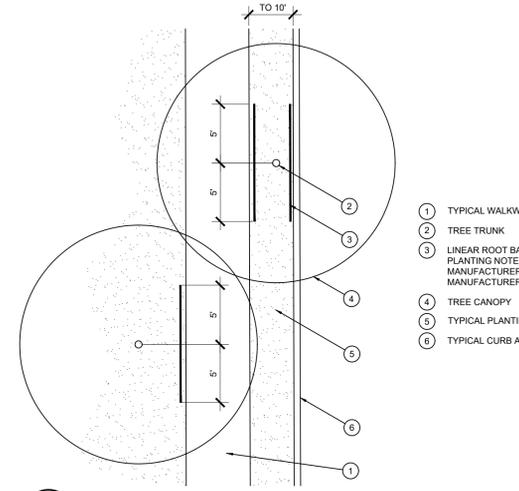
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

**L. LANDSCAPE MAINTENANCE**

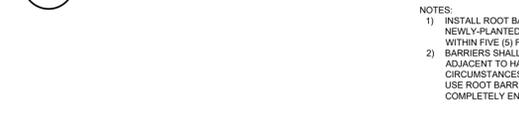
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION, AND IRRIGATION SYSTEMS THAT OPERATE IMPROPERLY OR GERMINATED WELL. TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTING AREAS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  2. SHOULD SEEDING AND/OR SODDING AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - b. ALL HARDCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - c. SODDED AREAS MUST BE ACTIVELY GROWING, AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY GROOMED.
- M. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDBEDS, OR OTHER PLANTING AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT YEAR, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN IMPROPER ACTIONS.
- N. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A COPY OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.**

**D. STEEL EDGING**  
SCALE: NOT TO SCALE

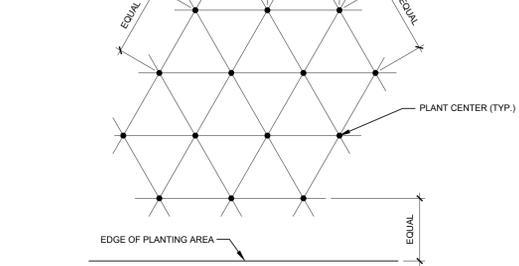
**OPEN LANDSCAPE**  
**PARKWAY OR ISLAND**



**E. ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE



**F. PLANT SPACING**  
SCALE: NTS



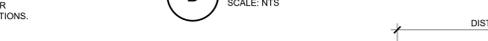
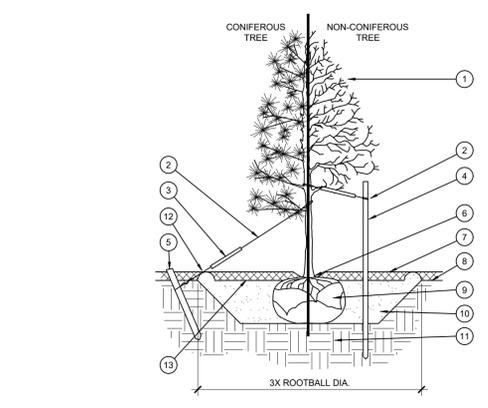
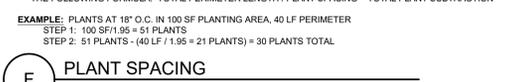
NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:  
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.30	24"	3.40
10"	0.37	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER  
STEP 1: 100 SF / 1.95 = 51 PLANTS  
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL





# TYPE: W

## DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

## SPECIFICATION FEATURES

### Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

### Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

### Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

<b>Catalog #</b>		<b>Type</b>
<b>Project</b>		
<b>Comments</b>		<b>Date</b>
<b>Prepared by</b>		

electrical wiring compartment.

Integral LED electronic driver is standard 0-10V dimming. 120-277V 50/60Hz or 347V 60Hz models.

### Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

### Warranty

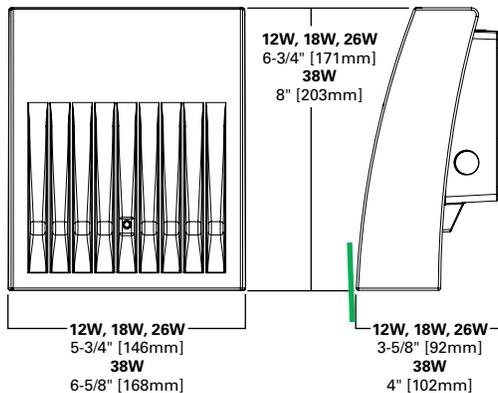
Five-year warranty.



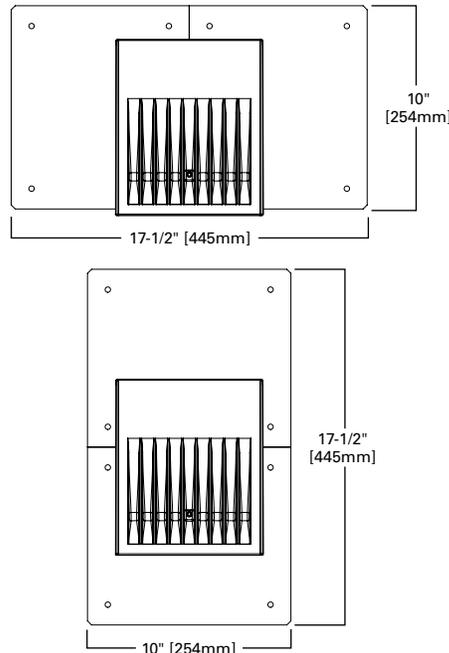
## XTOR CROSTOUR LED

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

## DIMENSIONS



## ESCUTCHEON PLATES



## CERTIFICATION DATA

Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)  
UL/cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
ADA Compliant  
NOM Compliant Models  
IP66 Ingressed Protection Rated  
Title 24 Compliant  
DesignLights Consortium® Qualified\*

## TECHNICAL DATA

40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

## EPA

Effective Projected Area (Sq. Ft.):  
XTOR1B, XTOR2B, XTOR3B=0.34  
XTOR4B=0.45

## SHIPPING DATA:

Approximate Net Weight:  
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

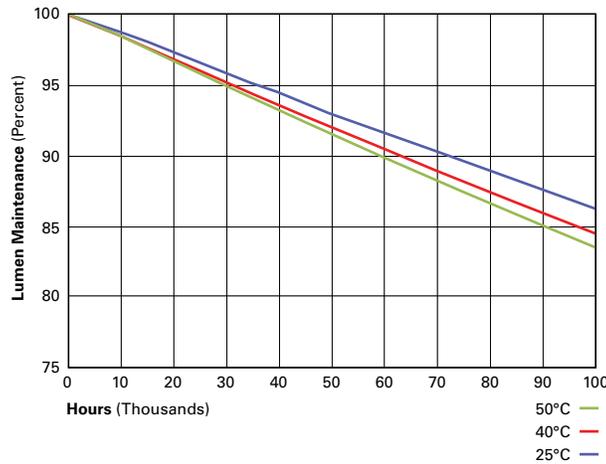
**POWER AND LUMENS BY FIXTURE MODEL**

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) <sup>1</sup>	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating <sup>2</sup>	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0								
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
<b>XTOR1B Model</b>		
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
<b>XTOR2B Model</b>		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
<b>XTOR3B Model</b>		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
<b>XTOR4B Model</b>		
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000



**CURRENT DRAW**

Voltage	Model Series			
	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A

**ORDERING INFORMATION**

Sample Number: XTOR2B-W-WT-PC1

Series <sup>1</sup>	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately) <sup>8</sup>
<b>XTOR1B=Small Door, 12W</b> <b>XTOR2B=Small Door, 18W</b> <b>XTOR3B=Small Door, 26W</b> <b>XTOR4B=Medium Door, 38W</b> <b>BAA-XTOR1B=Small Door, 12W, Buy American Act Compliant <sup>7</sup></b> <b>TAA-XTOR1B=Small Door, 12W Trade Agreements Act Compliant <sup>7</sup></b> <b>BAA-XTOR2B =Small Door, 18W, Buy American Act Compliant <sup>7</sup></b> <b>TAA-XTOR2B=Small Door, 18W, Trade Agreements Act Compliant <sup>7</sup></b> <b>BAA-XTOR3B=Small Door, 26W, Buy American Act Compliant <sup>7</sup></b> <b>TAA-XTOR3B=Small Door, 26W, Trade Agreements Act Compliant <sup>7</sup></b> <b>BAA-XTOR4B= Medium Door, 38W, Buy American Act Compliant <sup>7</sup></b> <b>TAA-XTOR4B= Medium Door, 38W, Trade Agreements Act Compliant <sup>7</sup></b>	<b>[Blank]=Bright White (Standard), 5000K</b> <b>W=Neutral White, 4000K</b> <b>Y=Warm White, 3000K</b>	<b>[Blank]=Carbon Bronze (Standard)</b> <b>WT=Summit White</b> <b>BK=Black</b> <b>BZ=Bronze</b> <b>AP=Grey</b> <b>GM=Graphite Metallic</b> <b>DP=Dark Platinum</b>	<b>PC1=Photocontrol 120V <sup>2</sup></b> <b>PC2=Photocontrol 208-277V <sup>2,3</sup></b> <b>347V=347V <sup>4</sup></b> <b>HA=50°C High Ambient <sup>4</sup></b>	<b>WG/XTOR=Wire Guard <sup>5</sup></b> <b>XTORFLD-KNC=Knuckle Floodlight Kit <sup>6</sup></b> <b>XTORFLD-TRN=Trunnion Floodlight Kit <sup>6</sup></b> <b>XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White <sup>6</sup></b> <b>XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White <sup>6</sup></b> <b>EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze</b> <b>EWP/XTOR-WT=Escutcheon Wall Plate, Summit White</b>

**NOTES:**

- DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.
- Photocontrols are factory installed.
- Order PC2 for 347V models.
- Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.
- Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
- Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

**STOCK ORDERING INFORMATION**

Domestic Preferences <sup>1</sup>	12W Series	18W Series	26W Series	38W Series
[Blank]=Standard	XTOR1B=12W, 5000K, Carbon Bronze	XTOR2B=18W, 5000K, Carbon Bronze	XTOR3B=26W, 5000K, Carbon Bronze	XTOR4B=38W, 5000K, Carbon Bronze
BAA=Buy American Act	XTOR1B-WT=12W, 5000K, Summit White	XTOR2B-W=18W, 4000K, Carbon Bronze	XTOR3B-W=26W, 4000K, Carbon Bronze	XTOR4B-W=38W, 4000K, Carbon Bronze
TAA= Trade Agreements Act	XTOR1B-PC1=12W, 5000K, 120V PC, Carbon Bronze	XTOR2B-WT=18W, 5000K, Summit White	XTOR3B-WT=26W, 5000K, Summit White	XTOR4B-WT=38W, 5000K, Summit White
	XTOR1B-W=12W, 4000K, Carbon Bronze	XTOR2B-PC1=18W, 5000K, 120V PC, Carbon Bronze	XTOR3B-PC1=26W, 5000K, 120V PC, Carbon Bronze	XTOR4B-PC1=38W, 5000K, 120V PC, Carbon Bronze
		XTOR2B-W-PC1=18W, 4000K, 120V PC, Carbon Bronze	XTOR3B-W-PC1=26W, 4000K, 120V PC, Carbon Bronze	XTOR4B-W-PC1=38W, 4000K, 120V PC, Carbon Bronze
		XTOR2B-347V=18W, 5000K, Carbon Bronze, 347V	XTOR3B-347V=26W, 5000K, Carbon Bronze, 347V	XTOR4B-347V=38W, 5000K, Carbon Bronze, 347V
		XTOR2B-WT-PC1=18W, 5000K, 120V PC, Summit White	XTOR3B-PC2=26W, 5000K, 208-277V PC, Carbon Bronze	

**NOTES:**

- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

Cylinder

Wall Mounted • Damp Location Listed **PROGRESS LED**

**Description:**

6" uplight/downlight wall cylinders are ideal for a wide variety of interior and exterior applications including residential and commercial. The aluminum Cylinders offers a contemporary design with its sleek cylindrical form and elegant fade and chip resistant Black finish, perfect for today's inspired exteriors. With over 2,150 lumens both up and down the LED Cylinders unite performance, energy savings and safety benefits. Provides even illumination up and down. Specify P860046 top cover lens for use in wet locations.

**Specifications:**

- Black finish.
- Powder coat finish.
- Die-cast aluminum construction with durable powder coated finish
- 2,150 lumens 30 lumens/watt per module (delivered)
- 3000K color temperature, 90+ CRI
- Meets California Title 24 high efficacy requirements for outdoor use only.
- Dimmable to 10% with many ELV dimmers
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.5 in W., 4.5 in ht., 2.94 in depth
- Mounting strap for outlet box included
- 6 in of wire supplied

**Performance:**

Number of Modules	2
Input Power	29 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Down-Source)	1262/44 (LM-82) per module
Lumens/LPW (Up-Source)	1300/44 (LM-82) per module
Lumens/LPW (Delivered)	2,150/30 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Max. Operating Temp	30 °C
Warranty	5-year Limited Warranty
Labels	cCSAus Damp Location Listed

**P5642-31/30K**



**Dimensions:**

Width: 6 in  
 Height: 18 in  
 Depth: 8-7/8 in  
 H/CTR: 8 in

# P5642-31/30K

## Dimming Notes:

---

P5642-31/30K is designed to be compatible with many ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls.

## Dimming Controls:

---

Lutron\_Diva DVELV-300P

Lutron\_Nova NTELV-300

Lutron\_Vierti VTELV-600

Lutron\_Maestro MAELV-600

Lutron\_spacer/system SPSELV-600

Leviton\_Renoir II AWRMG-EAW

Leviton\_6615-P

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

# TYPE: D

Project		Catalog #		Type	
Prepared by		Notes		Date	



## HALO Commercial HC6 | HM6 | 61 | 61PS

6-inch LED downlight and wall wash

### Typical Applications

Office • Healthcare • Hospitality • Institutional • Mixed-Use/Retail

### Interactive Menu

- Order Information [page 2](#)
- Product Specifications [page 4](#)
- Photometric Data [page 5](#)
- Energy & Performance Data [page 8](#)
- Connected Systems [page 10](#)
- Product Warranty

### Top Product Features

- New construction/remodel series; 500 to 6,000 lumens
- Narrow, Medium and Wide distributions; Wall wash with rotatable linear spread lens
- 2700K, 3000K, 3500K, 4000K, 5000K CCT; 80 or 90 CRI
- Universal voltage 120V-277V; Standard 0-10V driver dims to 1%
- Mounting frame converts to remodel that installs from below the ceiling
- Quick Spec emergency backup mounting frames - fast delivery option

### Product Certification



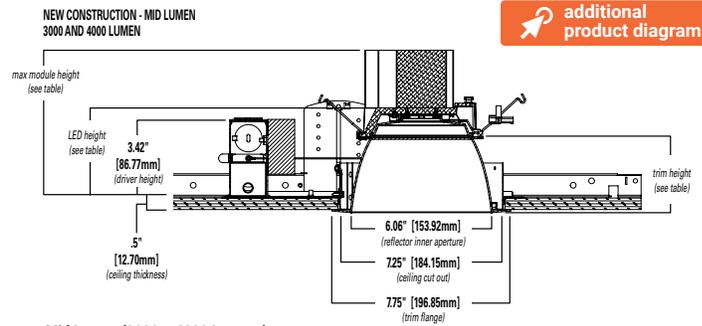
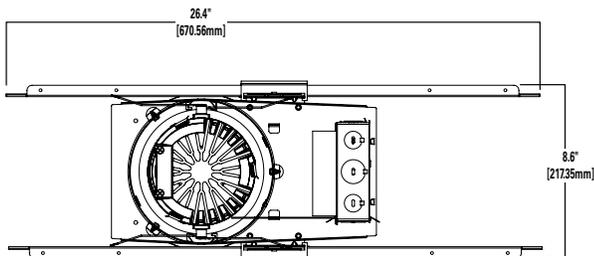
### Product Features



### Control Compatibility



### Dimensional and Mounting Details



[additional product diagrams](#)

#### Mid Lumen (3000 – 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	6.6"	3.4"	3.8"
Medium	6.7"	3.5"	3.9"
Wide	6.5"	3.3"	3.7"
Baffle	6.5"	3.3"	3.7"

## Mounting Frame Order Information

Sample Number: **HC620D010REM7 – HM60525835 - 61MDC**

A complete luminaire consists of a housing frame, LED module, and reflector (ordered separately)

Mounting Frame	Lumens	Driver Options	Factory Installed Emergency & Connected Lighting Options	Accessories (Order & Install Separately)
<p><b>HC6</b> = 6" new construction downlight housing</p> <p><b>HC6CP</b> = 6" new construction housing, Chicago Plenum - CCEA compliant</p>	<p>05 = 500 lm</p> <p>07 = 750 lm</p> <p>10 = 1000 lm</p> <p>15 = 1500 lm</p> <p><b>20 = 2000 lm</b></p> <p>25 = 2500 lm</p> <p>30 = 3000 lm</p> <p>35 = 3500 lm</p> <p>40 = 4000 lm</p> <p>45 = 4500 lm <sup>(7)</sup></p> <p>50 = 5000 lm <sup>(7)</sup></p> <p>55 = 5500 lm <sup>(7)</sup></p> <p>60 = 6000 lm <sup>(7)</sup></p>	<p><b>D010</b>=UNV 120-277V, 50/60Hz, 0-10V 1%-100% dimming at 120-277V on 0-10V controls</p> <p><b>Canada Option 500-5000 lumens:</b>  <b>D010347</b> = 347VAC 50/60Hz 0-10V 1%-100% dimming. For 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000lm models only <sup>(1)</sup></p> <p><b>Canada Option 5500-6000 lumens:</b>  <b>D010X347</b> = step down transformer factory installed (with standard "D010" 120V-277V LED driver). For 5500, 6000lm models only <sup>(1)</sup></p> <p><b>DLV</b> = Distributed Low Voltage dimming driver 1%-100%, 1000-4000 lumens only. For use with DLVP system only, refer to DLVP specifications for details. <sup>(1)</sup></p>	<p><b>REM7</b> = 7 watt emergency battery pack with remote test / indicator light, use with D010 only <sup>(1) (2) (6)</sup></p> <p><b>REM14</b> = 14 watt emergency battery pack with remote test / indicator light, use with D010 only <sup>(1) (2) (6)</sup></p> <p><b>IEM7</b> = 7 watt emergency battery pack with integral test / indicator light, use with D010 only <sup>(1) (2) (6)</sup></p> <p><b>IEM14</b> = 14 watt emergency battery pack with integral test / indicator light, use with D010 only <sup>(1) (2) (6)</sup></p> <p><b>BOD7ST</b> = 7.5 watt Bodine self-test emergency battery pack with remote test / indicator light, use with D010 only <sup>(1) (2) (6)</sup></p> <p><b>WTA</b> = Factory WaveLinX PRO Tilemount Sensor Kit <sup>(4)</sup></p> <p><b>WTK</b> = Factory WaveLinX LITE Tilemount Sensor Kit <sup>(5)</sup></p> <p><b>WPN</b> = WaveLinX PRO Wireless Node without Sensor <sup>(9)</sup></p> <p><b>WLN</b> = WaveLinX LITE Wireless Node without Sensor <sup>(10)</sup></p> <p><b>REM7V</b> = 7 watt emergency battery pack with remote test / indicator light, use with DLV only <sup>(1) (2) (3) (6)</sup></p> <p><b>REM14V</b> = 14 watt emergency battery pack with remote test / indicator light, use with DLV only <sup>(1) (2) (3) (6)</sup></p> <p><b>IEM7V</b> = 7 watt emergency battery pack with integral test / indicator light, use with DLV only <sup>(1) (2) (3) (6)</sup></p> <p><b>IEM14V</b> = 14 watt emergency battery pack with integral test / indicator light, use with DLV only <sup>(1) (2) (3) (6)</sup></p>	<p><b>HB128APK</b> = L channel hanger bar, 26", pair (replacement)</p> <p><b>RB22</b> = Adjustable wood joist mounting bars, pair, extend to 22" long</p> <p><b>HSA6</b> = Slope Adapter for 6" Aperture Housings, Specify Slope (refer to instructions for installing housing and trim)</p> <p><b>H347</b> = 347 to 120V step down transformer, 75VA</p> <p><b>H347200</b> = 347 to 120V step down transformer, 200VA</p> <p><b>WTA</b> = Field WaveLinX PRO Tilemount Sensor Kit <sup>(4)</sup></p> <p><b>WTK</b> = Field WaveLinX LITE Tilemount Sensor Kit <sup>(5)</sup></p>
<b>Notes</b>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>
	<p>(7) Marked Spacing: Center to Center of Adjacent Luminaires = 36" Center of Luminaire to Building Member = 18" Minimum overhead = 0.5</p>	<p>(1) Not available with CP models</p>	<p>(1) Not available with CP models</p> <p>(2) Not available with D010347 (347V models)</p> <p>(3) ULus for U.S. only</p> <p>(4) WTA = WaveLinX PRO tilemount sensor kit for daylight dimming, PIR motion sensing, and optional RLTS - Real Time Location Services, use with D010 only. (Refer to WaveLinX PRO specifications.)</p> <p>(5) WTK = WaveLinX LITE tilemount sensor kit for daylight dimming, PIR motion sensing, use with D010 only. (Refer to WaveLinX LITE specifications.)</p> <p>(6) Emergency battery backup options are Non-IC only, and rated for a minimum starting temperature of 0°C</p> <p>(9) WPN = WaveLinX PRO wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. Not compatible with 347V or Chicago plenum. (Refer to WaveLinX PRO specifications.)</p> <p>(10) WLN = WaveLinX LITE wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. Not compatible with 347V or Chicago plenum. (Refer to WaveLinX LITE specifications.)</p>	<p>(4) WTA = WaveLinX PRO tilemount sensor kit for daylight dimming, PIR motion sensing, and optional RLTS - Real Time Location Services, use with D010 only. (Refer to WaveLinX PRO specifications.)</p> <p>(5) WTK = WaveLinX LITE tilemount sensor kit for daylight dimming, PIR motion sensing, use with D010 only. (Refer to WaveLinX LITE specifications.)</p>

## Quick Spec Emergency Mounting Frame Order Information

Sample Number :

Quick Spec Emergency Mounting Frame: **RR-HC620D010REM7**

LED module and reflectors are ordered separately.

Order separately: LED Module: HM60525835 | Reflector: 61MDC

Select from the Quick Spec Mounting Frame ordering information to receive the **Fast Delivery** option for the frame.

Quick Spec Code	Mounting Frame	Lumens	Driver Options	Factory Installed Emergency & Connected Lighting Options	Accessories (Order & Install Separately)
<p><b>RR</b> = East Region</p> <p><b>BRR</b> = West Region</p>	<p><b>HC6</b> = 6" new construction downlight housing</p>	<p>10 = 1000 lm</p> <p>15 = 1500 lm</p> <p>20 = 2000 lm</p> <p>30 = 3000 lm</p> <p>40 = 4000 lm</p>	<p><b>D010</b>=UNV 120-277V, 50/60Hz, 0-10V 1%-100% dimming at 120-277V on 0-10V controls</p>	<p><b>REM7</b> = 7 watt emergency battery pack with remote test / indicator light, use with D010 only <sup>(2) (6)</sup></p> <p><b>REM14</b> = 14 watt emergency battery pack with remote test / indicator light, use with D010 only <sup>(2) (6)</sup></p> <p><b>IEM7</b> = 7 watt emergency battery pack with integral test / indicator light, use with D010 only <sup>(2) (6)</sup></p> <p><b>IEM14</b> = 14 watt emergency battery pack with integral test / indicator light, use with D010 only <sup>(2) (6)</sup></p>	<p><b>HB128APK</b> = L channel hanger bar, 26", pair (replacement)</p> <p><b>RB22</b> = Adjustable wood joist mounting bars, pair, extend to 22" long</p>
<b>Notes</b>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>
				<p>(2) Not available with D010347 (347V models)</p> <p>(6) Emergency battery backup options are Non-IC only, and rated for a minimum starting temperature of 0°C</p>	

## LED Module Order Information

LED Module	Lumens	CRI/CCT	
<b>HM6</b> = 6" LED Modules For use with HC6 - HC6CP New Construction housings only	<b>0525</b> = 500 - 2500 lumen <b>3040</b> = 3000-4000 lumen <b>4560</b> = 4500-6000 lumen	<b>827</b> = 80CRI, 2700K <b>830</b> = 80CRI, 3000K <b>835</b> = 80CRI, 3500K <b>840</b> = 80CRI, 4000K <b>850</b> = 80CRI, 5000K	<b>927</b> = 90CRI, 2700K <b>930</b> = 90CRI, 3000K <b>935</b> = 90CRI, 3500K <b>940</b> = 90CRI, 4000K <b>950</b> = 90CRI, 5000K
<b>Notes</b>	<b>Notes</b>	<b>Notes</b>	

## Trim Order Information

Reflector	Distribution <sup>(8)</sup>	Finish	Flange	Accessories
<b>61</b> = 6" conical reflector	<b>ND</b> = narrow 55° beam angle 0.97 SC <b>MD</b> = medium 60° beam angle 1.10 SC <b>WD</b> = wide 65° beam angle 1.28 SC <b>RWW</b> = rotatable wall wash with linear spread lens	<b>C</b> = Specular clear <b>H</b> = Semi-specular clear <b>W</b> = White	<b>Blank</b> = Polished flange standard with C & H reflectors <b>Blank</b> = White flange standard with W reflector <b>WF</b> = White flange option available with C & H reflectors	<b>61RWWPK</b> = Replacement part kit - wall wash lens insert - for use with 61RWW* only.
<b>Notes</b>	<b>Notes</b> <small>(8) Values are nominal, with specular clear reflector, other finishes and field results may vary.</small>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>

Baffle	Distribution <sup>(8)</sup>	Finish	Flange	Accessories
<b>61</b> = 6" baffle reflector	<b>WD</b> = wide 65° beam angle 1.28 SC (nominal) <b>RWW</b> = rotatable wall wash with linear spread lens	<b>BB</b> = Black baffle <b>WB</b> = White baffle	<b>Blank</b> = White flange standard with BB, & WB <b>BF</b> = Black flange option available with BB	<b>61RWWPK</b> = Replacement part kit - wall wash lens insert - for use with 61RWW* only.
<b>Notes</b>	<b>Notes</b> <small>(8) Values are nominal, with specular clear reflector, other finishes and field results may vary.</small>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>

Reflector	Distribution <sup>(8)</sup>	Finish	Flange
<b>61PS</b> = 6" non-conductive polymer 'dead front' conical reflector <sup>(9)</sup>	<b>MD</b> = medium 60° beam angle 1.10 SC (nominal)	<b>W</b> = White	<b>Blank</b> = White flange standard with W reflector
<b>Notes</b> <small>(9) 61PS is 1000-2000 lumens Non-IC rated. 500 &amp; 750 lumens IC rated. 61PS is not for use over 2000lm in Non-IC or over 750lm in IC.</small>	<b>Notes</b> <small>(8) Values are nominal, with specular clear reflector, other finishes and field results may vary.</small>	<b>Notes</b>	<b>Notes</b>

IEM Reflector	Distribution <sup>(8)</sup>	Finish	Flange	Integral Emergency
<b>61</b> = 6" IEM reflector for integral emergency only	<b>ND</b> = narrow 55° beam angle 0.97 SC <b>MD</b> = medium 60° beam angle 1.10 SC <b>WD</b> = wide 65° beam angle 1.28 SC	<b>C</b> = Specular clear <b>H</b> = Semi-specular clear <b>W</b> = White	<b>Blank</b> = Polished flange standard with C & H reflectors <b>Blank</b> = White flange standard with W reflector <b>WF</b> = White flange option available with C & H reflectors	<b>IEM</b> = Reflector for use with integral emergency housings only. Provides access hole for integral emergency test switch.
<b>Notes</b>	<b>Notes</b> <small>(8) Values are nominal, with specular clear reflector, other finishes and field results may vary.</small>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>

IEM Baffle	Distribution <sup>(8)</sup>	Finish	Flange	Integral Emergency
<b>61</b> = 6" IEM baffle reflector for integral emergency only	<b>WD</b> = wide 65° beam angle 1.28 SC (nominal)	<b>BB</b> = Black baffle <b>WB</b> = White baffle	<b>Blank</b> = White flange standard with BB, & WB <b>BF</b> = Black flange option with BB	<b>IEM</b> = Reflector for use with integral emergency housings only. Provides access hole for integral emergency test switch.
<b>Notes</b>	<b>Notes</b> <small>(8) Values are nominal, with specular clear reflector, other finishes and field results may vary.</small>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b>

## Product Specifications

### Housing Frame

- Boat shaped galvanized steel plaster frame with adjustable plaster lip
- Accommodates 1/2" to 1-1/2" thick ceilings
- Installs in new construction or from below the finished ceiling (non-accessible) for remodeling (with mounting bars removed)
- Provided with two remodel clips to secure the frame to the ceiling

### Universal Mounting Bracket

- Adjusts 2" vertically from above and below the ceiling
- Use with the included mounting bars or with 1/2" Electric Metallic Tube (EMT)
- Removable to facilitate remodeling installation from below the finished ceiling

### Mounting Bars

- Captive pre-installed No Fuss™ mounting bars lock to T-grid with screwdriver or pliers
- Centering detents allow for consistent positioning of fixtures

### LED Module

- Proximity phosphors over chip on board LEDs provide a uniform source with high efficiency and no pixilation
- Available in 80 or 90 color rendering index (CRI)
- Color accuracy within 3 SDCM provides color consistency and uniformity
- 90 CRI option: R9>50 (refer to chromaticity information for details)
- Available in 2700K, 3000K, 3500K, 4000K and 5000K correlated color temperature (CCT)
- Lumen options include 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000 lumens (nominal)
- Passive thermal management achieves 60,000 hours at 70% lumen maintenance (L70) in insulated ceilings (IC) and non-IC applications
- Integral diffuse lens provides visual shielding
- Integral connector allows quick connection to housing flex

### Reflector

- Self-flanged aluminum reflectors available in narrow, medium or wide distribution patterns
- Medium distribution polymer non-conductive matte white reflector may be used to meet local codes for 'dead front' applications (500 & 750 lumen max. in IC and 2000 lumen max. in Non-IC)
- Wall wash reflector features a rotatable linear spread lens for alignment of vertical illumination
- Reflectors attach to LED module with three speed clamps
- Available in multiple painted or plated finishes

### Reflector/Module Retention

- Reflector/module assembly is securely retained in the housing with two torsion springs

### Driver

- Field-replaceable constant current driver provides low noise operation
- Universal 120-277VAC 50/60Hz input standard
- Continuous, 1% to 100% dimming with 0-10V analog control
- Optional low-voltage DC driver for use with Distributed Low Voltage Power (DLVP) system
- Distributed Low Voltage Power (DLVP) system combines power, lighting and controls with ease of installation (refer to DLVP Design Guide at [www.cooperlighting.com](http://www.cooperlighting.com) for details)

### Canada Options

- 347VAC 50/60Hz; 1% dimming on 0-10V analog control, for 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000 lumen models only
- 347V step down transformer factory installed with the standard "D010" 120V-277V, LED driver on 5500, 6000 lumen models only

### Emergency Option

- Provides 90 minutes of standby lighting, meeting most life safety codes for egress lighting
- Available with integral or remote charge indicator and test switch
- Available Self-Test (self-diagnostic) with remote charge indicator and test switch
- Quick Spec emergency ordering option for quick-turn projects

### Connected Lighting System

Two WaveLinx connected solutions to choose from. Refer to WaveLinx system specifications and application guides for details.

#### WaveLinx PRO Tilemount Sensor Kit

- WaveLinx PRO WTA tilemount sensor kit offers daylight dimming, PIR motion sensing, scene and zone configuration, automatic commissioning; and optional RLTS - Real Time Location Services available.

#### WaveLinx PRO Wireless Node

- WaveLinx PRO WPN wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. **Note:** Not compatible with 347V or Chicago plenum.

#### WaveLinx LITE Tilemount Sensor Kit

- WaveLinx LITE WTK tilemount sensor kit offers daylight dimming and PIR motion sensing, scene and grouping configuration.

#### WaveLinx LITE Wireless Node

- WaveLinx LITE WLN wireless node provides luminaire level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. **Note:** Not compatible with 347V or Chicago plenum.

#### WaveLinx Tilemount Sensor Kits Application

- The WTA and WTK tilemount sensor kits include a control module mounted on the luminaire junction box via 1/2" knock-out, and a tilemount sensor on 54-inch whip; for ceiling installation by direct-mount spring clips or via mounting bracket in octagon ceiling boxes.
- The WTA and WTK tilemount sensor kits may be ordered as factory installed on the luminaire, or ordered separately as a field installed accessory kit.
- **Note: WaveLinx PRO devices are only compatible with the WaveLinx PRO system.**
- **Note: WaveLinx LITE devices are only compatible with the WaveLinx LITE system.**

### Junction Box

- Galvanized steel junction box
- 20 in<sup>3</sup> internal volume excluding voltage barrier
- 25 in<sup>3</sup> internal total volume
- Voltage barrier for 0-10V dimming wires (occupies one 1/2" pry-out space)
- Listed for eight #12 AWG (four in, four out) 90°C conductors and feed-thru branch wiring
- Three 1/2" and two 3/4" trade size pry-outs available
- Three 4-port push wire nuts for mains voltage with 1-port for fixture connection

### Compliance

- cULus Certified to UL 1598 / C22.2 No. 250.0, suitable for damp locations and wet locations in covered ceilings only
- Emergency options provided with UL Listed emergency drivers to UL 924 / C22.2 No. 141, suitable for indoor/damp locations
- IP20 - Above finished ceiling; IP65 - Below finished ceiling
- Non-Insulated ceiling (Non-IC) rated for 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000 lumen models (insulation must be kept 3" from top and sides)
- Insulated ceiling (IC) rated for 500, 750, 1000, 1500, 2000 lumen models and suitable for direct contact with air permeable insulation\* (IC models are also suitable for Non-IC installations)
- Non-IC marked spacing required for 4500, 5000, 5500, 6000 lumen models
  - Marked Spacing Center to Center of Adjacent Luminaires = 36"
  - Center of Luminaire to Building Member = 18"
  - Minimum overhead = 0.5"
- Airtight per ASTM-E283-04
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions FCC CFR Title 47 Part 15 Class A at 120/277V
- Contains no mercury or lead and RoHS compliant
- Photometric testing completed in accordance of IES LM-79-08
- Lumen maintenance projection in accordance of IES LM-80-08 and TM-21-11
- 500, 750, 1,000, 1,500 and 2,000 lumen, 90 CRI, ICAT models may be used to comply with State of California Title 24 residential code, per JA8 certification standards
- May be used to comply with State of California Title 24 non-residential code as a dimmable LED luminaire
- ENERGY STAR® certified, reference certified light fixtures database
- \*Not for use in direct contact with spray foam insulation, consult NEMA LSD57-2013

### Warranty

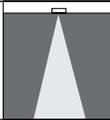
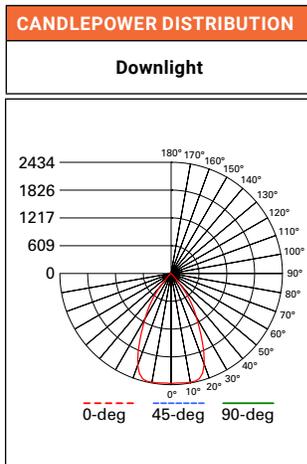
- Five year limited warranty, consult website for details. [www.cooperlighting.com/legal](http://www.cooperlighting.com/legal)

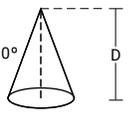
## Photometric Data

[View IES files](#)

### NARROW DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

NARROW (55° BEAM*)	
Test Number	P581878
Housing	HC620D010
Module	HM60525835
Reflector	61NDC
Lumens	2228 Lm
Efficacy	111.4 Lm/W
SC	0.93
UGR	11.7

CONE OF LIGHT				
				
MH	FC	L	W	
5.5'	80.2	5	5	
7'	49.5	6.4	6.4	
8'	37.9	7.4	7.4	
9'	30	8.2	8.2	
10'	24.3	9.2	9.2	
12'	16.9	11	11	

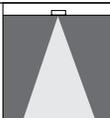
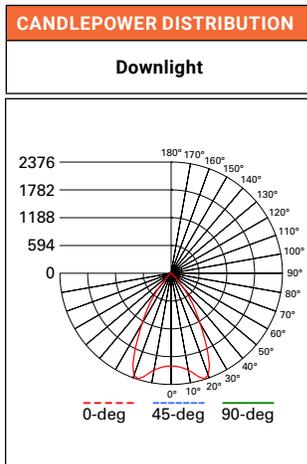
CANDELA TABLE	
Degrees Vertical	Candela
0	2427
5	2422
15	2405
25	1621
35	761
45	118
55	12
65	3
75	2
85	0
90	0

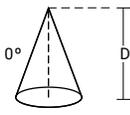
ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	1636	73.4
0-40	2098	94.2
0-60	2223	99.8
0-90	2228	100
90-180	0	0
0-180	2228	100

LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	9187
55	1118
65	376
75	318
85	0

### MEDIUM DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

MEDIUM (60° BEAM*)	
Test Number	P581875
Housing	HC620D010
Module	HM60525835
Reflector	61MDC
Lumens	2307 Lm
Efficacy	115.3 Lm/W
SC	1.06
UGR	11.8

CONE OF LIGHT				
				
MH	FC	L	W	
5.5'	68.7	5.6	5.6	
7'	42.4	7.2	7.2	
8'	32.5	8.2	8.2	
9'	25.7	9.4	9.4	
10'	20.8	10.4	10.4	
12'	14.4	12.4	12.4	

CANDELA TABLE	
Degrees Vertical	Candela
0	1998
5	2022
15	2307
25	1842
35	796
45	126
55	15
65	4
75	2
85	0
90	0

ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	1671	72.4
0-40	2163	93.8
0-60	2301	99.7
0-90	2307	100
90-180	0	0
0-180	2307	100

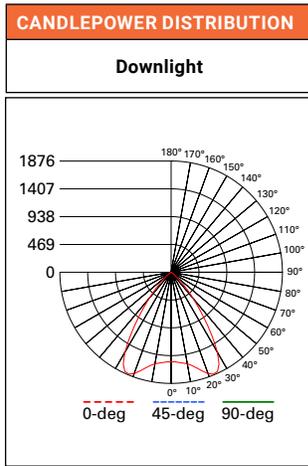
LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	9753
55	1395
65	571
75	318
85	0

## Photometric Data

[View IES files](#)

### WIDE DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WIDE (65° BEAM*)	
Test Number	P581885
Housing	HC620D010
Module	HM60525835
Reflector	61WDC
Lumens	2359 Lm
Efficacy	118 Lm/W
SC	1.28
UGR	11.6



CONE OF LIGHT				
MH	FC	L	W	
5.5'	50.5	7	7	
7'	31.2	8.8	8.8	
8'	23.9	10.2	10.2	
9'	18.8	11.4	11.4	
10'	15.3	12.8	12.8	
12'	10.6	15.4	15.4	

CANDELA TABLE	
Degrees Vertical	Candela
0	1526
5	1540
15	1685
25	1861
35	1027
45	252
55	32
65	6
75	2
85	0
90	0

ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	1461	61.9
0-40	2105	89.2
0-60	2351	99.6
0-90	2359	100
90-180	0	0
0-180	2359	100

LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	19506
55	3078
65	765
75	318
85	0

\*Value are nominal with specular clear reflectors, other finishes and field results may vary.  
 SC = Spacing Criteria  
 UGR = Unified Glare Rating

#### Photometric Multipliers (Nominal Lumen Values)

500 Lumen	750 Lumen	1000 Lumen	1500 Lumen	2000 Lumen	2500 Lumen	3000 Lumen	3500 Lumen
0.33	0.44	0.54	0.74	1.00	1.12	1.46	1.76

4000 Lumen	4500 Lumen	5000 Lumen	5500 Lumen	6000 Lumen
1.81	2.17	2.28	2.38	2.65

Multipliers for relative lumen values with other series models.

#### Color Finish Multipliers

Finish code	C	H	W/WB	BB
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.92	0.91	0.82

Multipliers for relative lumen values with other color finishes.

#### CCT Multipliers – 80CRI

2700K	3000K	3500K	4000K	5000K
0.92	0.98	1.00	1.03	1.03

Multipliers for relative lumen values with other series color temperatures.

#### CCT Multipliers – 90CRI

2700K	3000K	3500K	4000K	5000K
0.77	0.84	0.89	0.90	0.90

Multipliers for relative lumen values with other series color temperatures.

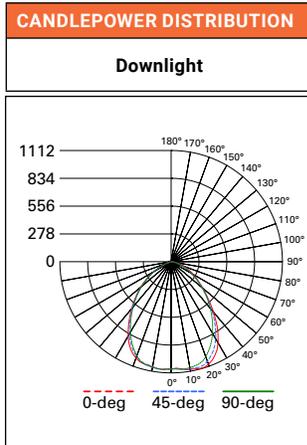
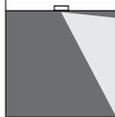
Note: Refer to IES files for more product data.

## Photometric Data

[View IES files](#)

### WALL WASH DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WALL WASH	
Test Number	P581882
Housing	HC620D010
Module	HM60525835
Reflector	61RWWC
Lumens	2179 Lm
Efficacy	109 Lm/W
SC	1.15



CANDELA TABLE	
Degrees Vertical	Candela
0	1080
5	1081
15	1112
25	1034
35	800
45	514
55	319
65	184
75	85
85	12
90	0

ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	849	39
0-40	1313	60.2
0-60	1978	90.8
0-90	2179	100
90-180	0	0
0-180	2179	100

LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	39810
55	30479
65	23907
75	17983
85	7359

SC = Spacing Criteria, nominal for specular clear reflector, other finishes and field results may vary.

SINGLE UNIT FOOTCANDLES								
2.5' from wall (distance from fixture along wall)								
1	19.3	13.8	6.1	2.2	0.7	0.3	0.1	
2	29.1	22.6	12.3	5.7	2.5	1.2	0.6	
3	27.6	22.5	13.8	7.3	3.7	1.9	1	
4	21	18.2	12.4	7.4	4.2	2.4	1.4	
5	14.4	13.1	9.9	6.6	4.1	2.5	1.6	
6	9.7	9.1	7.5	5.5	3.7	2.5	1.6	
7	6.7	6.4	5.5	4.3	3.2	2.2	1.5	
8	4.7	4.6	4.1	3.4	2.7	2	1.4	
9	3.4	3.3	3.1	2.7	2.2	1.7	1.3	
10	2.5	2.5	2.4	2.1	1.8	1.4	1.1	

MULTIPLE UNIT FOOTCANDLES								
2.5' from wall (Distance from fixture along 3')				2.5' from wall (Distance from fixture along 4')				
1	21.5	19.1	21.5	20	12.1	20		
2	34.7	34.4	34.7	31.6	24.6	31.6		
3	34.9	36	34.9	31.3	27.6	31.3		
4	28.4	30.7	28.4	25.2	24.8	25.2		
5	21	23.2	21	18.6	19.8	18.6		
6	15.2	16.8	15.2	13.4	15	13.4		
7	11	12	11	9.9	11	9.9		
8	8.1	8.7	8.1	7.4	8.2	7.4		
9	6.1	6.5	6.1	5.6	6.2	5.6		
10	4.6	4.9	4.6	4.3	4.7	4.3		

#### Photometric Multipliers (Nominal Lumen Values)

500 Lumen	750 Lumen	1000 Lumen	1500 Lumen	2000 Lumen	2500 Lumen	3000 Lumen	3500 Lumen
0.33	0.44	0.54	0.74	1.00	1.12	1.46	1.76

4000 Lumen	4500 Lumen	5000 Lumen	5500 Lumen	6000 Lumen
1.81	2.17	2.28	2.38	2.65

Multipliers for relative lumen values with other series models.

#### Color Finish Multipliers

Finish code	C	H	W/WB	BB
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.92	0.91	0.82

Multipliers for relative lumen values with other color finishes.

#### CCT Multipliers - 80CRI

2700K	3000K	3500K	4000K	5000K
0.92	0.98	1.00	1.03	1.03

Multipliers for relative lumen values with other series color temperatures.

#### CCT Multipliers - 90CRI

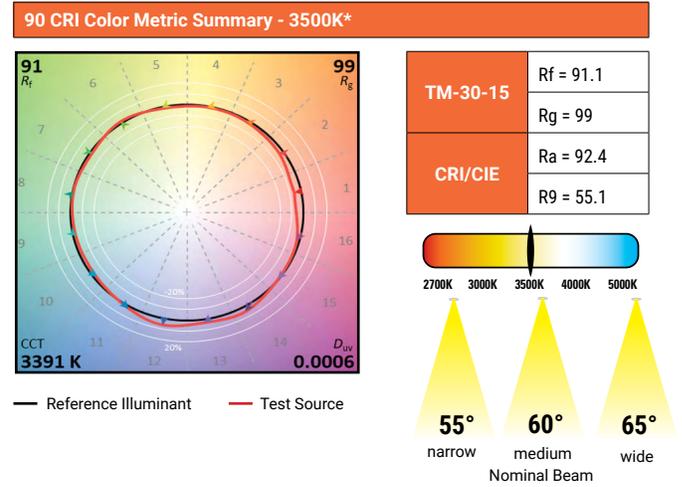
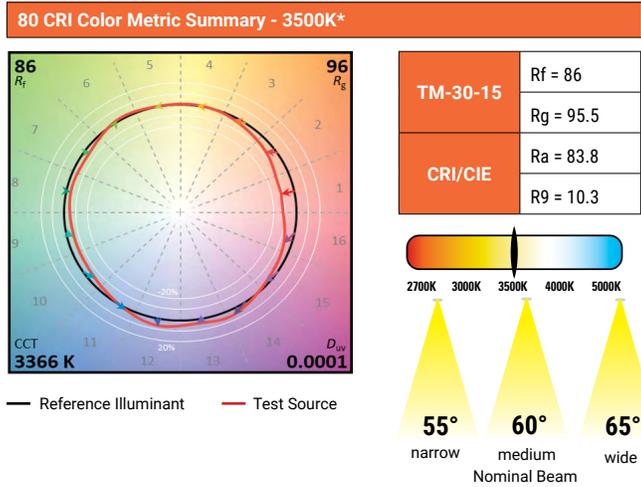
2700K	3000K	3500K	4000K	5000K
0.77	0.84	0.89	0.90	0.90

Multipliers for relative lumen values with other series color temperatures.

Note: Refer to IES files for more product data.

## Energy & Performance Data

### COLOR METRICS - TM-30-15 & CRI/CIE (3500K)



\* Color values are based on 61WDWB reflector, other finishes and field results may vary.

### ENERGY DATA

Series	500 lumen		750 lumen		1000 lumen		1500 lumen		2000 lumen	
	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Current (A)	0.051	0.026	0.067	0.036	0.083	0.039	0.119	0.053	0.171	0.077
Input Power (W)	6.1	6.5	7.9	8.3	10	10.4	14.5	14.5	20.9	20.6
In-rush (A)	1.9	8.4	2	8.4	2.2	8.5	2.7	8.5	2.1	9.7
Inrush duration (µs)	251	135	237	133	250	134	250	139	245	131
THD (%)	6.2	13.5	7.4	8.8	5.4	10.3	10	6.7	6.5	7.9
PF	≥ 0.99	≥ 0.9	≥ 0.98	≥ 0.92	≥ 0.99	≥ 0.95	≥ 0.99	≥ 0.97	≥ 0.99	≥ 0.96

Series	2500 lumen		3000 lumen		3500 lumen		4000 lumen		4500 lumen	
	120V	277V								
Input Voltage 120-277VAC	120V	277V								
Input Current (A)	0.23	0.103	0.24	0.107	0.292	0.152	0.351	0.159	0.384	0.172
Input Power (W)	27.5	27.5	28.6	28.5	34.6	35.1	42.1	42.1	45.9	45.6
In-rush (A)	2.5	5.6	2.5	11.6	3.4	13.9	3.1	14.7	3.1	14.8
Inrush duration (µs)	232	123	216	111	183	95	200	98	202	100
THD (%)	6.5	8.1	7.8	8.3	5.6	10	4.1	9.5	4.5	8.5
PF	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.93	≥ 0.99	≥ 0.94	≥ 0.99	≥ 0.95

Series	5000 lumen		5500 lumen		6000 lumen	
	120V	277V	120V	277V	120V	277V
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V
Input Current (A)	0.419	0.186	0.457	0.201	0.489	0.214
Input Power (W)	50.1	49.5	54.6	53.7	58.4	57.4
In-rush (A)	3.1	15	3.2	14.8	3.4	14.8
Inrush duration (µs)	202	117	196	131	192	121
THD (%)	5.5	7.6	7	7.2	8.1	7.2
PF	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.97

Minimum starting temperature -30°C (-22°F)\*  
(Nominal input 120-277VAC & 100% of rated output power)

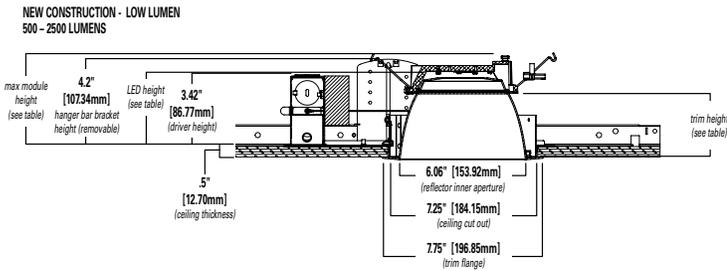
Sound Rating: Class A standards

#### Notes:

\* Emergency Battery packs are rated for a minimum starting temperature of 0°C.

## Dimensional and Mounting Details

### NEW CONSTRUCTIONS - LOW LUMEN 500 – 2500 LUMENS



#### Low Lumen (500 – 2500 Lumens)\*

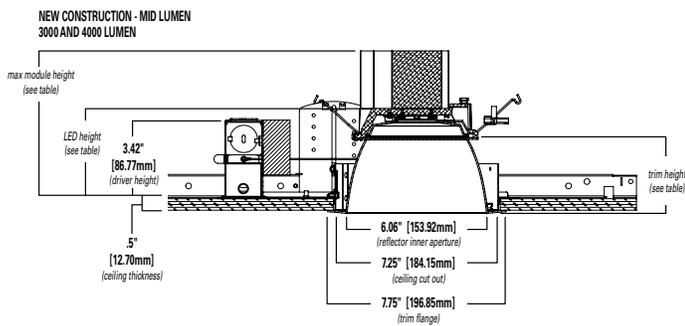
Distribution	Max. Module Height	Trim Height	LED Height
Narrow	4.5"	3.4"	3.8"
Medium	4.6"	3.5"	3.9"
Wide	4.4"	3.3"	3.7"
Baffle	4.4"	3.3"	3.7"



Low Lumen Module

\*Max. height w/removable hanger bar bracket 4.2"

### NEW CONSTRUCTIONS - MID LUMEN 3000 – 4000 LUMENS



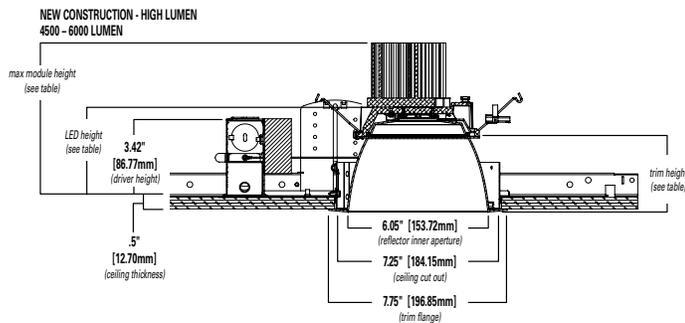
#### Mid Lumen (3000 – 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	6.6"	3.4"	3.8"
Medium	6.7"	3.5"	3.9"
Wide	6.5"	3.3"	3.7"
Baffle	6.5"	3.3"	3.7"



Mid Lumen Module

### NEW CONSTRUCTIONS - HIGH LUMEN 4500 – 6000 LUMENS



#### High Lumen (4500 – 6000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	6.9"	3.4"	3.8"
Medium	7.0"	3.5"	3.9"
Wide	6.8"	3.3"	3.7"
Baffle	6.8"	3.3"	3.7"



High Lumen Module

## Connected Solutions

### WaveLinx LITE - WTK Tilemount Sensor

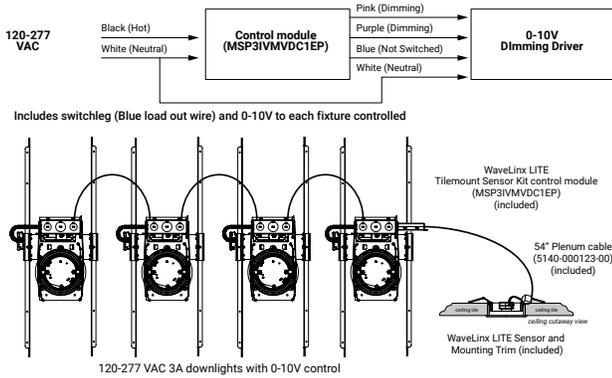
WaveLinx LITE devices only compatible with the WaveLinx LITE system.



- Intuitive Android™ or Apple® iOS® app for basic system code compliant set up and configuration via Bluetooth
- Up to 28 unique areas per project site (WaveLinx LITE Bluetooth network)
- Up to 50 devices for an area, any one of 16 control zones, up to 6 occupancy sets, and custom lighting scenes
- Automatic occupancy or vacancy, sensor sensitivity, daylight dimming, etc. configurable through the app
- Refer to the WaveLinx system specifications for details



#### WaveLinx LITE WTK Tilemount Wiring Diagram



#### WaveLinx LITE Bluetooth Enabled System



### WaveLinx PRO – WTA Tilemount Sensor

WaveLinx PRO devices only compatible with the WaveLinx PRO system.



- WaveLinx PRO tilemount functionality configures zones and customizes settings from one secure mobile app
- Automatic code commissioning that meets the strictest codes
- Fixtures and sensors integrate with Wireless Area Controller, Wall Stations, and Control Devices
- Stand-Alone Offices or Entire Building Network Installations

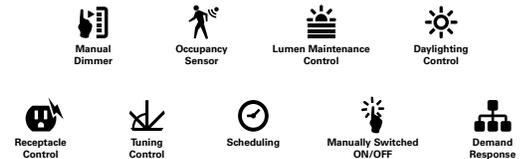
**Downlights with tilemount sensor**  
Highly efficient LED fixtures

**WaveLinx Area Controller**  
Provides centralized coordination of multiple area control options

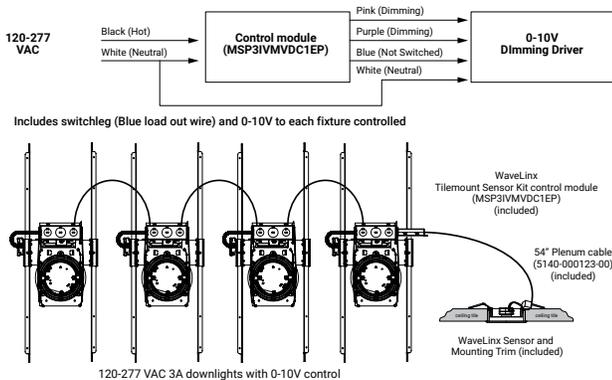
**Wireless Wall Station/Receptacle**  
Provides customized wireless control of each area

**Mobile Applications**  
Provides personalized, local control from a tablet or smartphone

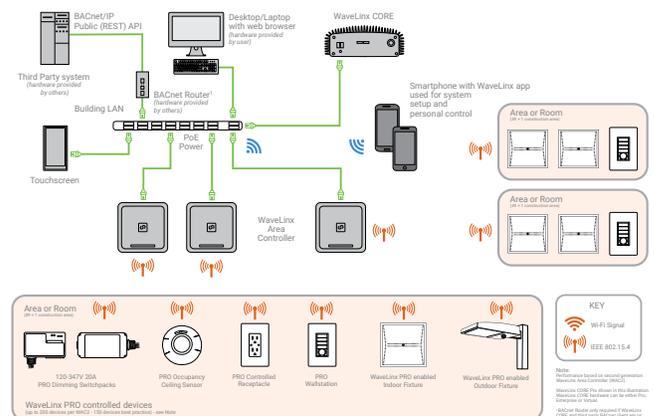
#### WaveLinx mobile app settings



#### WaveLinx WTA Tilemount Wiring Diagram



#### WaveLinx CORE Building Management Integration



## Connected Solutions



### WaveLinX LITE Wireless Node - WLN

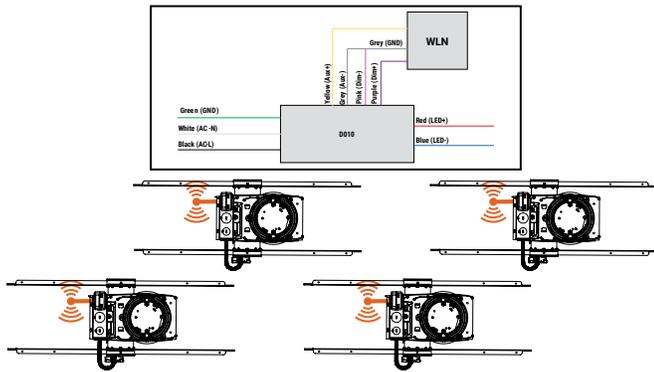
WaveLinX LITE devices only compatible with the WaveLinX LITE system.

- Intuitive Android™ or Apple® iOS® app for basic system code compliant set up and configuration via Bluetooth
- Up to 28 unique areas per project site (WaveLinX LITE Bluetooth network)
- Up to 50 devices for an area, any one of 16 control zones, up to 6 occupancy sets, and custom lighting scenes
- Refer to the WaveLinX system specifications for details

#### WaveLinX mobile app settings



#### WaveLinX LITE Wireless Node (WLN) Wiring Diagram



#### WaveLinX LITE Bluetooth Enabled System



### WaveLinX PRO Wireless Node - WPN

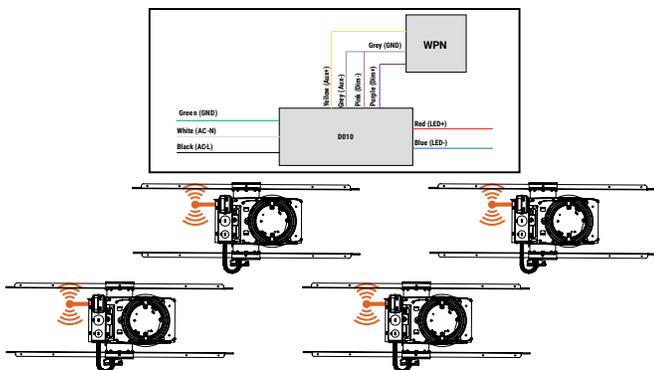
WaveLinX PRO devices only compatible with the WaveLinX PRO system.

- WaveLinX Wireless functionality configures zones and customizes settings from one secure mobile app
- Automatic code commissioning that meets the strictest codes
- Fixtures and sensors integrate with WaveLinX Area Controller, Wall Stations, and Control Devices
- Stand-Alone Offices or Entire Building Network Installations

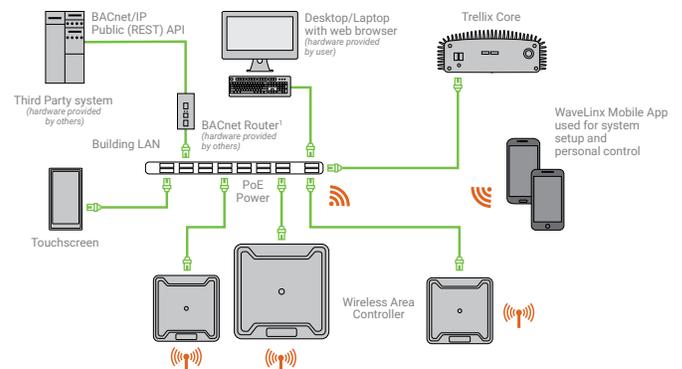
#### WaveLinX mobile app settings



#### WaveLinX PRO Wireless Node (WPN) Wiring Diagram



#### WaveLinX CORE Building Management Integration



## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



## CONTROL TECHNOLOGY



## SERVICE PROGRAMS



## SPECIFICATIONS

### CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

### OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

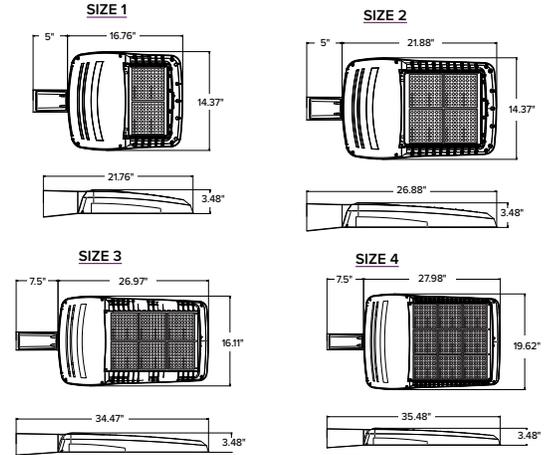
### CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

### CONTROLS (CONTINUED)

- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

## MICRO STRIKE | STRIKE OPTICS



	EPA				Config
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>).

### WARRANTY

- 5 year warranty

# VIPER Area/Site

VIPER LUMINAIRE

## MICROSTRIKE OPTICS – ORDERING GUIDE

Gray Shading = Service Program Limit of 15 luminaires

**Example:** VP-2-320L-145-3K7-2-R-UNV-A3-BLT

CATALOG # \_\_\_\_\_

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	Micro Strike	1 Size 1	<b>160L-35<sup>6</sup></b> 5500 lumens 160L-50 <sup>6</sup> 7500 lumens 160L-75 10000 lumens <b>160L-100</b> 12500 lumens 160L-115 15000 lumens 160L-135 18000 lumens 160L-160 21000 lumens	<b>AP</b> AP-Amber Phosphor Converted <b>27K8</b> 2700K, 80 CRI <b>3K7</b> 3000K, 70 CRI <b>3K8</b> 3000K, 80 CRI <b>35K8</b> 3500K, 80 CRI <b>3K9</b> 3000K, 90 CRI <b>4K7</b> 4000K, 70 CRI <b>4K8</b> 4000K, 80 CRI <b>4K9</b> 4000K, 90 CRI <b>5K7</b> 5000K, 70 CRI <b>5K8</b> 5000K, 80 CRI	<b>2</b> Type 2 <b>3</b> Type 3 <b>4F</b> Type 4 Forward <b>4W</b> Type 4 Wide <b>5QW</b> Type 5 Square Wide	<b>BLANK</b> <b>No Rotation</b> L Optic rotation left R Optic rotation right	<b>UNV</b> 120-277V <b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V
		2 Size 2	320L-145 21000 lumens 320L-170 24000 lumens 320L-185 27000 lumens 320L-210 30000 lumens 320L-235 33000 lumens 320L-255 36000 lumens 320L-315 <sup>6</sup> 40000 lumens				
		3 Size 3	480L-285 40000 lumens 480L-320 44000 lumens 480L-340 48000 lumens 480L-390 52000 lumens 480L-425 55000 lumens 480L-470 60000 lumens				
		4 Size 4	720L-435 60000 lumens 720L-475 65000 lumens 720L-515 70000 lumens 720L-565 <sup>6</sup> 75000 lumens 720L-600 <sup>6</sup> 80000 lumens CLO Custom Lumen Output <sup>1</sup>				

Mounting	Color	Options	Network Control Options
<b>A</b> Arm mount for square pole/flat surface (B3 Drill Pattern) (Does not include round pole adapter) <b>A_</b> Arm mount for round pole <sup>2</sup> <b>ASQU</b> Universal arm mount for square pole. Can be used with B3 or S2 Drill Pattern <b>A_U</b> Universal arm mount for round pole <sup>2</sup> <b>AAU</b> Adjustable arm for pole mounting (universal drill pattern) <b>AA_U</b> Adjustable arm mount for round pole <sup>2</sup> <b>ADU</b> Decorative upswept Arm (universal drill pattern) <b>AD_U</b> Decorative upswept arm mount for round pole <sup>2</sup> <b>MAF</b> Mast arm fitter for 2-3/8" OD horizontal arm <b>K</b> Knuckle <b>T</b> Trunnion <b>WB</b> Wall Bracket, horizontal tenon with MAF <b>WM</b> Wall mount bracket with decorative upswept arm <b>WA</b> Wall mount bracket with adjustable arm	<b>BLT</b> Black Matte Textured <b>BLS</b> Black Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>DBS</b> Dark Bronze Gloss Smooth <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Grey Gloss Smooth <b>LGT</b> Light Grey Gloss Textured <b>PSS</b> Platinum Silver Smooth <b>WHT</b> White Matte Textured <b>WHS</b> White Gloss Smooth <b>VGT</b> Verde Green Textured <b>Color Option</b> <b>CC</b> Custom Color	<b>F</b> Fusing <b>2PF</b> Dual Power Feed <b>2DR</b> Dual Driver <b>TE</b> Toolless Entry <b>BC</b> Backlight Control <sup>8</sup> <b>TB</b> Terminal Block	<b>NXWS16F</b> NX Networked Wireless Enabled Integral NX SMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,3,4</sup> <b>NXWS40F</b> NX Networked Wireless Enabled Integral NX SMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,3,4</sup> <b>NXW</b> NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor <sup>3,4</sup> <b>WIR</b> LightGRID+ In-Fixture Module <sup>3,4</sup> <b>WIRSC</b> LightGRID+ Module and Occupancy Sensor <sup>3,4</sup> <b>Stand Alone Sensors</b> <b>BTS-14F</b> Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens <b>BTS-40F</b> Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens <b>BTSO-12F</b> Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens <b>7PR</b> 7-Pin Receptacle <sup>4</sup> <b>7PR-SC</b> 7-Pin Receptacle with shorting cap <sup>4</sup> <b>3PR</b> 3-Pin twist lock <sup>4</sup> <b>3PR-SC</b> 3-Pin receptacle with shorting cap <sup>4</sup> <b>3PR-TL</b> 3-Pin PCR with photocontrol <sup>4</sup> <b>Programmed Controls</b> <b>SCP-_F</b> Sensor Control Programmable, 8F or 40F <sup>9</sup> <b>ADD</b> AutoDim Timer Based Dimming <sup>4</sup> <b>ADT</b> AutoDim Time of Day Dimming <sup>4</sup> <b>Photocontrols</b> <b>PC</b> Button Photocontrol <sup>4,7</sup>

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information  
 2 – Replace “\_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole  
 3 – Networked Controls cannot be combined with other control options  
 4 – Not available with 2PF option  
 5 – Not available with Dual Driver option

6 – Some voltage restrictions may apply when combined with controls  
 7 – Not available with 480V  
 8 – BC not available on 4F and type 5 distributions  
 9 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

# VIPER Area/Site

VIPER LUMINAIRE

## STRIKE OPTIC – ORDERING GUIDE

**Example:** VP-ST-1-36L-39-3K7-2-UNV-A-BLT

CATALOG # \_\_\_\_\_

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	ST Strike	1 Size 1	<b>36L-39</b> <sup>8</sup> 5500 lumens <b>36L-55</b> <sup>8</sup> 7500 lumens <b>36L-85</b> 10000 lumens <b>36L-105</b> 12500 lumens <b>36L-120</b> 14000 lumens	<b>AM</b> monochromatic amber, 595nm  <b>27K8</b> 2700K, 80 CRI <b>3K7</b> 3000K, 70 CRI <b>3K8</b> 3000K, 80 CRI <b>3K9</b> 3000K, 90 CRI <b>35K8</b> 3500K, 80 CRI <b>4K7</b> 4000K, 70 CRI <b>4K8</b> 4000K, 80 CRI <b>4K9</b> 4000K, 90 CRI <b>5K7</b> 5000K, 70 CRI <b>5K8</b> 5000K, 80 CRI	<b>FR</b> Auto Front Row <b>2</b> Type 2 <b>3</b> Type 3 <b>4F</b> Type 4 Forward <b>4W</b> Type 4 Wide <b>5QN</b> Type 5 Square Narrow <b>5QW</b> Type 5 Square Wide <b>5QM</b> Type 5 Square Medium <b>5W</b> Type 5 Wide (Round) <b>5RW</b> Type 5 Rectangular <b>C</b> Corner Optic <b>TC</b> Tennis Court Optic	<b>BLANK</b> <b>No Rotation</b> <b>L</b> Optic rotation left <b>R</b> Optic rotation right	<b>UNV</b> 120-277V <b>120</b> 120V <b>208</b> 208V <b>240</b> 240V <b>277</b> 277V <b>347</b> 347V <b>480</b> 480V
		2 Size 2	<b>72L-115</b> 15000 lumens <b>72L-145</b> 18000 lumens <b>72L-180</b> 21000 lumens <b>72L-210</b> 24000 lumens <b>72L-240</b> 27000 lumens				
		3 Size 3	<b>108L-215</b> <sup>8</sup> 27000 lumens <b>108L-250</b> 30000 lumens <b>108L-280</b> 33000 lumens <b>108L-325</b> 36000 lumens <b>108L-365</b> 40000 lumens				
		4 Size 4	<b>162L-320</b> 40000 lumens <b>162L-365</b> <sup>10</sup> 44000 lumens <b>162L-405</b> 48000 lumens <b>162L-445</b> 52000 lumens <b>162L-485</b> 55000 lumens <b>162L-545</b> <sup>8</sup> 60000 lumens <b>CLO</b> Custom Lumen Output <sup>1</sup>				

Mounting	
<b>A</b>	Arm mount for square pole/flat surface
<b>A_</b>	Arm mount for round pole <sup>3</sup>
<b>ASQU</b>	Universal arm mount for square pole
<b>A_U</b>	Universal arm mount for round pole <sup>3</sup>
<b>AAU</b>	Adjustable arm for pole mounting (universal drill pattern)
<b>AA_U</b>	Adjustable arm mount for round pole <sup>3</sup>
<b>ADU</b>	Decorative upswept Arm (universal drill pattern)
<b>AD_U</b>	Decorative upswept arm mount for round pole <sup>3</sup>
<b>MAF</b>	Mast arm fitter for 2-3/8" OD horizontal arm
<b>K</b>	Knuckle
<b>T</b>	Trunnion
<b>WB</b>	Wall Bracket, horizontal tenon with MAF
<b>WM</b>	Wall mount bracket with decorative upswept arm
<b>WA</b>	Wall mount bracket with adjustable arm

Color	
<b>BLT</b>	Black Matte Textured
<b>BLS</b>	Black Gloss Smooth
<b>DBT</b>	Dark Bronze Matte Textured
<b>DBS</b>	Dark Bronze Gloss Smooth
<b>GTT</b>	Graphite Matte Textured
<b>LGS</b>	Light Grey Gloss Smooth
<b>LGT</b>	Light Grey Gloss Textured
<b>PSS</b>	Platinum Silver Smooth
<b>WHT</b>	White Matte Textured
<b>WHS</b>	White Gloss Smooth
<b>VGT</b>	Verde Green Textured
Color Option	
<b>CC</b>	Custom Color

Options	
<b>F</b>	Fusing
<b>E</b>	Battery Backup <sup>1,2,7,8,9</sup>
<b>2PF</b>	Dual Power Feed
<b>2DR</b>	Dual Driver
<b>TE</b>	Toolless Entry
<b>BC</b>	Backlight Control
<b>TB</b>	Terminal Block

Network Control Options	
<b>NXWS16F</b>	NX Networked Wireless Enabled Integral NXSM2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,4,5</sup>
<b>NXWS40F</b>	NX Networked Wireless Enabled Integral NXSM2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming <sup>1,4,5</sup>
<b>NXW</b>	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor <sup>4,5</sup>
<b>WIR</b>	LightGRID+ In-Fixture Module <sup>4,5</sup>
<b>WIRSC</b>	LightGRID+ Module and Occupancy Sensor <sup>4,5</sup>
Stand Alone Sensors	
<b>BTS-14F</b>	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
<b>BTS-40F</b>	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming® Photocell and 360° Lens
<b>BTSO-12F</b>	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
<b>7PR</b>	7-Pin Receptacle <sup>4</sup>
<b>7PR-SC</b>	7-Pin Receptacle with shorting cap <sup>4</sup>
<b>3PR</b>	3-Pin twist lock <sup>4</sup>
<b>3PR-SC</b>	3-Pin receptacle with shorting cap <sup>4</sup>
<b>3PR-TL</b>	3-Pin PCR with photocontrol <sup>4</sup>
Programmed Controls	
<b>SCP_F</b>	Sensor Control Programmable, 8F or 40F <sup>11</sup>
<b>ADD</b>	AutoDim Timer Based Dimming <sup>4</sup>
<b>ADT</b>	AutoDim Time of Day Dimming <sup>4</sup>
Photocontrols	
<b>PC</b>	Button Photocontrol <sup>4,7</sup>

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information  
 2 – Battery temperature rating -20C to 55C  
 3 – Replace “\_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole  
 4 – Networked Controls cannot be combined with other control options  
 5 – Not available with 2PF option  
 6 – Not available with 480V  
 7 – Not available with 347 or 480V  
 8 – Not available with Dual Driver option

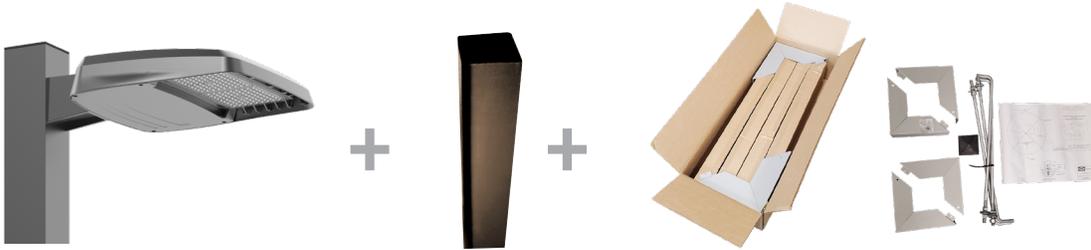
9 – Only available in Size 1 housing, up to 105 Watts  
 10 – Some voltage restrictions may apply when combined with controls  
 11 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.



# VIPER Area/Site

VIPER LUMINAIRE

## VIPER POLE EXPRESS COMBO – ORDERING GUIDE



Catalog Number	Pole	Single or Double Head	Fixture	Lumens*	Wattage	Distribution	CCT/CRI	Mounting	Finish
VP-1-160-4K-3-LS-S20	20' Square Straight Steel	Single	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20	20' Square Straight Steel	Single	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25	25' Square Straight Steel	Single	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25	25' Square Straight Steel	Single	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20	20' Square Straight Steel	Single	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20	20' Square Straight Steel	Single	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25	25' Square Straight Steel	Single	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25	25' Square Straight Steel	Single	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured

## VIPER POLE EXPRESS COMBO – STOCK LUMINAIRE SKUS

Catalog Number	Lumens	LPW	Distribution	Wattage	CCT/CRI	Voltage	Mounting	Finish
VP-1-160-4K-3-LS	19584	123.9	3	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-4K-4F-LS	19426	122.9	4F	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-3-LS	19499	123.4	3	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-4F-LS	19186	121.4	4F	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured

## VIPER POLE EXPRESS COMBO – ACCESSORIES

Catalog Number	Description
VM14DB	Vibration Dampener, mounts to top of pole for reduced vibration



# VIPER Area/Site

VIPER LUMINAIRE

## OUTDOOR LIGHTING CONTROLS OPTIONS    CONTROLS FUNCTIONALITY

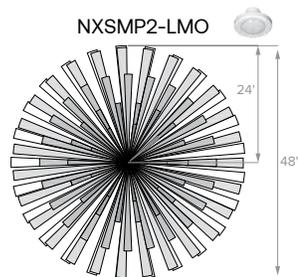
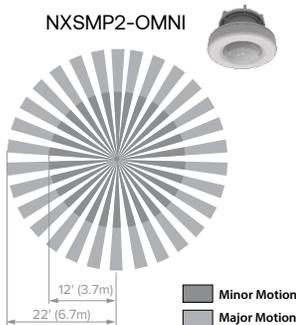
Control Option Ordering Logic & Description	Control Option Functionality									Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height	
<b>NX Wireless</b> NXOFMIRID-UNV NX 7-Pin Twist-Lock® with NX Networked Wireless Radio, Integral Automatic Dimming Photocell, Integral Single Pole Relay with Dimming, and Bluetooth Programming	✓	✓	✓	Paired with external control	✓	✓	✓	✓	-	 NXOFM-1RID-UV
NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor	✓	✓	✓	-	-	✓	✓	✓	-	 NXRM2-H
NXWS12F NX Networked Wireless Enabled Integral NXSMP2-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	12ft	 NXSMP2-OMNI-O
NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	16ft	 NXSMP2-LMO
NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	40ft	 NXSMP2-HMO
<b>LightGRID+</b> WIR LightGRID+ In-Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-	 WIR
WIR-RME-L LightGRID+ On Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-	 WIR-RME-L
WIRSC LightGRID+ Module and Occupancy Sensor	✓	✓	✓	✓	✓	✓	✓	Gateway	14ft - 40ft	 BTMSP
<b>Independent</b> BTSO-12F Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	12ft	 BTSMP-OMNI-O
BTS-14F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	14ft	 BTSMP-LMO
BTS-40F Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	40ft	 BTSMP-HMO

### DEFAULT SETTINGS

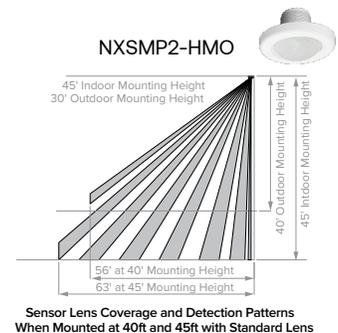
<b>NX Wireless</b>	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	On
	*Passcode Factory Passcode: HubbN3T!	Enabled

<b>Stand Alone</b>	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	50%
	Daylight Sensor	Disabled

### NX WIRELESS COVERAGE PATTERNS



Sensor Lens Coverage and Detection Patterns When Mounted at 8ft with Low Mount Lens



# VIPER Area/Site

VIPER LUMINAIRE

## NX LIGHTING CONTROLS FREE APP

## CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: [https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en\\_US&q=US](https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&q=US)



Apple App

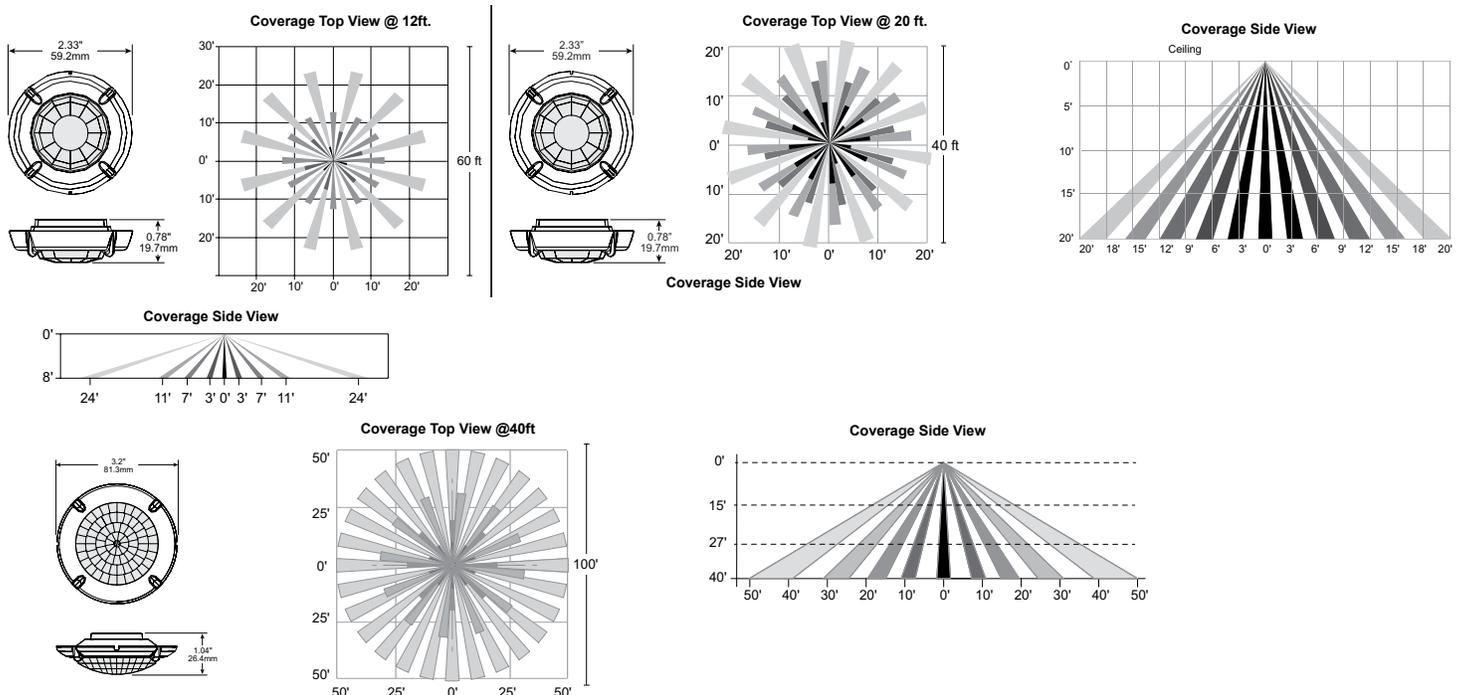


Google Play

## OUTDOOR LIGHTING CONTROLS OPTIONS    CONTROLS FUNCTIONALITY

Control Option Ordering Logic & Description	Control Option Functionality										Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
SCP_F    Sensor Control Programmable, 8F or 40F	-	-	-	✓	✓	✓	✓	-	8ft or 40ft		SCP_F
ADD    AutoDIM Timer Based Dimming	-	-	✓	-	-	-	✓	-	-		ADD
ADT    AutoDIM Time of Day Dimming	-	-	✓	-	-	-	✓	-	-		ADT
7PR    7-Pin Receptacle	-	-	Paired with external control	-	Paired with external control	-	Paired with external control	-	-		7PR
7PR-SC    7-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-		7PR-SC
3PR    3-Pin twist lock	-	-	-	-	-	-	Paired with external control	-	-		3PR
3PR-SC    3-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-		3PR-SC
3PR-TL    3-Pin with photocontrol	-	-	-	-	✓	-	✓	-	-		3PR-TL

## COVERAGE PATTERNS FOR SCP\_F



# VIPER Area/Site

VIPER LUMINAIRE

## PROGRAMMED CONTROLS

### ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6 - Delay 6 hours
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50% brightness
Auto-Dim Return	Delay 0-9 Hours	R6 - Return to full output after 6 hours

### ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6 - Dim at 6PM
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50%
Auto-Dim Return	12-6 AM and 9-11P	R6 - Return to full output at 6AM

## DELIVERED LUMENS

For delivered lumens, please see Lumens Data PDF on [www.Currentlighting.com](http://www.Currentlighting.com)

## PROJECTED LUMEN MAINTENANCE

Ambient Temp.	0	25,000	*TM-21-11 36,000	50,000	100,000	Calculated L <sub>70</sub> (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier	Micro Strike Lumen Multiplier				Strike Lumen Multiplier			
°C	°F		CCT	70 CRI	80 CRI	90 CRI	CCT	70 CRI	80 CRI	90 CRI
0°C	32°F	1.03	2700K	-	0.841	-	2700K	0.9	0.81	0.62
10°C	50°F	1.01	3000K	0.977	0.861	0.647	3000K	0.933	0.853	0.659
20°C	68°F	1.00	3500K	-	0.900	-	3500K	0.959	0.894	0.711
25°C	77°F	1.00	4000K	1	0.926	0.699	4000K	1	0.9	0.732
30°C	86°F	0.99	5000K	1	0.937	0.791	5000K	1	0.9	0.732
40°C	104°F	0.98	AP-Amber Phosphor Converted Multiplier				Monochromatic Amber Multiplier			
			Amber	0.710			Amber	See Amber Spec Sheet		

# VIPER Area/Site

VIPER LUMINAIRE

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## ELECTRICAL DATA: MICRO STRIKE

# OF LEDS	160						
NOMINAL WATTAGE	35	50	75	100	115	135	160
SYSTEM POWER (W)	34.9	50.5	72.1	97.2	111.9	132.2	157.8
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	0.29	0.42	0.63	0.83	0.96	1.13	1.33
208	0.17	0.24	0.36	0.48	0.55	0.65	0.77
240	0.15	0.21	0.31	0.42	0.48	0.56	0.67
277	0.13	0.18	0.27	0.36	0.42	0.49	0.58
347	0.10	0.14	0.22	0.29	0.33	0.39	0.46
480	0.07	0.10	0.16	0.21	0.24	0.28	0.33

# OF LEDS	320						
NOMINAL WATTAGE	145	170	185	210	235	255	315
SYSTEM POWER (W)	150	166.8	185.7	216.2	240.9	261.5	312
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	1.21	1.42	1.54	1.75	1.96	2.13	2.63
208	0.70	0.82	0.89	1.01	1.13	1.23	1.51
240	0.60	0.71	0.77	0.88	0.98	1.06	1.31
277	0.52	0.61	0.67	0.76	0.85	0.92	1.14
347	0.42	0.49	0.53	0.61	0.68	0.73	0.91
480	0.30	0.35	0.39	0.44	0.49	0.53	0.66

# OF LEDS	480					
NOMINAL WATTAGE	285	320	340	390	425	470
SYSTEM POWER (W)	286.2	316.7	338.4	392.2	423.2	468
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.38	2.67	2.83	3.25	3.54	3.92
208	1.37	1.54	1.63	1.88	2.04	2.26
240	1.19	1.33	1.42	1.63	1.77	1.96
277	1.03	1.16	1.23	1.41	1.53	1.70
347	0.82	0.92	0.98	1.12	1.22	1.35
480	0.59	0.67	0.71	0.81	0.89	0.98

# OF LEDS	720				
NOMINAL WATTAGE	435	475	515	565	600
SYSTEM POWER (W)	429.3	475	519.1	565.2	599.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	3.63	3.96	4.29	4.71	5.00
208	2.09	2.28	2.48	2.72	2.88
240	1.81	1.98	2.15	2.35	2.50
277	1.57	1.71	1.86	2.04	2.17
347	1.25	1.37	1.48	1.63	1.73
480	0.91	0.99	1.07	1.18	1.25

# VIPER Area/Site

VIPER LUMINAIRE

## ELECTRICAL DATA: STRIKE

# OF LEDS	36				
NOMINAL WATTAGE	39	55	85	105	120
SYSTEM POWER (W)	39.6	56.8	83.6	108.2	120.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	0.33	0.46	0.71	0.88	0.96
208	0.19	0.26	0.41	0.50	0.55
240	0.16	0.23	0.35	0.44	0.48
277	0.14	0.20	0.31	0.38	0.42
347	0.11	0.16	0.24	0.30	0.33
480	0.08	0.11	0.18	0.22	0.24

# OF LEDS	72				
NOMINAL WATTAGE	115	145	180	210	240
SYSTEM POWER (W)	113.7	143.2	179.4	210.2	241.7
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	1.00	1.21	1.50	1.75	1.79
208	0.58	0.70	0.87	1.01	1.03
240	0.50	0.60	0.75	0.88	0.90
277	0.43	0.52	0.65	0.76	0.78
347	0.35	0.42	0.52	0.61	0.62
480	0.25	0.30	0.38	0.44	0.45

# OF LEDS	108				
NOMINAL WATTAGE	215	250	280	325	365
SYSTEM POWER (W)	214.8	250.8	278.3	324.7	362.6
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	2.00	2.08	2.33	3.04	2.67
208	1.15	1.20	1.35	1.75	1.54
240	1.00	1.04	1.17	1.52	1.33
277	0.87	0.90	1.01	1.32	1.16
347	0.69	0.72	0.81	1.05	0.92
480	0.50	0.52	0.58	0.76	0.67

# OF LEDS	162					
NOMINAL WATTAGE	320	365	405	445	485	545
SYSTEM POWER (W)	322.1	362.6	403.6	445.1	487.1	543.9
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.71	2.67	3.38	3.71	4.04	4.54
208	1.56	1.54	1.95	2.14	2.33	2.62
240	1.35	1.33	1.69	1.85	2.02	2.27
277	1.17	1.16	1.46	1.61	1.75	1.97
347	0.94	0.92	1.17	1.28	1.40	1.57
480	0.68	0.67	0.84	0.93	1.01	1.14

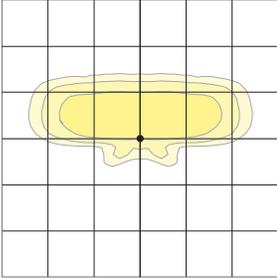
# VIPER Area/Site

VIPER LUMINAIRE

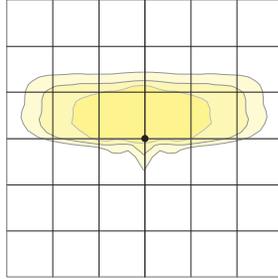
## MICRO STRIKE PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

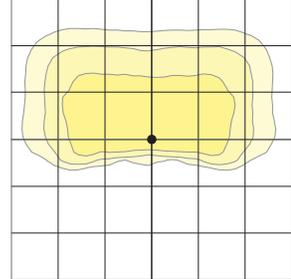
Type 2



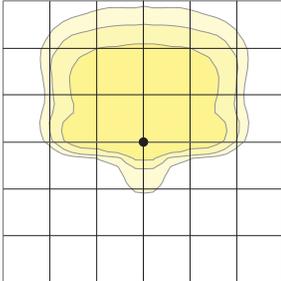
Type 3



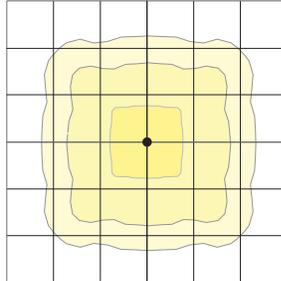
Type 4 Wide



Type 4F



Type 5QW



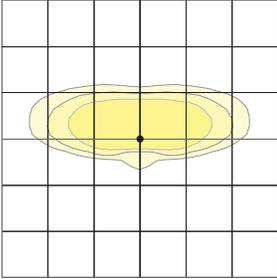
# VIPER Area/Site

VIPER LUMINAIRE

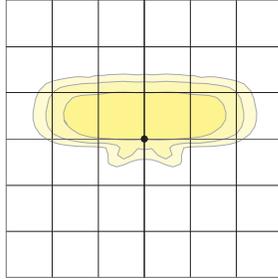
## OPTIC STRIKE PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

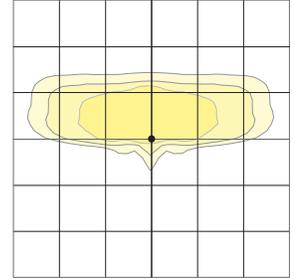
Type FR – Front Row/Auto Optic



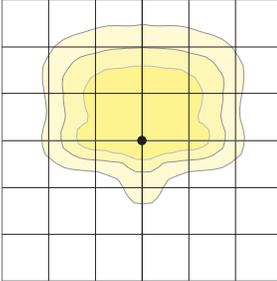
Type 2



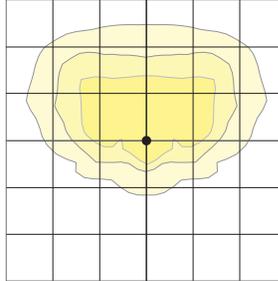
Type 3



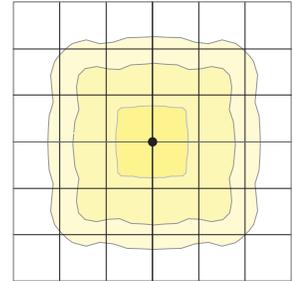
Type 4 Forward



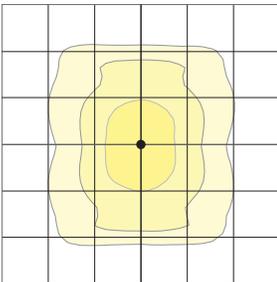
Type 4 Wide



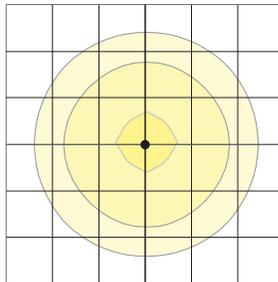
Type 5QM



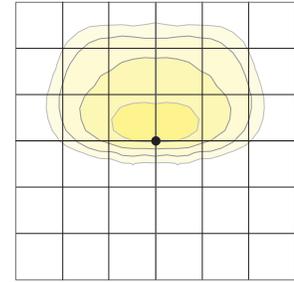
Type 5RW (rectangular)



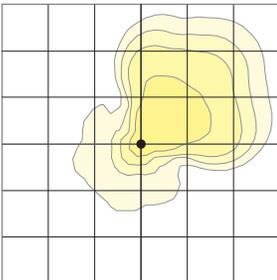
Type 5W (round wide)



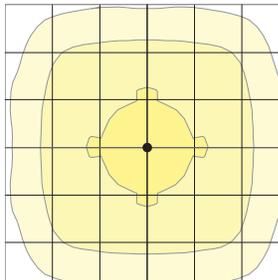
Type TC



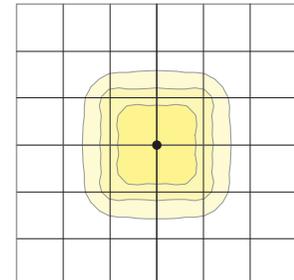
Type Corner



Type 5QW



Type 5QN

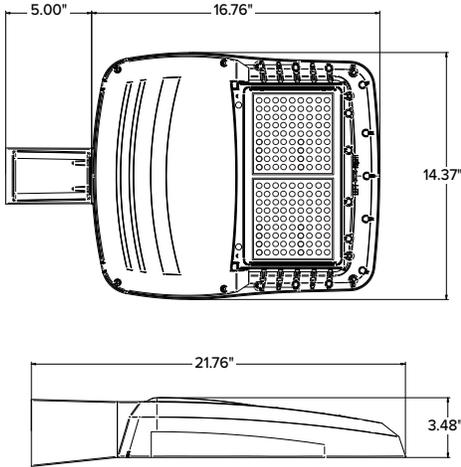


# VIPER Area/Site

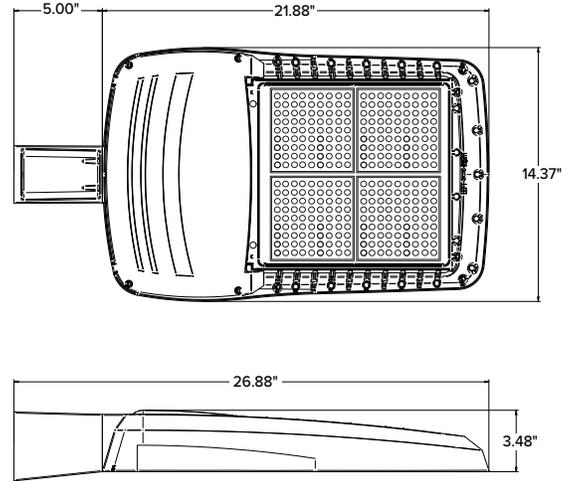
VIPER LUMINAIRE

## DIMENSIONS

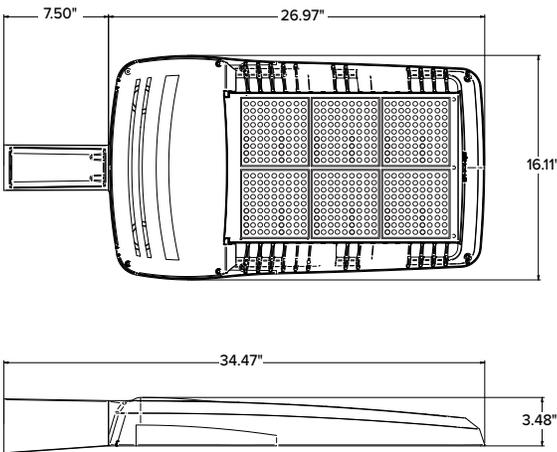
### SIZE 1



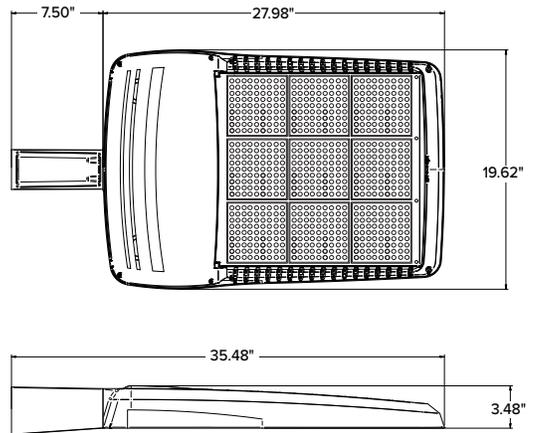
### SIZE 2



### SIZE 3



### SIZE 4



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

	Weight	
	lbs	kgs
VP1 (Size 1)	13.7	6.2
VP2 (Size 2)	16.0	7.26
VP3 (Size 3)	25.9	11.7
VP4 (Size 4)	30.8	13.9

# VIPER Area/Site

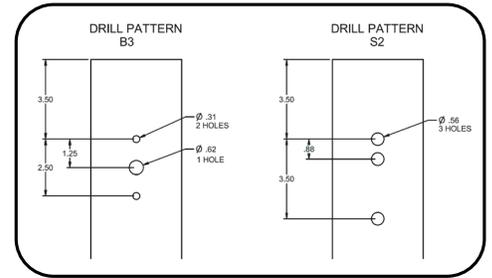
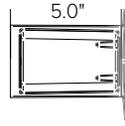
VIPER LUMINAIRE

## MOUNTING



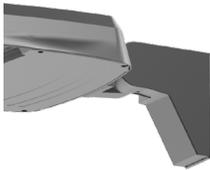
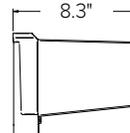
### A-STRAIGHT ARM MOUNT

Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern for ease of installation on square poles. For round poles add applicable suffix (2/3/4/5)



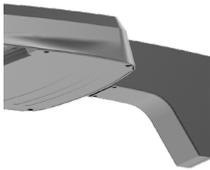
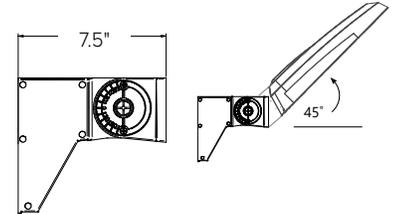
### ASQU-UNIVERSAL ARM MOUNT

Universal mounting block for ease of installation. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)



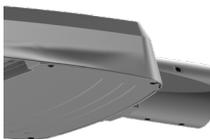
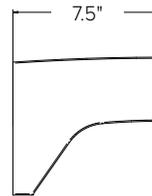
### AAU-ADJUSTABLE ARM FOR POLE MOUNTING

Rotatable arm mounts directly to pole. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2 and B3. For round poles add applicable suffix (2/3/4/5). Rotatable in 5° aiming angle increments. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



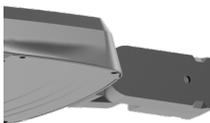
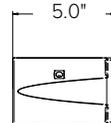
### ADU-DECORATIVE UPSWEPT ARM

Upswept Arm compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5).



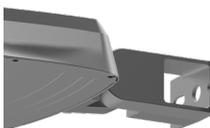
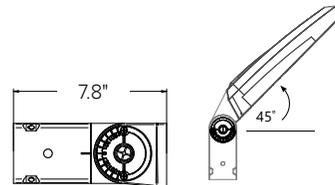
### MAF-MAST ARM FITTER

Fits 2-3/8" OD horizontal tenons.



### K-KNUCKLE

Rotatable in 5-degree aiming angle increments, fits 2-3/8" tenons or pipes. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



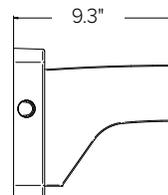
### T-TRUNNION

Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



### WM-WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.



# VIPER Area/Site

VIPER LUMINAIRE

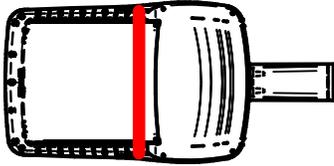
## ADDITIONAL INFORMATION (CONTINUED)

### HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

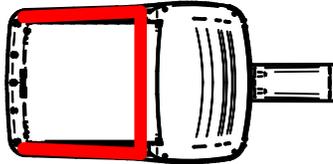
HSS has a depth of 5" for all Viper sizes

Not to be used with Occupancy Sensors as the shield may block the light to the sensor.

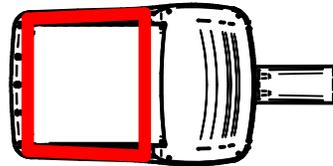
VPR2x HSS-90-B-xx



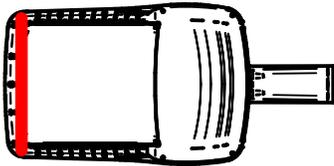
VPR2x HSS-270-BSS-xx



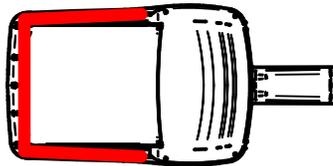
VPR2x HSS-360-xx



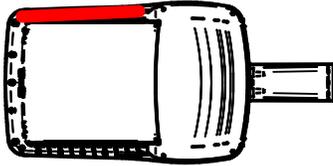
VPR2x HSS-90-F-xx



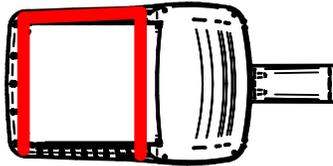
VPR2x HSS-270-FSS-xx



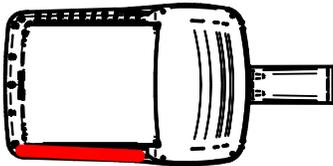
VPR2x HSS-90-S-xx



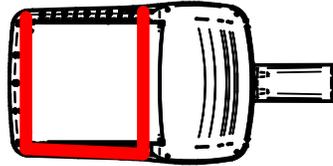
VPR2x HSS-270-FSB-xx



VPR2x HSS-90-S-xx



VPR2x HSS-270-FSB-xx





June 4, 2024

City of Rockwall  
Attn: Planning Department  
385 S Goliad  
Rockwall, TX 75087

**RE: HTeaO at Creekside Commons (SP2024-025)**  
**4853 S. Goliad Street**  
**Updated Variance Request Letter**

Enclosed please find copies of the revised site, landscape, photometric and building elevation plans for the upcoming June 11, 2024 Planning and Zoning Commission (P&Z) hearing.

As noted before, we are excited to be submitting plans for a proposed HTeaO drive-thru to be located on Lot 15, Creekside Commons Addition in south Rockwall. Our tenant is Jeff Ivy, a Rockwall-County based franchisee for HTeaO who is actively working to build several locations in the City of Rockwall and surrounding communities. Mr. Ivy previously submitted and received P&Z approval for a "north Rockwall" location and this will be his "south Rockwall" location, to reach more members of the community.

Following the May 28 meetings of the P&Z and Architectural Review Board (ARB), our team has revised the plans to meet City comments and the recommendations of each board, including the following key changes:

- Added a row of trees and architectural features on NE elevation to achieve 4-sided architecture compliance
- Modified and widened all tower elements to enhance projections and get rid "flat" parapet walls
- Updated all material percentages to ensure compliance with "max 50%" stucco and "min" 20% natural stone
- Internalized ladder to roof
- Increased height of building to ensure adequate parapet sizing to fully screen all rooftop equipment

It is our opinion the revised development plans results in a project that closely resembles the HTeaO project approved in north Rockwall, but also fits in nicely with the other projects in the Creekside Commons development and is customized to fit on this lot. Nonetheless, we have identified and acknowledge that with this application we are seeking the following variances/exceptions to the Unified Development Code, and respectfully request's the City consideration and approval:

- 1) Roof Design – All structures less than 6,000 sf building footprint require a pitched roof system.
- 2) 90% masonry requirement (proposed composite lumber material > 10% on each elevation specific to HTeaO)
- 3) Horizontal articulation (drive-thru side of building)

To offset these variances, we are providing the following compensatory measures:

- Increased landscape buffer along SH205 from **20-ft to 40-ft**, including berms/trees outside of existing utility easements.
- Increased overall open space (**>25% provided vs 20% required**)
- Parking lot landscaping (**almost 4x the minimum 5 percent**).
- Effective and enhanced landscape screening adjacent to the drive-thru lane
- Removed exterior roof ladder and parapet opening with an internally located and "invisible" roof hatch
- Increased natural stone material beyond 20% (overall total of 35%, or 1,384-sf / 3960-sf)

Thank you for your consideration and we look forward to discussing further at the upcoming hearing.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael Hampton", is written over a blue horizontal line.

Michael Hampton, AICP  
Vice President  
Prudent Development  
(Creekside Commons Crossing, LP")

Being a tract of land situated in the William W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, and being all of Lot 15, Block A and a portion of Lots 16 and 18, Block A of Creekside Commons Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Instrument Number 2024000004925 of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch iron rod with yellow plastic cap stamped "Summit" found for corner, said corner being the south corner of said Lot 15, Block A, said corner also being the west corner of Lot 14, Block A of said Creekside Commons Addition, said corner also being in the northeast line of that tract of land described as Parcel 1 Part 1 in deed to the State of Texas recorded in Instrument Number 20180000021509 of the Official Public Records of Rockwall County, Texas;

Thence North 45 degrees 52 minutes 18 seconds West, along the northeast line of said State of Texas tract, a distance of 85.35 feet to an "X" found for corner, said corner being the south corner of said Lot 16, Block A;

Thence North 43 degrees 59 minutes 07 seconds East, along the southeast line of said Lot 16, Block A, a distance of 40.52 feet to a point for corner;

Thence North 45 degrees 55 minutes 37 seconds West, traversing said Lot 16, Block A, a distance of 10.84 feet to a point for corner;

Thence North 44 degrees 04 minutes 23 seconds East, continuing to traverse said Lot 16, Block A and traversing said Lot 18, Block A, a distance of 266.11 feet to a point for corner;

Thence South 45 degrees 51 minutes 55 seconds East, continuing to traverse said Lot 18, Block A, a distance of 105.48 feet to a point for corner;

Thence South 44 degrees 06 minutes 48 seconds West, continuing to traverse said Lot 18, Block A, a distance of 37.00 feet to a point for corner, said point being in the northeast line of aforementioned Lot 14, Block A;

Thence North 45 degrees 51 minutes 55 seconds West, along the northeast line of said Lot 14, Block A, a distance of 9.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "Summit" found for corner, said corner being the north corner of said Lot 14, Block A;

Thence South 44 degrees 06 minutes 48 seconds West, along the northwest line of said Lot 14, Block A, a distance of 269.61 feet to the POINT OF BEGINNING and containing 29,441 square feet or 0.676 acres of land.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 9, 2024  
**APPLICANT:** Neda Hosseiny; *Kimley-Horn and Associates, Inc.*  
**CASE NUMBER:** SP2024-031; *Site Plan for Heavy Manufacturing Facility (Ballard)*

---

### SUMMARY

Discuss and consider a request by Neda Hosseiny of Kimley-Horn and Associates, Inc. on behalf of Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a *Site Plan for Heavy Manufacturing Facility (i.e. Ballard)* on a 32.00-acre portion of a larger 70.5969-acre parcel of land identified as Lot 1, Block B, Rockwall Technology Park, Phase V Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on June 15, 1998 by *Ordinance No. 98-20 [Case No. A1998-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On July 5, 2005, -- *at the request of the Rockwall Economic Development Corporation (REDC)* -- the City Council approved *Ordinance No. 05-29 [Case No. Z2005-021]*, which changed the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District. Following this approval, the City Council approved a final plat (*Case No. P2021-062*) establishing the subject property as a portion of Lot 1, Block B, Rockwall Technology Park, Phase V on December 6, 2021. On December 4, 2023, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2023-049; Ordinance No. 23-64*] to allow a *Heavy Manufacturing Facility* on the subject property. The subject property has remained vacant since annexation.

### PURPOSE

On June 14, 2024, the applicant -- *Neda Hosseiny of Kimley-Horn and Associates, Inc.* -- submitted an application requesting the approval of a *Site Plan* for the purpose of constructing an ~174,128 SF *Heavy Manufacturing Facility* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of the intersection of Data Drive and Discovery Boulevard. The land uses adjacent to the subject property are as follows:

*North:* Directly north of the subject property is Discovery Boulevard, which is identified as a M4U (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 76.6881-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Technology Park, Phase V Addition*), which is vacant and is zoned Light Industrial (LI) District. Beyond this are the corporate limits of the City of Rockwall followed by *Phase 1* of the Carrington Farms Subdivision, which is situated within the City of Fate. Also, north of this tract is a 6.4470-acre vacant tract of land (*i.e. Tract 3 of the J H B Jones Survey, Abstract No. 125*), which is zoned Light Industrial (LI) District and also owned by the Rockwall Economic Development Corporation (REDC).

*South:* Directly south of the subject property is Springer Road, which is identified as a M4U (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is the *Springer Water Tower*, which is owned by the City of Rockwall

and is zoned Light Industrial (LI) District. Beyond this is a 7.571-acre parcel of land (i.e. Lot 1, Block 1, Highway 276 Self Storage) that is developed with a Mini-Warehouse Facility (i.e. Highway 276 Self Storage) and is zoned Light Industrial (LI) District.

East: Directly east of the subject property is the remainder of Lot 1, Block B, Rockwall Technology Park, Phase V Addition (i.e. Tract 5, of the J H B Jones Survey, Abstract No. 125), which is zoned Light Industrial (LI) District. Beyond this is Rochell Road, which is classified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 174.5990-acre vacant tract of land (i.e. Tract 1, of the M E Hawkins Survey, Abstract No. 100), which is zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses (i.e. Discovery Lakes Subdivision).

West: Directly west of the subject property is Data Drive, which is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 38.9320-acre parcel of land (i.e. Lot 2, Block B, Rockwall Technology Park, Phase III Addition) that is developed with a Light Manufacturing Facility (i.e. Bimbo Bakery). This property is zoned Light Industrial (LI) District. Following this is a 12.00-acre parcel of land (i.e. Lot 3, Block B, Rockwall Technology Park, Phase II Addition) that is developed with a Light Manufacturing Facility (i.e. RTT Engineered Solutions). This property is also zoned Light Industrial (LI) District. West of this is a 10.649-acre vacant parcel of land (i.e. Lot 1, Block B, Rockwall Technology Park Phase II Addition), which is zoned Light Industrial (LI) District. Beyond this is Corporate Crossing, which is identified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a Heavy Manufacturing Facility requires a Specific Use Permit (SUP) within the Light Industrial (LI) District. In this case, the applicant received approval of a Specific Use Permit (SUP) for the Heavy Manufacturing Facility from the City Council on December 4, 2023 [Case No. Z2023-049; Ordinance No. 23-64; S-320]. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the Variances and Exceptions Requested by the Applicant section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=22.0-Acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 521.91-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=521.91-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Minimum Side Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=46-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=25%; In Conformance
<i>Minimum Number of Parking Spaces</i>	Warehousing 1 Parking Space/1,000 SF Heavy Manufacturing 1 Parking Space/500 SF Office 1 Parking Space/300SF 328 Required Spaces	X=151; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X>27%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=73%; In Conformance

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates that the development will result in the mitigation balance of 160.3 caliper inches. Based on the landscape plan provided by the applicant, 328 caliper inches are being planted on site, which satisfies the mitigation balance and no fee is required.

## **CONFORMANCE WITH THE CITY'S CODES**

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* is defined as “(a) facility or area for generally mass-producing goods usually for sale to wholesalers or other industrial or manufacturing uses...” This definition goes on to state that “(a) heavy manufacturing use is one which employs the following or similar types of processes: ... [3] production of large durable goods such as but not limited to motorcycles, cars, manufactured homes, or airplanes ...” In this case, the proposed facility will be used for the production of hydrogen fuel cells and hydrogen fuel cell engines that are incorporated into busses, trains, trucks, boats, and heavy machinery. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* requires a Specific Use Permit (SUP) in a Light Industrial (LI) District, which the applicant received approval of a Specific Use Permit (SUP) for these uses from the City Council on December 4, 2023 [Case No. Z2023-049; Ordinance No. 23-64; S-320].

When reviewing the parking requirements, the Unified Development Code (UDC) breaks down the land uses for this site plan into the following, *Office* (i.e. one [1] parking space per 300 SF), *Heavy Manufacturing* (i.e. one [1] parking space per 500 SF), and *Warehousing* (i.e. one [1] parking space per 1,000 SF). Based on the floor plan provided by the applicant, a total of 328 parking spaces are required. With that being said, the parking for the *Heavy Manufacturing* land use land use may also be calculated at one (1) parking space per 0.75 employees. In this case, the applicant has indicated that 198 employees will be employed; therefore requiring 149 parking spaces (i.e.  $198 \text{ employees} \times 0.75 \text{ parking spaces} = 149 \text{ parking spaces}$ ). The UDC more specifically states that either the square footage or the employee count may be used for a *Heavy Manufacturing Facility*, but the calculation that requires more parking must be used. In this case, the applicant is requesting to provide parking based on the employee count (i.e. 149 parking spaces) in lieu of by the square footage (i.e. 328 parking spaces). Staff should note that this has posed an issue in other industrial developments in the City (i.e. *as the business grows and adds employees the parking does not increase with this growth and creates issues*). To help alleviate this problem, staff requested that the applicant dedicate open space and provide a schematic demonstrating how the parking requirement could be met in the future; however, the applicant has chosen not to provide this information. In lieu of providing this information, the applicant has shown the future parking areas for the expansion of the site, and -- *when taking into account the future square footages of these expansion sites* -- the property will be well below the required parking count at buildout. Regardless of this, the applicant is requesting an exception to the parking requirements contained in the Unified Development Code (UDC), which is detailed in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

The proposed site plan indicates that there will be two (2) silos (i.e. *nitrogen and hydrogen storage*) and a pad mounted utility equipment yard (i.e. *transformers and generator*). According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all equipment shall be screened from all rights-of-way and adjacent properties. In this case, the equipment will have visibility from Discovery Boulevard, Springer Road, and the adjacent property to the east. Based on the landscape plan provided by the applicant they are providing [1] a ten (10) foot decorative screening fence around the equipment, and [2] a row of canopy trees and evergreen shrubs just north of the equipment. The applicant has indicated that the transparent fencing is required for the equipment yard for security and safety purposes. The provided landscaping will screen the equipment from Discovery Boulevard; however, it will still have visibility from Springer Road and the adjacent property. Given this, staff included a condition of approval that the applicant provide a row of evergreen shrubs along the eastern property line adjacent to the equipment yard.

The proposed site plan generally conforms to the requirements of the *General Industrial District Standards* stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

- (1) *Architectural Standards.*

- (a) Materials and Masonry Materials. According to Subsection 05.01(A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(e)ach exterior wall of a building’s façade shall consist of a minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials -- *excluding doors and windows* -- ...” This section of the ordinance goes on to define a *Primary Material* as “...stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU) (*i.e. CMU’s that have been sandblasted, burnished or that have a spilt face* -- *light weight block or smooth faced CMU shall be prohibited*).” In this case, the applicant is primarily using Insulated Metal Panel (IMP), which is not a permitted primary material. According to the building elevations IMP will be used in the following percentages: [1] 71% on the western building façade, [2] 93% on the northern building façade, [3] 100% on the eastern building façade, and [4] 98% on the southern building façade. Staff should note that this is not characteristic of any other building in the Rockwall Technology Park, and that all of the buildings are tilt wall construction or similar construction. This will require an exception from the Planning and Zoning Commission.
- (b) Stone. According to Subsection 05.01(A), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades...” In this case, the material sample board provided by the applicant show the use of a stone tile, which is not considered to be a natural or quarried stone. In addition, the building elevations show that the stone tile will be less than 20.00% on three (3) of the four (4) building facades (*i.e. 7.00% on the northern facade, 2.00% on the southern façade, and 0.00% on the eastern façade*). Based on this, the applicant will require an exception from the Planning and Zoning Commission.
- (c) Primary Articulation. According to Subsection 05.01(C)(1), *Primary Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) primary building façade is any building facade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property.” In this case, the only façade that would be classified as a *Primary Building Façade* would be the western building façade. This section of the code goes on to state that these facades “...shall meet the standards for articulation on primary building facades as depicted in Figure 13.” In this case, the western building façade does not meet the articulation requirements for a *Primary Building Façade*, and will require an exception from the Planning and Zoning Commission.
- (d) Secondary Articulation. According to Subsection 05.01(C)(2), *Secondary Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) secondary building façade is any building facade that does not have a primary entryway or an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property.” In this case, the northern, southern and eastern building façades are classified as a *Secondary Building Façades*. This section of the code goes on to state that these facades “...shall meet the standards for articulation on secondary building facades as depicted in Figure 13.” In this case, these building façades do not meet the articulation requirements for *Secondary Building Façades*, and will require an exception from the Planning and Zoning Commission.
- (e) Roof Design Standards. According to Subsection 05.01(A)(2), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(p)rojecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.” In this case, the applicant is requesting to paint visible interior parapet walls to match the exterior façade. This will require an exception from the Planning and Zoning Commission.
- (2) Screening. According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)boveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform...” to Figure 4, *Aboveground Storage Tanks*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). Figure 4 indicates that aboveground storage tanks shall be screened with a masonry wall to match the building and canopy trees on 20-foot centers. In this case, the applicant is providing a ten (10) foot decorative metal fence and a row of canopy trees and evergreen shrubs. This will require an exception from the Planning and Zoning Commission.

- (3) *Parking*. According to Table 05, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the applicant is required to provide 328 parking spaces based on the square footage of each land use within the proposed *Heavy Manufacturing Facility*. In this case the applicant is requesting to provide parking based on the employee count, for a total of 151 parking spaces. As previously noted, staff has requested that an open space area with a future parking layout be provided showing how the parking could be met in the future; however, the applicant has failed to provide this information. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In this case, the applicant has stated that they are attempting to meet LEED Gold Certified; however, some of the variances don't appear to be justified by this rationale (*i.e. articulation, parking, screening, stone, etc.*). In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is proposing the following compensatory measures:

- (1) 29-foot landscape buffer along Data Drive,
- (2) +/- 35 landscape buffer against the building and future phases to the south,
- (3) improved hardscape entrance,
- (4) patio/plaza space,
- (5) EV charging stations,
- (6) increased vegetation screening north of silos,
- (7) LEED Gold Certified Building,
- (8) internalized roof access,
- (9) feature canopy on west elevation,
- (10) vertical solar shading devices on west elevation,
- (11) high performance curtain wall and glazing systems,
- (12) projecting mechanical screening to create visual interest, and
- (13) high performance and warranted coatings on the insulated metal panels for longevity and pleasing appearance.

In reviewing the proposed compensatory measures staff determined that, [1] items 1-5 and 7-8 are compensatory in nature, [2] item 6 is tied to the screening exception and does not currently meet the minimum requirements, is the reason they are requesting the exception, and therefore is not compensatory measure, [3] items 9, 10, and 12 are architectural elements that are required for all industrial buildings of this size and therefore are not compensatory measures, [4] item 11 does not appear to provide an offsetting measure for the requested exceptions, and [5] 13 is related to the use of a non-permitted building material (*i.e. IMP*) that is associated with an exception request. With that being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

Based on the goals and policies outlined in Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan, the proposed site plan does not conform with this Chapter. More specifically, the site plan does not conform with Goal 03, *Visual Impacts*, Policies 3 & 4, and Goal 04, *Commercial Building Design*, Policies 1 & 2. Policies 3 & 4, of Goal 03, detail that "...outside storage and loading dock areas should be screened with berms, landscaping, and wrought iron fences..." and "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or "articulated" in architectural terms..." In this case, the applicant is requesting exceptions (*detailed in Variances and Exceptions Requested by the Applicant section of the case memo*) related to the outside storage screening and articulation requirements within the Unified Development Code (UDC). Policies 1 & 2, of Goal 4, indicate that "(n)on-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade..." and "(n)on-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features." Again, the applicant is requesting an exception related to the material requirements (*detailed in Variances and Exceptions Requested by the Applicant section of the case memo*) within the UDC. All that being said, the proposed site plan appears to conform to Chapter 01, *Land Use and Growth Management*, District Strategy 1, and Chapter 06, *Economic Development*, Goal 07, *Workforce*, of the OURHometown

Visions 2040 Comprehensive Plan. More specifically, District Strategy 1 indicates that *Technology/Employment Center* land uses "...should be designated for larger clean industrial businesses that can help diversify the City's tax base..." In this case, the applicant is proposing a *Heavy Manufacturing Facility* that specializes in the construction of hydrogen fuel cells and hydrogen fuel cell engines. This type of business is characterized as a clean industrial business, and should further diversify the City's tax base by adding another industrial land use that involves a high initial investment in the community. In addition, this type of business can "(d)evelop, maintain and recruit a highly skilled workforce...", which directly satisfies Goal 07, of Chapter 06. In summary, the proposed *Heavy Manufacturing Facility* conforms to the clean industrial land use and skilled workforce policies, but does not meet many of the non-residential design guidelines associated with the building design as outlined within the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On June 25, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB made the recommendation to reduce the amount of insulated metal panel on the building and utilize more traditional building materials (*i.e. tilt wall*). The applicant has chosen *not* to change the building elevations to meet ARB's recommendation. The ARB will review the revised building elevations at the July 9, 2024 Planning and Zoning Commission meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the construction of an ~174,128 SF *Heavy Manufacturing Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) The applicant shall provide staff with an updated landscape plan that provides a row of evergreen shrubs along the eastern property line adjacent to the utility equipment; and,
- (3) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Northeast corner of Data Drive and Springer Road			
SUBDIVISION	Rockwall Technology Park Phase V	LOT	Part of 1	BLOCK B
GENERAL LOCATION	Northeast corner of Data Drive and Springer Road			

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial - SUP No. S-320	CURRENT USE	Undeveloped
PROPOSED ZONING	No Change	PROPOSED USE	Heavy Manufacturing
ACREAGE	22	LOTS [CURRENT]	Part of Larger Lot
		LOTS [PROPOSED]	1 New Lot

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rockwall EDC	<input checked="" type="checkbox"/> APPLICANT	Kimley-Horn and Associates, Inc.
CONTACT PERSON	Phil Wagner	CONTACT PERSON	Neda Hosseiny
ADDRESS	2610 Observation Suite 104	ADDRESS	13455 Noel Road, Two Galleria Office Tower Suite 700
CITY, STATE & ZIP	Rockwall, Texas 75032	CITY, STATE & ZIP	Dallas, Texas 75240
PHONE	972.772.0025	PHONE	972.770.1300
E-MAIL	pwagner@rockwalledc.com	E-MAIL	neda.hosseiny@kimley-horn.com

## NOTARY VERIFICATION [REQUIRED]

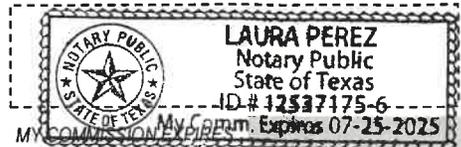
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 740.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14<sup>th</sup> DAY OF June, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF June, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 80 160 320 480 640 Feet

SP2024-031: Site Plan for Ballard Facility

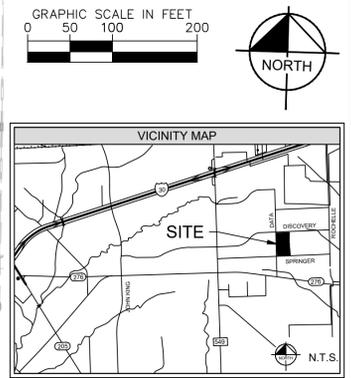
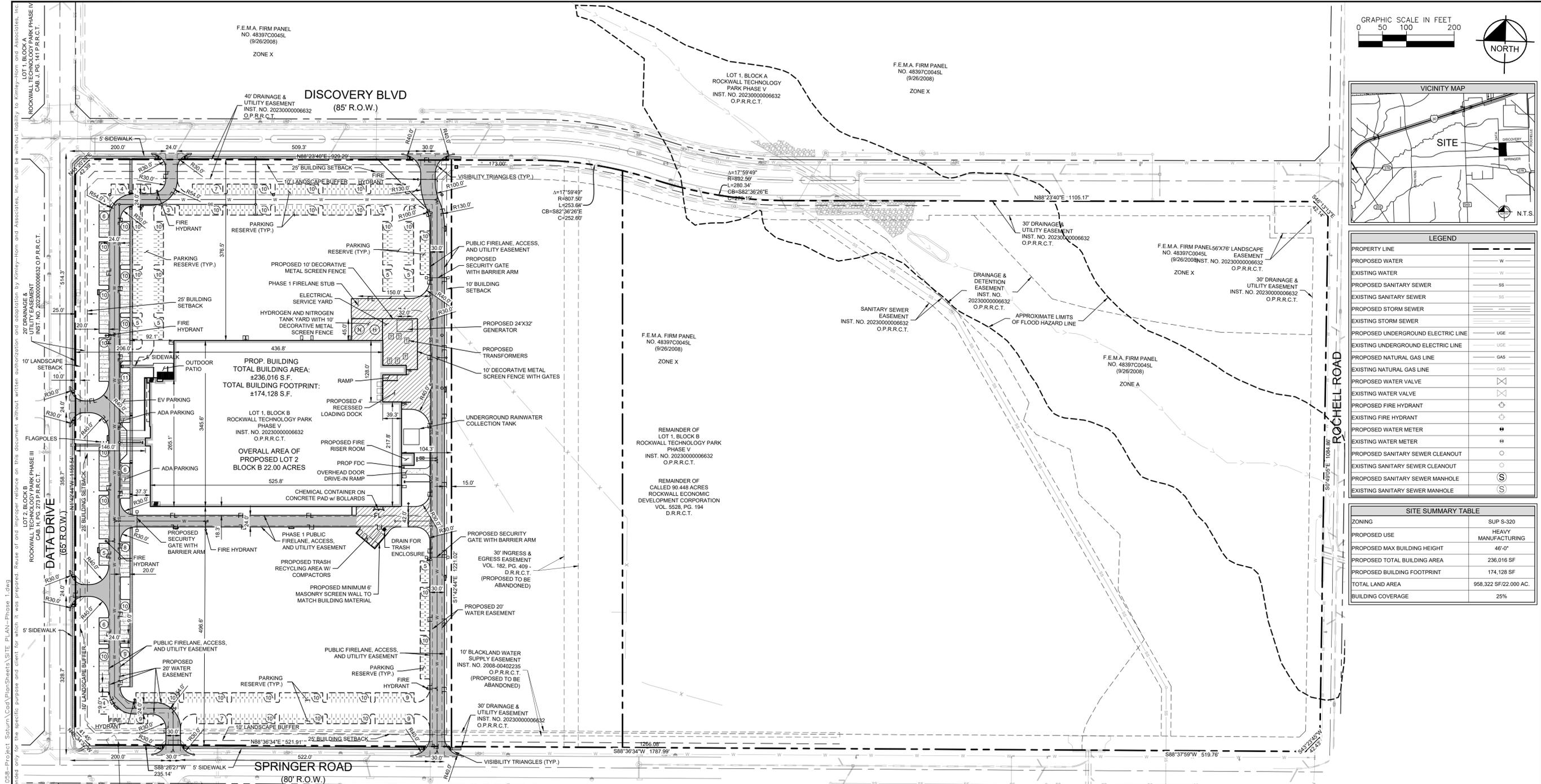


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



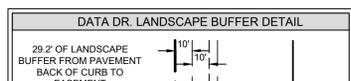
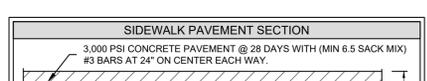
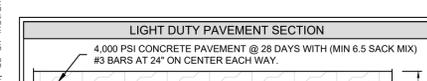
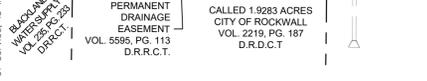


**LEGEND**

PROPERTY LINE	---
PROPOSED WATER	W
EXISTING WATER	W
PROPOSED SANITARY SEWER	SS
EXISTING SANITARY SEWER	SS
PROPOSED STORM SEWER	SS
EXISTING STORM SEWER	SS
PROPOSED UNDERGROUND ELECTRIC LINE	UGL
EXISTING UNDERGROUND ELECTRIC LINE	UGL
PROPOSED NATURAL GAS LINE	GAS
EXISTING NATURAL GAS LINE	GAS
PROPOSED WATER VALVE	⊗
EXISTING WATER VALVE	⊗
PROPOSED FIRE HYDRANT	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED WATER METER	⊙
EXISTING WATER METER	⊙
PROPOSED SANITARY SEWER CLEANOUT	○
EXISTING SANITARY SEWER CLEANOUT	○
PROPOSED SANITARY SEWER MANHOLE	⊙
EXISTING SANITARY SEWER MANHOLE	⊙

**SITE SUMMARY TABLE**

ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%



**PARKING DATA TABLE**

PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES 1 SPACE PER 500 SF
PHASE 1 EMPLOYEE COUNT (TOTAL)	198
PHASE 1 REQUIRED PARKING	<b>149 TOTAL SPACES (PER EMPLOYEE RATIO)*</b> 144 STANDARD SPACES 5 ADA SPACES
PHASE 1 PROVIDED PARKING	<b>151 TOTAL SPACES SPACES</b> 135 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
FUTURE PROVIDED PARKING	333 STANDARD SPACES

\*NOTE: PER BUILDING SQUARE FOOTAGE A TOTAL OF 472 SPACES ARE REQUIRED. PLEASE REFER TO PARKING VARIANCE LETTER FOR ADDITIONAL INFORMATION

**NOTES**

THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PERFORMED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**SITE PLAN  
ROCKWALL TECHNOLOGY  
PARK PHASE V  
PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT NO. SP2024-031  
SUBMITTED JULY 2, 2024

**ENGINEER / SURVEYOR / APPLICANT:**  
KIMLEY-HORN & ASSOCIATES, INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PH (972) 770-1300  
CONTACT: NEDA HOSSEINY, P.E.

**DEVELOPER:**  
ROCKWALL ECONOMIC  
DEVELOPMENT CORPORATION  
2610 OBSERVATION TRAIL, SUITE 104  
ROCKWALL, TX. 75032  
PH. (541) 797-0521  
CONTACT: PHIL WAGNER

**Kimley-Horn**  
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-528 INC.  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

**PRELIMINARY**  
FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

**Kimley-Horn**  
Engineer: NEDA M. HOSSEINY  
P.E. No. 126707  
Date: 07/02/2024

KHA PROJECT	06867/058	SCALE	AS SHOWN	DATE	07/02/2024	DESIGNED BY	TAD	DRAWN BY	AKA	CHECKED BY	NMH
-------------	-----------	-------	----------	------	------------	-------------	-----	----------	-----	------------	-----

**PROJECT SATURN**  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**SITE PLAN  
PHASE 1**

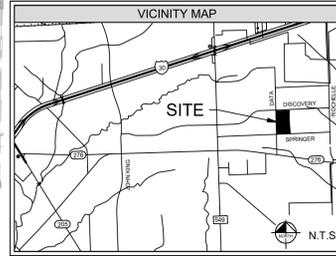
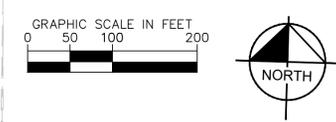
REVISIONS: [Table with columns for No., Description, Date, and By]

DATE: [Blank]

BY: [Blank]

C-003

Plotted By: Schwartz, Payton Date: July 02, 2024 02:20:09pm File Path: K:\DAL\Civil\06657055-Project Saturn\Cad\PlanSheets\SITE PLAN-Full Build Out.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.  
 LOT 1, BLOCK A ROCKWALL TECHNOLOGY PARK PHASE V INST. NO. 2023000006632 O.P.R.R.C.T. CAB. 3 PG. 141 P.R.C.T.  
 LOT 1, BLOCK B ROCKWALL TECHNOLOGY PARK PHASE V INST. NO. 2023000006632 O.P.R.R.C.T. CAB. 3 PG. 141 P.R.C.T.  
 LOT 2, BLOCK B ROCKWALL TECHNOLOGY PARK PHASE V INST. NO. 2023000006632 O.P.R.R.C.T. CAB. 3 PG. 141 P.R.C.T.  
 LOT 1, BLOCK C ROCKWALL TECHNOLOGY PARK PHASE V INST. NO. 2023000006632 O.P.R.R.C.T. CAB. 3 PG. 141 P.R.C.T.  
 ROCKWALL, TEXAS 75087



LEGEND	
PROPERTY LINE	---
PROPOSED WATER	W
EXISTING WATER	W
PROPOSED SANITARY SEWER	SS
EXISTING SANITARY SEWER	SS
PROPOSED STORM SEWER	SS
EXISTING STORM SEWER	SS
PROPOSED UNDERGROUND ELECTRIC LINE	UG-E
EXISTING UNDERGROUND ELECTRIC LINE	UG-E
PROPOSED NATURAL GAS LINE	GAS
EXISTING NATURAL GAS LINE	GAS
PROPOSED WATER VALVE	⊗
EXISTING WATER VALVE	⊗
PROPOSED FIRE HYDRANT	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED WATER METER	⊙
EXISTING WATER METER	⊙
PROPOSED SANITARY SEWER CLEANOUT	○
EXISTING SANITARY SEWER CLEANOUT	○
PROPOSED SANITARY SEWER MANHOLE	⊙
EXISTING SANITARY SEWER MANHOLE	⊙

SITE SUMMARY TABLE	
ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	462,384 SF
PROPOSED BUILDING FOOTPRINT	524,272 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

**PRELIMINARY**

FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

**Kimley-Horn**

Engineer: MEDA M. HOSSEINY  
P.E. No. 126707  
Date: 07/02/2024

**PROJECT SATURN**  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**DATE**  
07/02/2024

**SCALE**  
AS SHOWN

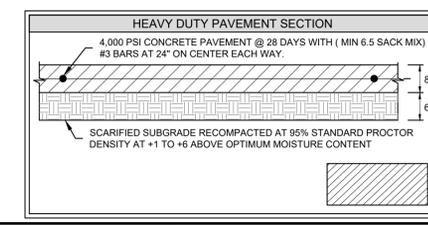
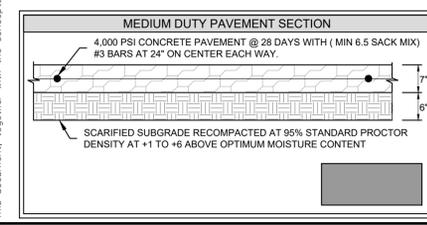
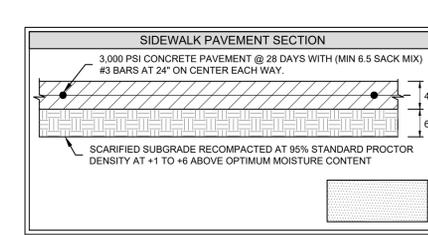
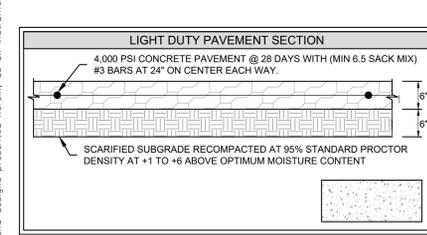
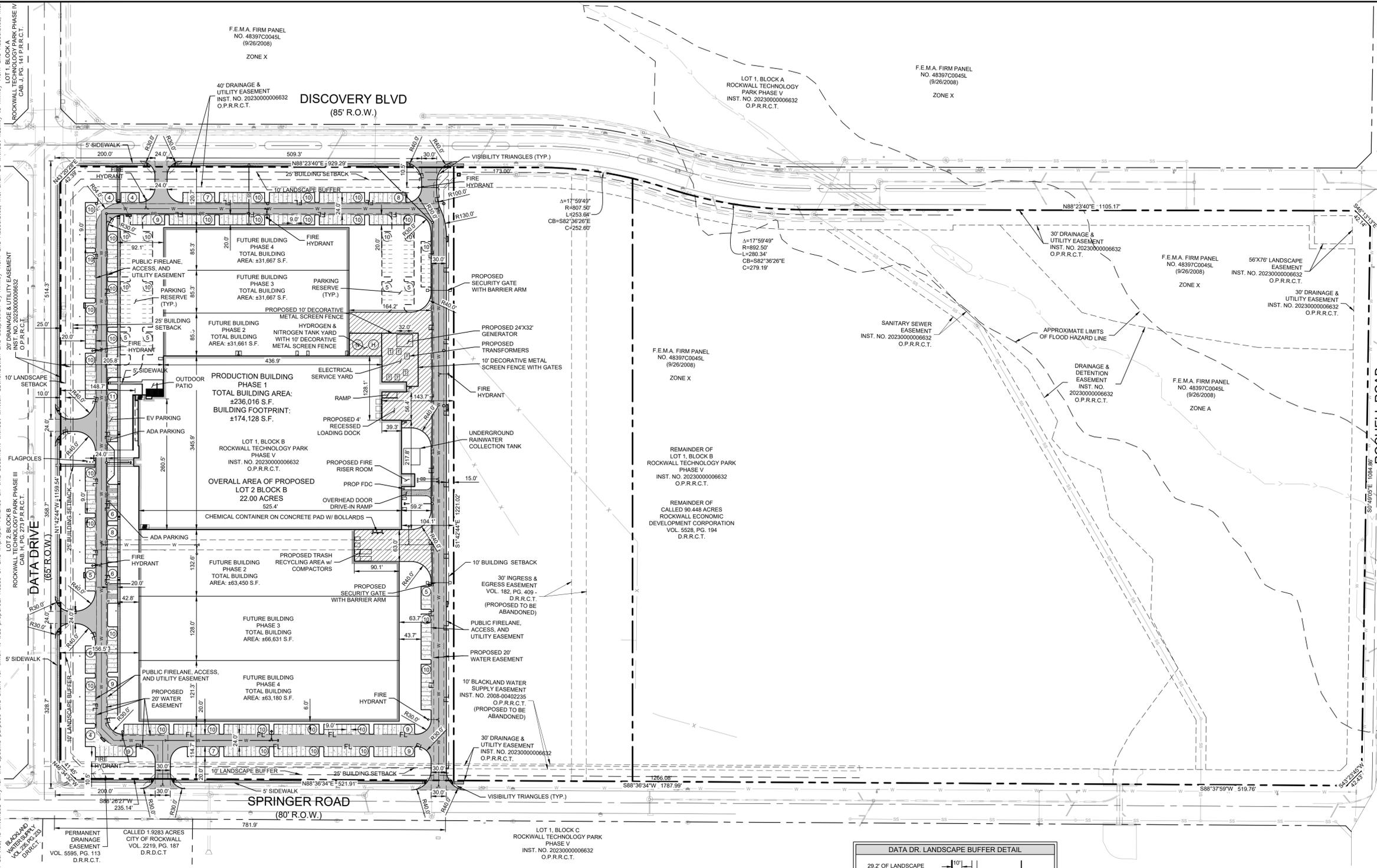
**DESIGNED BY**  
TAD

**DRAWN BY**  
AMA

**CHECKED BY**  
NMH

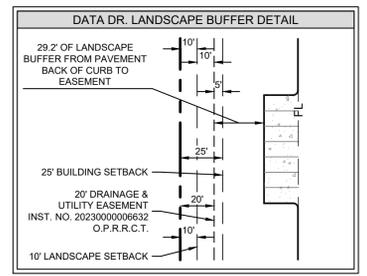
**SITE PLAN PHASE 2, 3, AND 4**

**C-004**



PARKING DATA TABLE	
PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES 1 SPACE PER 500 SF
PHASE 1 EMPLOYEE COUNT (TOTAL)	198
PHASE 2, 3 AND 4 EMPLOYEE COUNT (TOTAL)	540
PHASE 1 REQUIRED PARKING	<b>149 TOTAL SPACES (PER EMPLOYEE RATIO)*</b> 144 STANDARD SPACES 5 ADA SPACES
PHASE 2, 3 AND 4 REQUIRED PARKING	<b>405 TOTAL SPACES (PER EMPLOYEE RATIO)*</b> 396 STANDARD SPACES 9 ADA SPACES
PHASE 1 PROVIDED PARKING	<b>151 TOTAL SPACES SPACES</b> 135 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
PHASE 2, 3 AND 4 PROVIDED PARKING	<b>416 TOTAL SPACES SPACES</b> 397 STANDARD SPACES 10 EV SPACES 9 ADA SPACES

\*NOTE: PER BUILDING SQUARE FOOTAGE FOR PHASE 1 - A TOTAL OF 472 SPACES ARE REQUIRED. PLEASE REFER TO PARKING VARIANCE LETTER FOR ADDITIONAL INFORMATION



**NOTES**

THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PERFORMED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

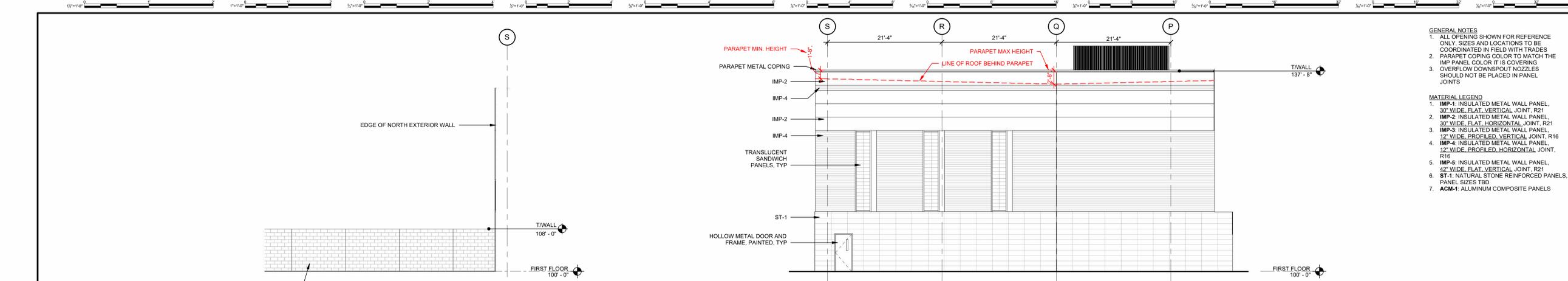
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**SITE PLAN EXHIBIT  
ROCKWALL TECHNOLOGY  
PARK PHASE V  
PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT NO. SP2024-031  
SUBMITTED JULY 2, 2024

**ENGINEER / SURVEYOR / APPLICANT:**  
KIMLEY-HORN & ASSOCIATES, INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PH (972) 770-1300  
CONTACT: NEDA HOSSEINY, P.E.

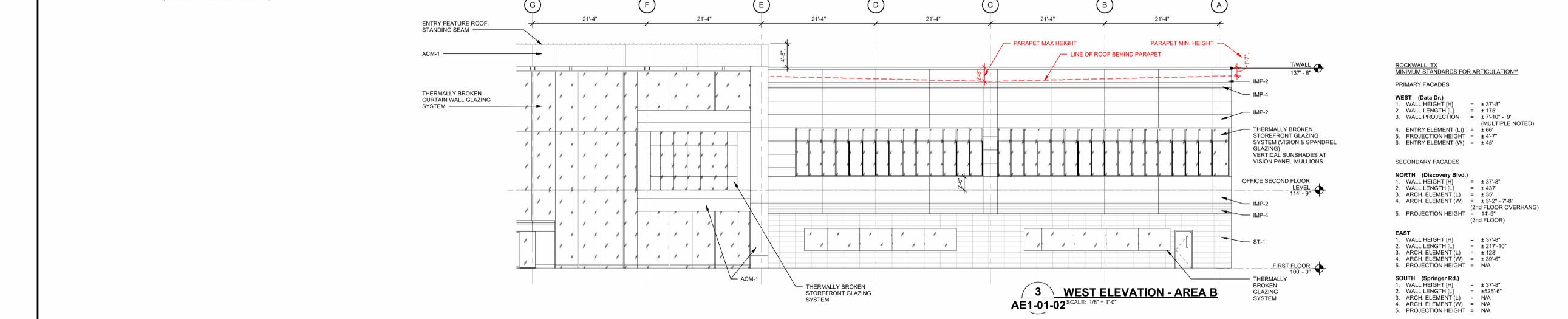
**DEVELOPER:**  
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
2610 OBSERVATION TRAIL, SUITE 104  
ROCKWALL, TX 75032  
PH (972) 772-0025  
CONTACT: PHIL WAGNER



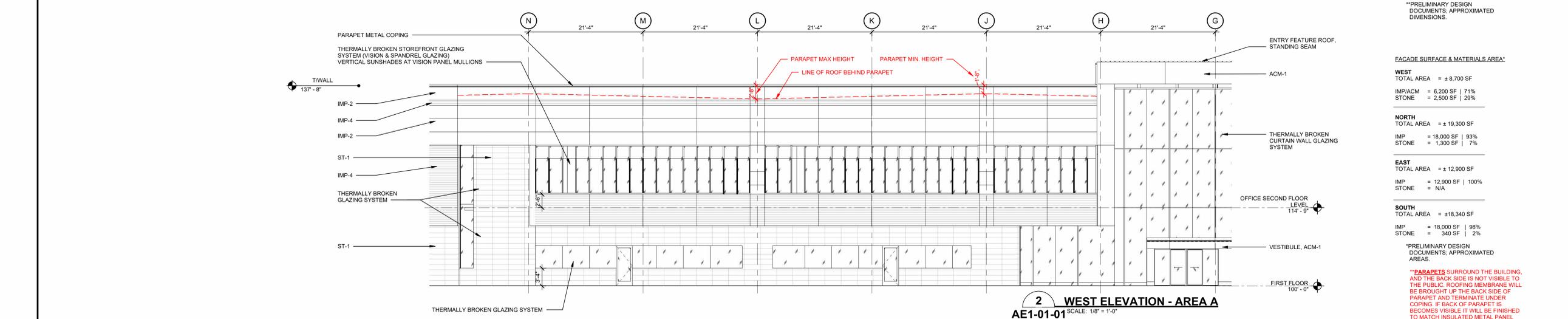
**5 WEST ELEVATION - AREA E**  
 AE1-01-00 SCALE: 1/8" = 1'-0"

**4 WEST ELEVATION - AREA C**  
 AE1-01-00 SCALE: 1/8" = 1'-0"

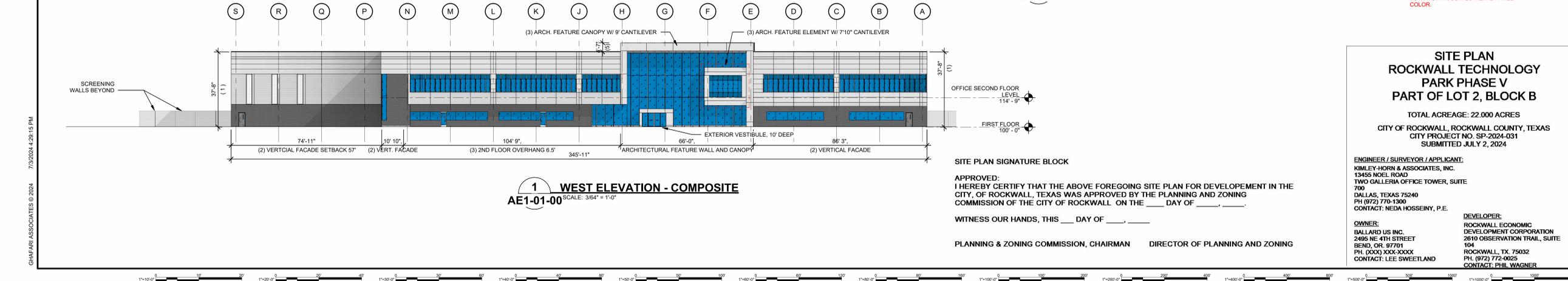
SCREENING MASONRY WALL TO BE SPLIT FACE CMU INTENDED TO BE INTEGRALLY COLORED TO MATCH AESTHETICS OF THE BUILDING AND STONE VENEER. WALL IS REINFORCED AND GROUTED SOLID. (Not counted in facade materials area calc)



**3 WEST ELEVATION - AREA B**  
 AE1-01-02 SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION - AREA A**  
 AE1-01-01 SCALE: 1/8" = 1'-0"



**1 WEST ELEVATION - COMPOSITE**  
 AE1-01-00 SCALE: 3/64" = 1'-0"

- GENERAL NOTES**
- ALL OPENING SHOWN FOR REFERENCE ONLY. SIZES AND LOCATIONS TO BE COORDINATED IN FIELD WITH TRADES.
  - PARAPET COPING COLOR TO MATCH THE IMP PANEL COLOR IT IS COVERING.
  - OVERFLOW DOWNSPOUT NOZZLES SHOULD NOT BE PLACED IN PANEL JOINTS.
- MATERIAL LEGEND**
- IMP-1: INSULATED METAL WALL PANEL, 30" WIDE FLAT VERTICAL JOINT, R21
  - IMP-2: INSULATED METAL WALL PANEL, 30" WIDE FLAT HORIZONTAL JOINT, R21
  - IMP-3: INSULATED METAL WALL PANEL, 12" WIDE PROFILED VERTICAL JOINT, R16
  - IMP-4: INSULATED METAL WALL PANEL, 12" WIDE PROFILED HORIZONTAL JOINT, R16
  - IMP-5: INSULATED METAL WALL PANEL, 42" WIDE FLAT VERTICAL JOINT, R21
  - ST-1: NATURAL STONE REINFORCED PANELS, PANEL SIZES TBD
  - ACM-1: ALUMINUM COMPOSITE PANELS

- ROCKWALL, TX MINIMUM STANDARDS FOR ARTICULATION\*\***
- PRIMARY FACADES**
- WEST (Data Dr.)**
- WALL HEIGHT [H] = ± 37'-8"
  - WALL LENGTH [L] = ± 175'
  - WALL PROJECTION = ± 7'-10" - 9' (MULTIPLE NOTED)
  - ENTRY ELEMENT [L] = ± 66'
  - PROJECTION HEIGHT = ± 4'-2"
  - ENTRY ELEMENT [W] = ± 45'
- SECONDARY FACADES**
- NORTH (Discovery Blvd.)**
- WALL HEIGHT [H] = ± 37'-8"
  - WALL LENGTH [L] = ± 437'
  - ARCH. ELEMENT [L] = ± 128'
  - ARCH. ELEMENT [W] = ± 3'-2" - 7'-8" (2ND FLOOR OVERHANG) = ± 14'-9" (2ND FLOOR)
  - PROJECTION HEIGHT = ± 45'
- EAST**
- WALL HEIGHT [H] = ± 37'-8"
  - WALL LENGTH [L] = ± 217'-10"
  - ARCH. ELEMENT [L] = ± 128'
  - ARCH. ELEMENT [W] = ± 39'-6"
  - PROJECTION HEIGHT = N/A
- SOUTH (Springer Rd.)**
- WALL HEIGHT [H] = ± 37'-8"
  - WALL LENGTH [L] = ± 525'-0"
  - ARCH. ELEMENT [L] = N/A
  - ARCH. ELEMENT [W] = N/A
  - PROJECTION HEIGHT = N/A

**FACADE SURFACE & MATERIALS AREA\***

Direction	Total Area	IMP/ACM	STONE
WEST	± 8,700 SF	6,200 SF   71%	2,500 SF   29%
NORTH	± 19,300 SF	18,000 SF   93%	1,300 SF   7%
EAST	± 12,900 SF	12,900 SF   100%	N/A
SOUTH	± 18,340 SF	18,000 SF   98%	340 SF   2%

\*PRELIMINARY DESIGN DOCUMENTS; APPROXIMATED DIMENSIONS.

\*\*PARAPETS SURROUND THE BUILDING AND THE BACK SIDE IS NOT VISIBLE TO THE PUBLIC. ROOFING MEMBRANE WILL BE BROUGHT UP THE BACK SIDE OF PARAPET AND TERMINATE UNDER COPING. IF BACK OF PARAPET IS BECOMES VISIBLE IT WILL BE FINISHED TO MATCH INSULATED METAL PANEL COLOR.

**SITE PLAN**  
**ROCKWALL TECHNOLOGY PARK PHASE V**  
**PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT NO.: SP-2024-031  
 SUBMITTED JULY 2, 2024

**ENGINEER / SURVEYOR / APPLICANT:**  
 KIMLEY-HORN & ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PH: (972) 770-1300  
 CONTACT: NEDA HOSSEINY, P.E.

**OWNER:**  
 BALLARD US INC.  
 2495 NE 4TH STREET  
 BEND, OR 97701  
 PH: (503) XXX-XXXX  
 CONTACT: LEE SWEETLAND

**DEVELOPER:**  
 ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75082  
 PH: (972) 772-0025  
 CONTACT: PHIL WAGNER

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, 2024.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, 2024.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**BALLARD™**

BALLARD POWER SYSTEMS, INC.  
 9000 GLENLYON PARKWAY  
 BURNABY, BC V5J 5J8  
 P: 604-454-0900  
 WWW.BALLARD.COM

**PROJECT SATURN**  
 Rockwall Technology Park, Rockwall, TX 75302

**GHAFFARI**

17101 MICHIGAN AVENUE  
 DEARBORN, MI 48126-2736 USA  
 TEL +1.313.441.3000  
 www.ghaffari.com

**CONSULTANT INFORMATION**

REV	DATE	DOC REL #2 - SD	DESCRIPTION

REGISTRATION SEAL

**NOT FOR CONSTRUCTION**

REV	DATE	DOC REL #2 - SD	DESCRIPTION

**ARCHITECTURAL BUILDING ELEVATIONS**

PROJECT # 2400033  
 PROJECT MANAGER B. JILBERT  
 DESIGNED BY J. TESTA  
 DRAWN BY J. JACKSON  
 QUALITY CHECK R. BARRY  
 SHEET TITLE

**AE2-00-01**  
 SHEET NUMBER

DISCLAIMER: THIS DRAWING IS TO BE PRINTED IN COLOR. IF THIS TEXT DOES NOT APPEAR IN COLOR, ANY USE OF THIS DRAWING IS AT THE SOLE RISK AND LIABILITY OF THE USER WHO RETAINS THE RESPONSIBILITY OF MEETING THE PROJECT REQUIREMENTS.















Plotted By: Harman, Anne Date: July 03, 2024 12:46:42pm File Path: K:\MKN\_LA\LA\Projects\086671058 - project saturn\CAD\Sheets\DWG\1.01 LANDSCAPE NOTES AND SITE CALCULATIONS.dwg  
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

### PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
- ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIVE STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT.
- CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY (NOT ALREADY INCLUDED IN PLANTING PLANS) TO BE FINE GRADED, AND PLANTED WITH PLANTED WITH PLANTS OR SOD TO MATCH EXISTING CONDITIONS.

### IRRIGATION NOTES:

- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
- ALL PLANTING AREAS TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
- IRRIGATION SYSTEM TO HAVE RAIN AND FREEZE SENSORS.
- ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST TO THE OWNER.
- IRRIGATION SYSTEM TO BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

**NOTE: AN IRRIGATION PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCKWALL IRRIGATION REQUIREMENTS**

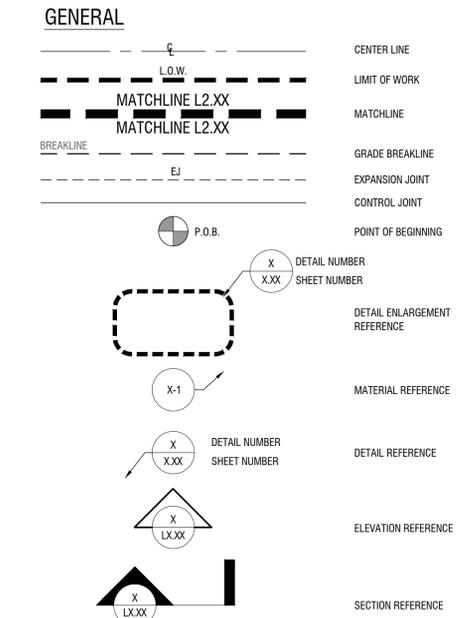
### TREE PROTECTION NOTES:

- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
- NO EQUIPMENT SHALL BE CLEARED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

### LANDSCAPE CALCULATIONS CHART:

Project Saturn - Rockwall, TX Code Calculations Chart			
<b>Site Data</b>	<b>AC</b>	<b>SF</b>	
Total Site Area	22.00	958,318	
Impervious Site Area		350,946	
<b>Site Landscape Area</b>	<b>Required (% / SF)</b>	<b>Provided (% / SF)</b>	
15% of site to be landscaped	15%	27%	
	143,748	254,749	
<b>Street Frontage</b>	<b>Required</b>	<b>Provided</b>	
<b>Discovery Boulevard (777.82 LF)</b>			
1 Canopy Tree/ 50 LF	16	16	
1 Accent Tree/ 50LF	16	16	
Continuous row of shrubs and berming (min. 36" ht. )	YES	YES	
<b>Data Drive (1201.46 LF)</b>			
1 Canopy Tree/ 50 LF	24	24	
1 Accent Tree/ 50LF	24	24	
Continuous row of shrubs and berming (min. 36" ht. )	YES	YES	
<b>Springer Road (777.48 LF)</b>			
1 Canopy Tree/ 50LF	16	16	
1 Accent Tree/ 50LF	16	16	
Continuous row of shrubs and berming (min. 36" ht. )	YES	YES	
<b>Parking Lot</b>	<b>Required</b>	<b>Provided</b>	
1 Large Canopy Tree/ 10 parking spaces	#REF!	16	
One tree within 80' of each parking space	YES	YES	
Headlight Screening (min. 2' ht. berm with evergreen shrubs)	YES	YES	
<b>Detention Basin Screening</b>	<b>Required</b>	<b>Provided</b>	
1 native shrub or grass per 750 sq of pond	N/A	N/A	
<i>*No detention basins on site</i>			

### SYMBOLS LEGEND:



### PLANTING SCHEDULE:

SYMBOL	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
<b>TREES</b>						
	Bald Cypress / Taxodium distichum	4" cal	12'-14' ht		17	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Cedar Elm / Ulmus crassifolia	4" cal	12'-14' ht		20	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Eastern Redcedar / Juniperus virginiana	4" cal	12'-14' ht		7	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7' CLEAR AT SIDEWALKS
	Live Oak / Quercus virginiana	4" cal	12'-14' ht		18	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Texas Red Oak / Quercus buckleyi	4" cal	12'-14' ht		25	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
<b>FLOWERING TREES</b>						
	Mexican Buckeye / Ungnadia speciosa	45 gal	8'-10' ht		18	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
	Possumhaw Holly / Ilex decidua	45 Gal.	7'-8'		16	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
	Yaupon Holly / Ilex vomitoria	45 Gal.	8'-10'		20	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
<b>SHRUBS</b>						
	Blue Grama / Bouteloua gracilis 'Blonde Ambition'	3 gal	18" h X 18" w	24" OC	115	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'	5 gal	18" h x 24" w	36" OC	258	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Glossy Abelia / Abelia x grandiflora	5 gal	24" h x 18" w	36" OC	223	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM	5 gal	24" h x 24" w	36" OC	209	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Nellie Stevens Holly / Ilex x 'Nellie R Stevens'	15 gal	5' h X 2' w	60" OC	28	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Red Yucca / Hesperaloe parviflora	5 gal	18" h X 18" w	24" OC	53	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'	5 gal	18" h X 18" w	IN POTS	24	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
SYMBOL	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
<b>GROUND COVERS</b>						
	Latitude 36 Bermuda Grass / Cynodon dactylon	sod			229,507 sf	REFER TO SPECIFICATIONS

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD, AND CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

### TREE MITIGATION:

Tree Inches Being Removed	Tree Inches	Mitigation Inches
Total tree inches being removed - Primary - 1:1	0	0
Total tree inches being removed - Secondary - 0.5:1	307.3	160.3
Total tree inches being removed - Feature - 2:1	0	0.0
<b>Total tree inches being removed</b>	<b>307.3</b>	<b>160.3</b>
<b>Mitigation Inches</b>		<b>160.3</b>
<b>Proposed Tree Inches Per Planting Plan</b>		<b>328</b>
<b>NET TOTAL</b>		<b>-167.7</b>

PROJECT SATURN - TREE MITIGATION CHART				
COMMON NAME	SCIENTIFIC NAME	QTY	CAL.	MITIGATION
Bald Cypress	Taxodium distichum	17	4	68
Cedar Elm	Ulmus crassifolia	20	4	80
Eastern Red Cedar	Juniperus virginiana	2	4	8
Live Oak	Quercus virginiana	18	4	72
Texas Red Oak	Quercus buckleyi	25	4	100
<b>TOTAL MITIGATION REQUIRED:</b>				160.3
<b>TOTAL MITIGATION PROVIDED:</b>				328.0
<b>TOTAL MITIGATION OUTSTANDING:</b>				0.0

### SITE DATA TABLE:

SITE SUMMARY TABLE	
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958,322 SF/22,000 AC.
BUILDING COVERAGE	25%

PARKING DATA TABLE	
PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES
PHASE 1 EMPLOYEE COUNT (PER SHIFT)	198
ULTIMATE EMPLOYEE COUNT (PER SHIFT)	540
PHASE 1 REQUIRED PARKING	149 TOTAL SPACES 144 STANDARD SPACES 5 ADA SPACES
ULTIMATE REQUIRED PARKING	405 TOTAL SPACES 396 STANDARD SPACES 9 ADA SPACES
PHASE 1 PROVIDED PARKING	133 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
ULTIMATE PROVIDED PARKING	405 TOTAL SPACES 386 STANDARD SPACES 10 EV SPACES 9 ADA SPACES

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.  
WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.  
PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**ROCKWALL TECHNOLOGY PARK PHASE V**  
**PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT NO. SP2024-031  
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:  
KIMLEY-HORN & ASSOCIATES, INC.  
13455 NOEL ROAD  
DALLAS, TEXAS 75240  
PH (469) 301-2599  
CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:  
ROCKWALL ECONOMIC DEVELOPMENT COUNCIL  
2610 OBSERVATION TRAIL, SUITE 104  
ROCKWALL, TX 75032  
PH. (972) 772-0025  
CONTACT: PHIL WAGNER

OWNER:  
BALLARD US INC.  
2495 NE 4TH STREET  
BEND, OR 97701  
PH. (XXX) XXX-XXXX  
CONTACT: LEE SWEETLAND

NO.
REVISIONS
DATE

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-9820  
WWW.KIMLEY-HORN.COM TX F-928 INC.  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY  
Not for construction or permit purposes

**Kimley-Horn**

P.L.A. Paul D. Freeland  
L.A. No. 2458 Date: 07/02/2024

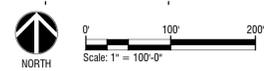
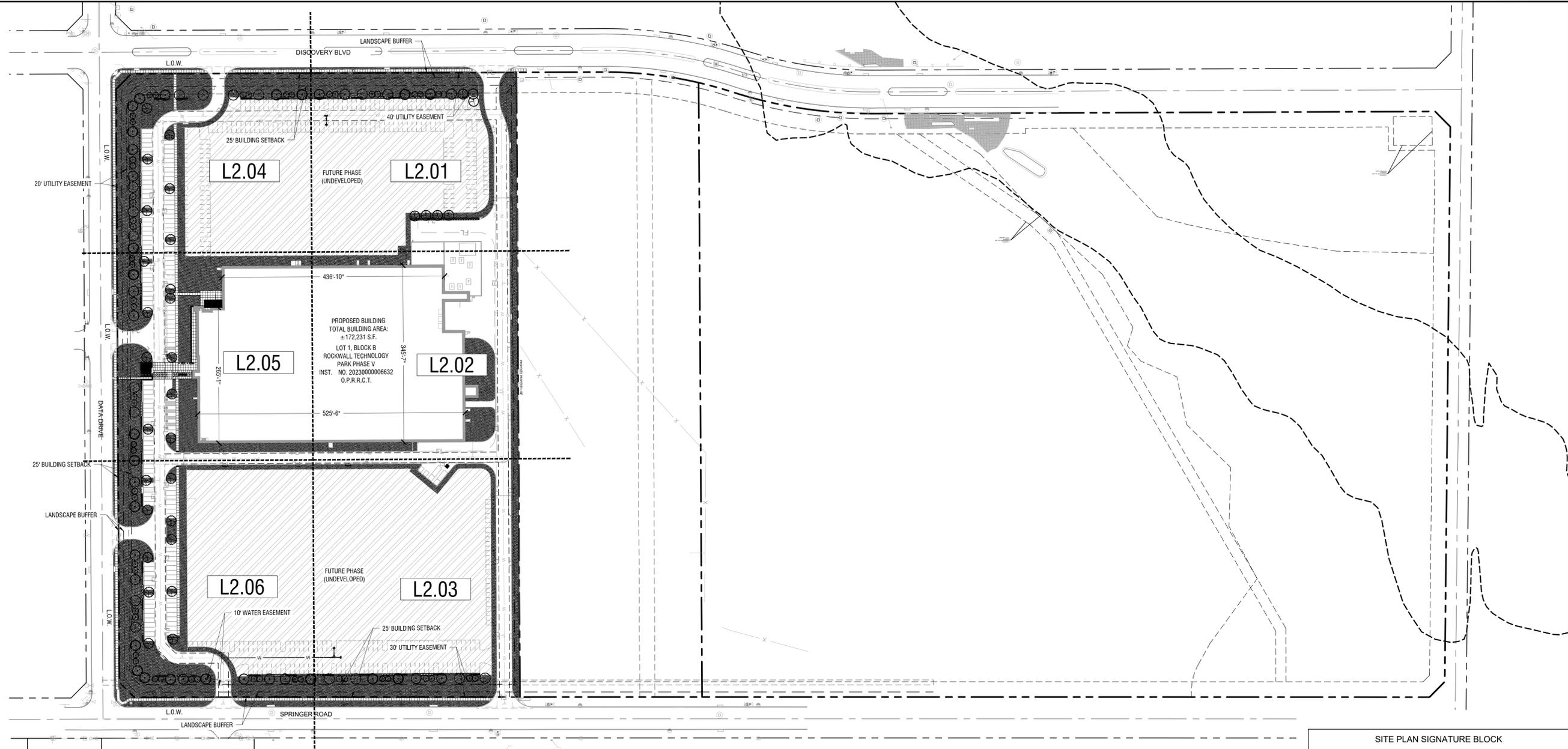
**PROJECT SATURN**  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

LANDSCAPE NOTES AND SITE CALCULATIONS

KHA PROJECT 086671058
DATE JULY 2024
SCALE AS SHOWN
DESIGNED BY PDF
DRAWN BY NLF
CHECKED BY PDF

SHEET NUMBER
L1.01

Plotted By: Horn, Anne Date: July 03, 2024 12:46:50pm File Path: K:\Projects\086671058 - project saturn\CAD\Sheets\DWG\1.01 LANDSCAPE NOTES AND SITE CALCULATIONS.dwg  
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Overall Landscape Plan **A**  
 Scale: 1" = 100'-0"

**PLANTING NOTES:**

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
- ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT.
- CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY (NOT ALREADY INCLUDED IN PLANTING PLANS) TO BE FINE GRADED, AND PLANTED WITH PLANTS OR SOD TO MATCH EXISTING CONDITIONS.

**IRRIGATION NOTES:**

- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
- ALL PLANTING AREAS TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
- IRRIGATION SYSTEM TO HAVE RAIN AND FREEZE SENSORS.
- ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST TO THE OWNER.
- IRRIGATION SYSTEM TO BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

**TREE PROTECTION NOTES:**

- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
- NO EQUIPMENT SHALL BE CLEARED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

**NOTE: AN IRRIGATION PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCKWALL IRRIGATION REQUIREMENTS**

**NOTE: ALL RIGHTS-OF-WAY TO BE SODDED PRIOR TO ENGINEERING ACCEPTANCE AND CO.**

**NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.**

SITE PLAN SIGNATURE BLOCK

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, 2024.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, 2024

\_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**SITE PLAN  
 ROCKWALL TECHNOLOGY  
 PARK PHASE V  
 PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT NO. SP2024-031  
 SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:  
 KIMLEY-HORN & ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PH (469) 301-2599  
 CONTACT: PAUL FREELAND, P.L.A.

OWNER:  
 BALLARD US INC.  
 2495 NE 4TH STREET  
 BEND, OR 97701  
 PH. (XXX) XXX-XXXX  
 CONTACT: LEE SWEETLAND

DEVELOPER:  
 ROCKWALL ECONOMIC  
 DEVELOPMENT COUNCIL  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 PH. (972) 772-0025  
 CONTACT: PHIL WAGNER

No.	REVISIONS	DATE

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
 SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-9820  
 WWW.KIMLEY-HORN.COM TX F-928 INC.  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY  
 Not for construction or permit purposes

**Kimley-Horn**

P.L.A. Paul D. Freeland  
 L.A. No. 2458 Date: 07/02/2024

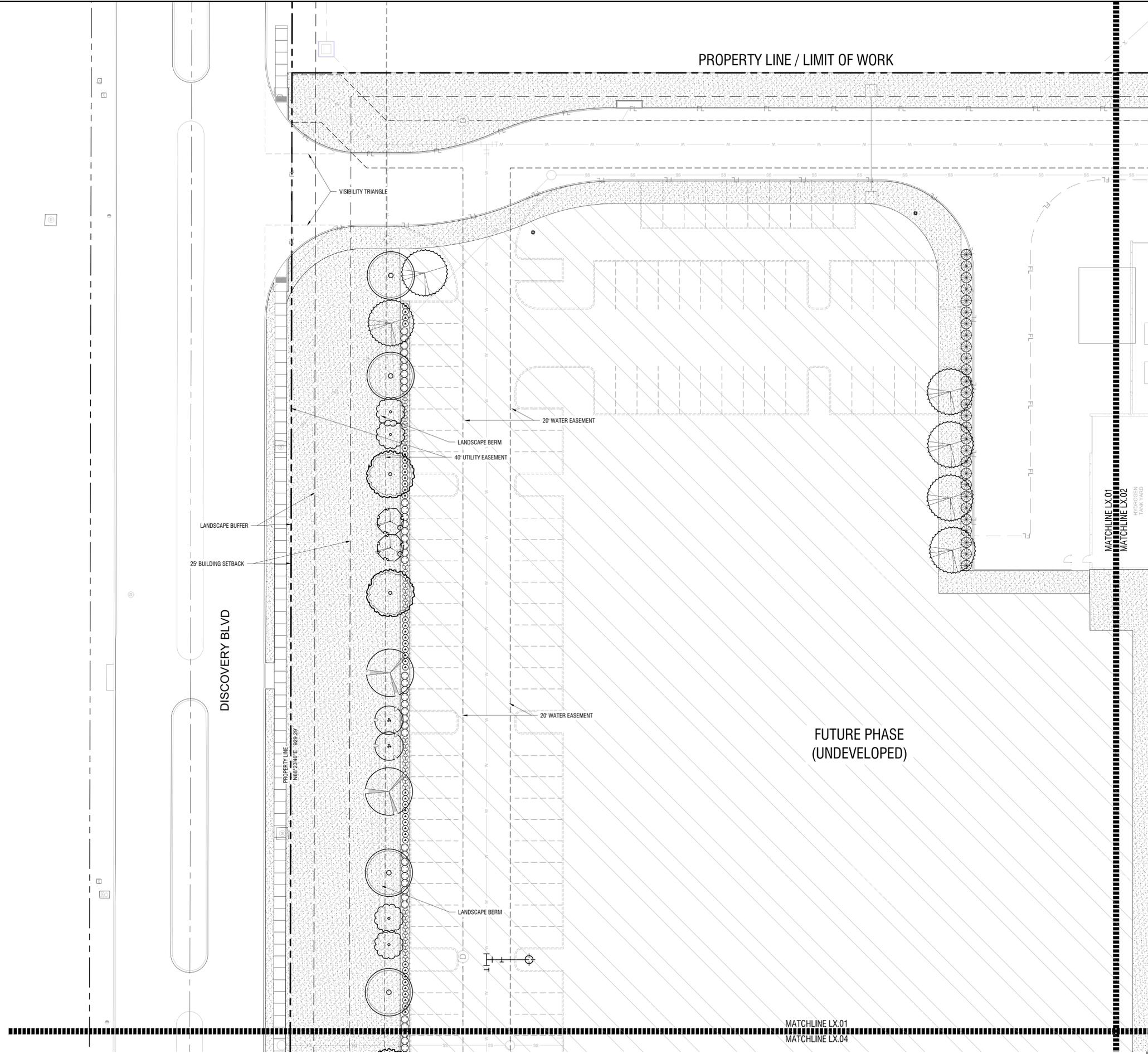
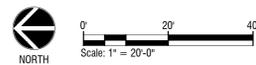
KHA PROJECT 086671058	DATE JULY 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
--------------------------	-------------------	-------------------	--------------------	-----------------	-------------------

**PROJECT SATURN**  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

**OVERALL LANDSCAPE PLAN**

SHEET NUMBER <b>L1.02</b>
------------------------------

Plotted By: Harman, Anne Date: July 03, 2024 12:48:26pm File Path: K:\MKN\_LAIP\_projects\086671058 - project saturn\CAD\_Sheets\DWG\L2.01\_LANDSCAPE\_PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**PLANT SCHEDULE**

SYMBOL COMMON / BOTANICAL NAME

**TREES**

- Bald Cypress / Taxodium distichum
- Cedar Elm / Ulmus crassifolia
- Eastern Redcedar / Juniperus virginiana
- Live Oak / Quercus virginiana
- Texas Red Oak / Quercus buckleyi

**FLOWERING TREES**

- Mexican Buckeye / Ungnadia speciosa
- Possumhaw Holly / Ilex decidua
- Yaupon Holly / Ilex vomitoria

**SHRUBS**

- Blue Grama / Bouteloua gracilis 'Blonde Ambition'
- Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
- Glossy Abelia / Abelia x grandiflora
- Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
- Nellie Stevens Holly / Ilex x 'Nellie R Stevens'
- Red Yucca / Hesperaloe parviflora
- Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'

SYMBOL COMMON / BOTANICAL NAME

**GROUND COVERS**

- Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

Landscape Plan

Scale: 1" = 20'-0"

**A**

SITE PLAN SIGNATURE BLOCK

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.  
 \_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN  
 \_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**ROCKWALL TECHNOLOGY**  
**PARK PHASE V**  
**PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT NO. SP2024-031  
 SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:  
 KIMLEY-HORN & ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PH (469) 301-2599  
 CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:  
 ROCKWALL ECONOMIC  
 DEVELOPMENT COUNCIL  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 PH. (972) 772-0025  
 CONTACT: PHIL WAGNER

OWNER:  
 BALLARD US INC.  
 2495 NE 4TH STREET  
 BEND, OR 97701  
 PH. (XXX) XXX-XXXX  
 CONTACT: LEE SWEETLAND

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
 SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-9820  
 WWW.KIMLEY-HORN.COM TX F-928 INC.  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

P.L.A. Paul D. Freeland  
 L.A. No. 2458 Date: 07/02/2024

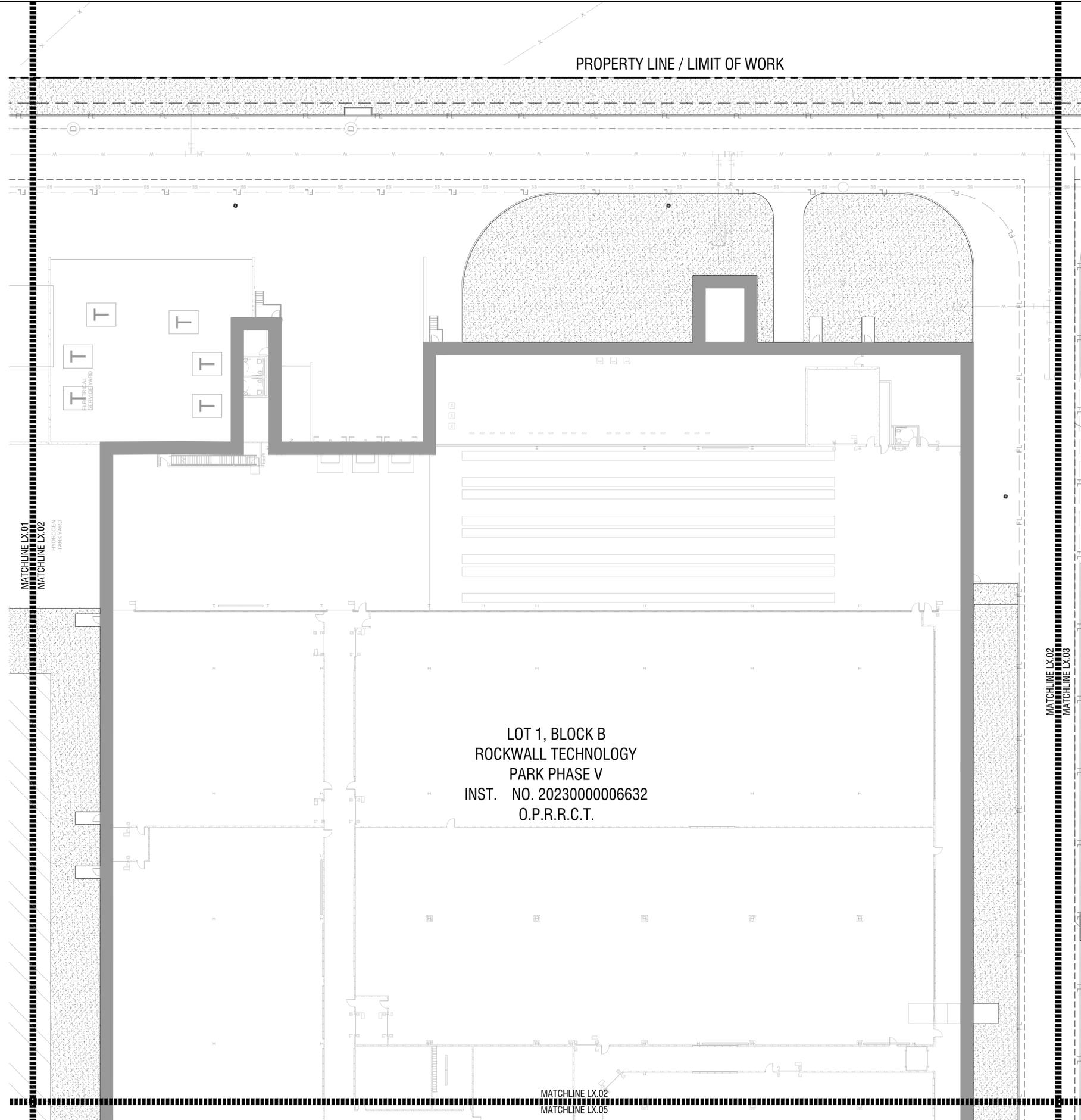
KHA PROJECT	086671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NLF
CHECKED BY	PDF

**PROJECT SATURN**  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER  
**L2.01**

Plotted By: Harman, Anne Date: July 03, 2024 12:48:31pm File Path: K:\MKM\_LALPA\_projects\06867058 - project saturn\CAD\Sheets\CIVIL\2.01 LANDSCAPE PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LOT 1, BLOCK B  
 ROCKWALL TECHNOLOGY  
 PARK PHASE V  
 INST. NO. 2023000006632  
 O.P.R.R.C.T.

**PLANT SCHEDULE**

SYMBOL	COMMON / BOTANICAL NAME
<b>TREES</b>	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Eastern Redcedar / Juniperus virginiana
	Live Oak / Quercus virginiana
	Texas Red Oak / Quercus buckleyi
<b>FLOWERING TREES</b>	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
<b>SHRUBS</b>	
	Blue Grama / Bouteloua gracilis 'Blonde Ambition'
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
	Nellie Stevens Holly / Ilex x 'Nellie R Stevens'
	Red Yucca / Hesperaloe parviflora
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'
<b>GROUND COVERS</b>	
	Latitude 36 Bermuda Grass / Cynodon dactylon

SYMBOL	COMMON / BOTANICAL NAME
	Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

SITE PLAN SIGNATURE BLOCK  
 APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.  
 \_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN  
 \_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**ROCKWALL TECHNOLOGY**  
**PARK PHASE V**  
**PART OF LOT 2, BLOCK B**  
 TOTAL ACREAGE: 22.000 ACRES  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT NO. SP2024-031  
 SUBMITTED JULY 2, 2024  
 LANDSCAPE ARCHITECT:  
 KIMLEY-HORN & ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PH (469) 301-2599  
 CONTACT: PAUL FREELAND, P.L.A.  
 DEVELOPER:  
 ROCKWALL ECONOMIC  
 DEVELOPMENT COUNCIL  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 PH. (972) 772-0025  
 CONTACT: PHIL WAGNER  
 OWNER:  
 BALLARD US INC.  
 2495 NE 4TH STREET  
 BEND, OR 97701  
 PH. (XXX) XXX-XXXX  
 CONTACT: LEE SWEETLAND

NO.	REVISIONS	DATE	BY

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
 SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928 INC.  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

PRELIMINARY  
 FOR REVIEW ONLY  
 Not for construction or permit purposes  
  
 P.L.A. Paul D. Freeland  
 L.A. No. 2458 Date: 07/02/2024

KHA PROJECT	06867058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NLF
CHECKED BY	PDF

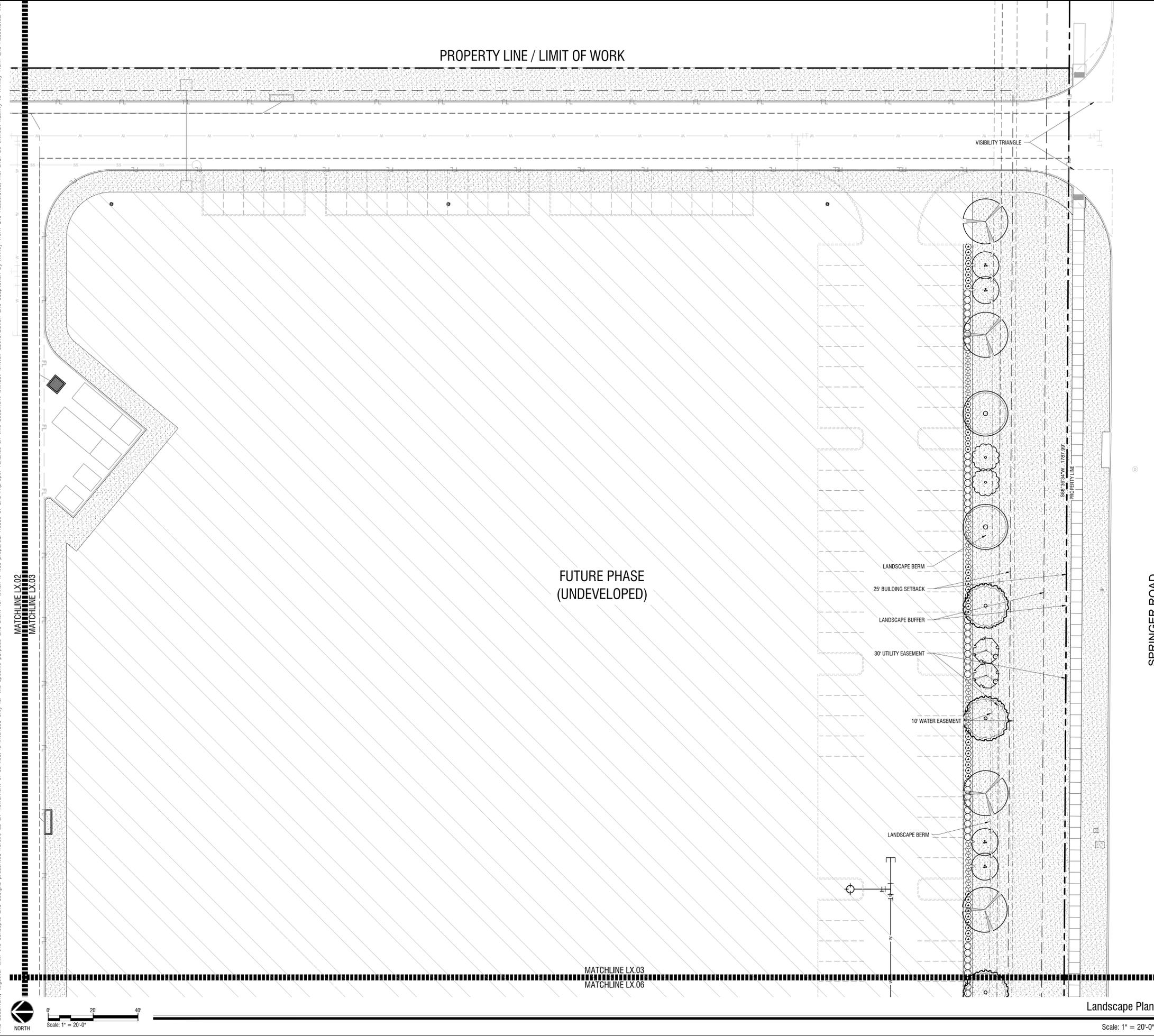
**PROJECT SATURN**  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN  
 SHEET NUMBER  
**L2.02**

Landscape Plan  
Scale: 1" = 20'-0"

**A**

Plotted By: Harman, Anne Date: July 03, 2024 12:48:37pm File Path: K:\MKN\_LA\Projects\068671058 - project saturn\CAD\Sheets\DWG\LX.01 LANDSCAPE PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**PLANT SCHEDULE**

SYMBOL COMMON / BOTANICAL NAME

**TREES**

-  Bald Cypress / *Taxodium distichum*
-  Cedar Elm / *Ulmus crassifolia*
-  Eastern Redcedar / *Juniperus virginiana*
-  Live Oak / *Quercus virginiana*
-  Texas Red Oak / *Quercus buckleyi*

**FLOWERING TREES**

-  Mexican Buckeye / *Ungnadia speciosa*
-  Possumhaw Holly / *Ilex decidua*
-  Yaupon Holly / *Ilex vomitoria*

**SHRUBS**

-  Blue Grama / *Bouteloua gracilis* 'Blonde Ambition'
-  Emerald Snow Loropetalum / *Loropetalum chinense* 'Emerald Snow'
-  Glossy Abelia / *Abelia x grandiflora*
-  Green Cloud Texas Ranger / *Leucophyllum frutescens* 'Green Cloud' TM
-  Nellie Stevens Holly / *Ilex x 'Nellie R Stevens'*
-  Red Yucca / *Hesperaloe parviflora*
-  Whale's Tongue Agave / *Agave ovatifolia* 'Frosty Blue'

SYMBOL COMMON / BOTANICAL NAME

**GROUND COVERS**

-  Latitude 36 Bermuda Grass / *Cynodon dactylon*

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.  
 \_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**ROCKWALL TECHNOLOGY**  
**PARK PHASE V**  
**PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT NO. SP2024-031  
 SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:  
 KIMLEY-HORN & ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PH (469) 301-2599  
 CONTACT: PAUL FREELAND, P.L.A.

OWNER:  
 BALLARD US INC.  
 2495 NE 4TH STREET  
 BEND, OR 97701  
 PH. (XXX) XXX-XXXX  
 CONTACT: LEE SWEETLAND

DEVELOPER:  
 ROCKWALL ECONOMIC  
 DEVELOPMENT COUNCIL  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 PH. (972) 772-0025  
 CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
 SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-9820  
 WWW.KIMLEY-HORN.COM TX F-928 INC.  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY  
 Not for construction or permit purposes

**Kimley-Horn**

Paul D. Freeland  
 P.L.A. No. 2458 Date: 07/02/2024

KHA PROJECT 068671058	DATE JULY 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
--------------------------	-------------------	-------------------	--------------------	-----------------	-------------------

**PROJECT SATURN**  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

**LANDSCAPE PLAN**

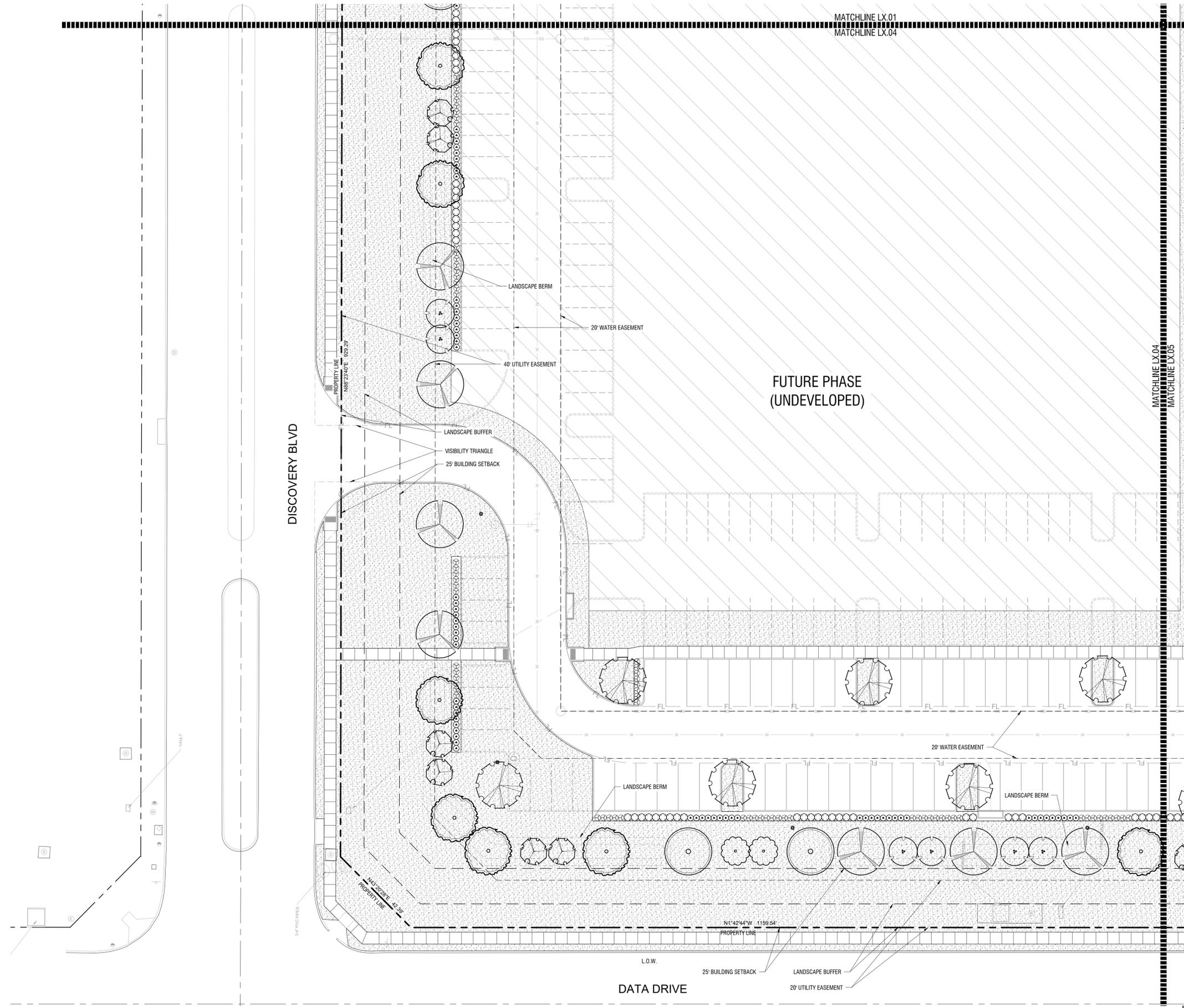
SHEET NUMBER  
**L2.03**

Landscape Plan

Scale: 1" = 20'-0"

**A**

Plotted By: Harman, Anne Date: July 03, 2024 12:48:42pm File Path: K:\MKM\_LA\Projects\086671058 - project saturn\CAD\Sheets\CVL\2.01 LANDSCAPE PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**PLANT SCHEDULE**

SYMBOL COMMON / BOTANICAL NAME

**TREES**

- Bald Cypress / Taxodium distichum
- Cedar Elm / Ulmus crassifolia
- Eastern Redcedar / Juniperus virginiana
- Live Oak / Quercus virginiana
- Texas Red Oak / Quercus buckleyi

**FLOWERING TREES**

- Mexican Buckeye / Ungnadia speciosa
- Possumhaw Holly / Ilex decidua
- Yaupon Holly / Ilex vomitoria

**SHRUBS**

- Blue Grama / Bouteloua gracilis 'Blonde Ambition'
- Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
- Glossy Abelia / Abelia x grandiflora
- Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
- Nellie Stevens Holly / Ilex x 'Nellie R Stevens'
- Red Yucca / Hesperaloe parviflora
- Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'

SYMBOL COMMON / BOTANICAL NAME

**GROUND COVERS**

- Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE TIE-INS.

SITE PLAN SIGNATURE BLOCK

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, 2024.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, 2024

\_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**ROCKWALL TECHNOLOGY**  
**PARK PHASE V**  
**PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT NO. SP2024-031  
 SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:  
 KIMLEY-HORN & ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PH (469) 301-2599  
 CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:  
 ROCKWALL ECONOMIC  
 DEVELOPMENT COUNCIL  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 PH. (972) 772-0025  
 CONTACT: PHIL WAGNER

OWNER:  
 BALLARD US INC.  
 2495 NE 4TH STREET  
 BEND, OR 97701  
 PH. (XXX) XXX-XXXX  
 CONTACT: LEE SWEETLAND

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
 SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928 INC.  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

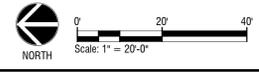
P.L.A. Paul D. Freeland  
 L.A. No. 2458 Date: 07/02/2024

KHA PROJECT 086671058	DATE JULY 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
--------------------------	-------------------	-------------------	--------------------	-----------------	-------------------

**PROJECT SATURN**  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER  
**L2.04**

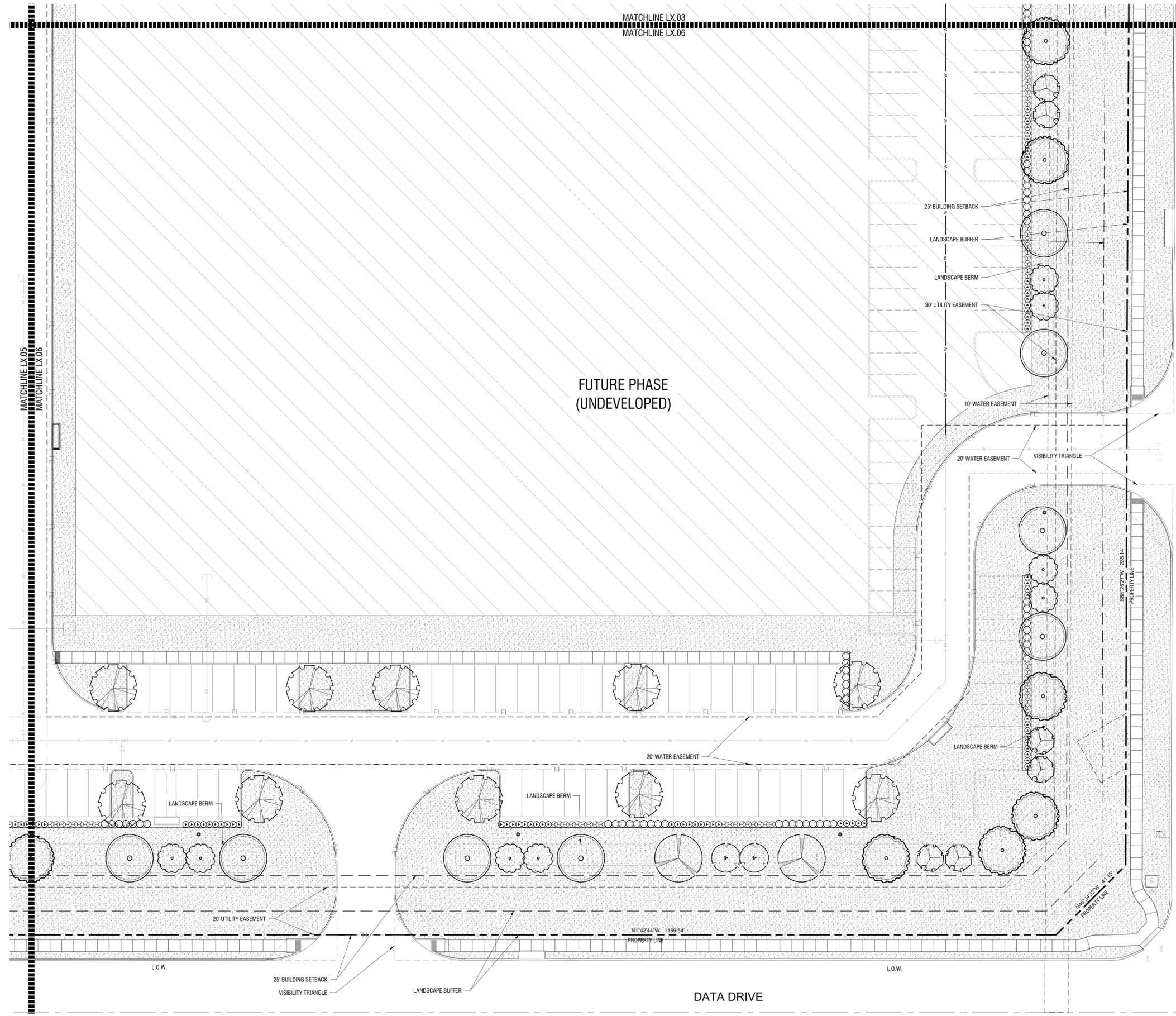


Landscape Plan  
 Scale: 1" = 20'-0"

A



Plotted By: Harman, Anne Date: July 03, 2024 12:48:53pm File Path: K:\MKN\_LA\Projects\086671058 - project saturn\CAD\Sheets\DWG\2.01 LANDSCAPE PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
<b>TREES</b>	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Eastern Redcedar / Juniperus virginiana
	Live Oak / Quercus virginiana
	Texas Red Oak / Quercus buckleyi
<b>FLOWERING TREES</b>	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
<b>SHRUBS</b>	
	Blue Grama / Bouteloua gracilis 'Blonde Ambition'
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
	Nellie Stevens Holly / Ilex x 'Nellie R Stevens'
	Red Yucca / Hesperaloe parviflora
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'

SYMBOL	COMMON / BOTANICAL NAME
	Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, 20\_\_.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, 20\_\_

\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**ROCKWALL TECHNOLOGY**  
**PARK PHASE V**  
**PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT NO. SP2024-031  
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:  
KIMLEY-HORN & ASSOCIATES, INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PH (469) 301-2599  
CONTACT: PAUL FREELAND, P.L.A.

OWNER:  
BALLARD US INC.  
2495 NE 4TH STREET  
BEND, OR 97701  
PH. (XXX) XXX-XXXX  
CONTACT: LEE SWEETLAND

DEVELOPER:  
ROCKWALL ECONOMIC  
DEVELOPMENT COUNCIL  
2610 OBSERVATION TRAIL, SUITE 104  
ROCKWALL, TX. 75032  
PH. (972) 772-0025  
CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
 SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-9820  
 WWW.KIMLEY-HORN.COM TX F-928 INC.  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

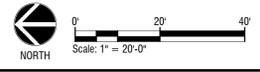
PREPARED FOR REVIEW ONLY  
 Not for construction or permit purposes  
**Kimley-Horn**  
 P.L.A. Paul D. Freeland  
 L.A. No. 2458 Date: 07/02/2024

KHA PROJECT	086671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NLF
CHECKED BY	PDF

**PROJECT SATURN**  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER  
**L2.06**

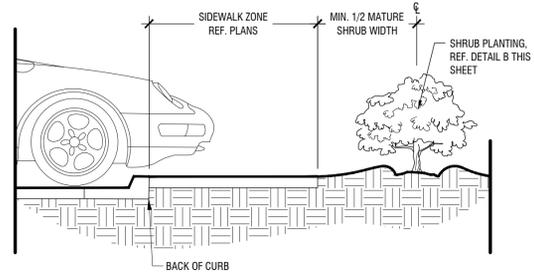


Landscape Plan  
Scale: 1" = 20'-0"

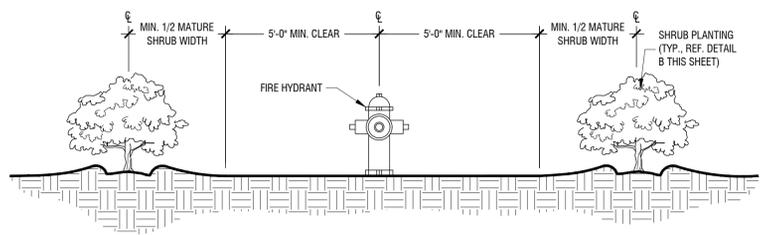
A

Plotted By: Harman, Anne Date: July 03, 2024 12:49:59pm File Path: K:\MKN\_LA\Projects\086671058 - project saturn\CAD\Sheets\DWG\2.07 PLANTING DETAILS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

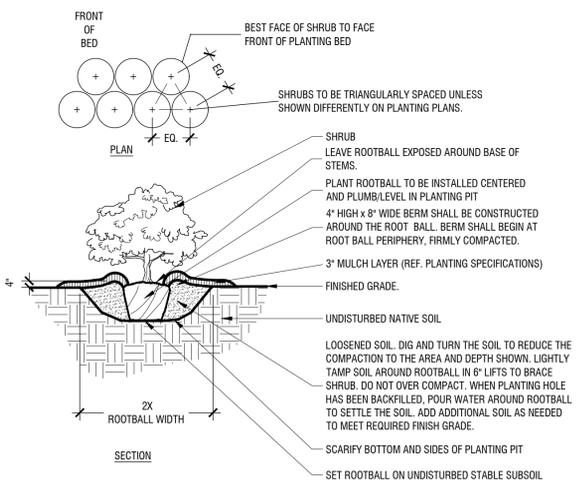
**NOTES:**  
 1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.  
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.  
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUND COVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



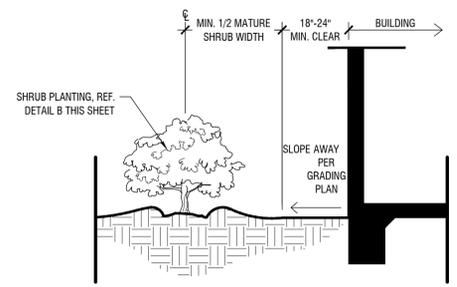
**Shrub Planting at Sidewalk**  
 Scale: NTS



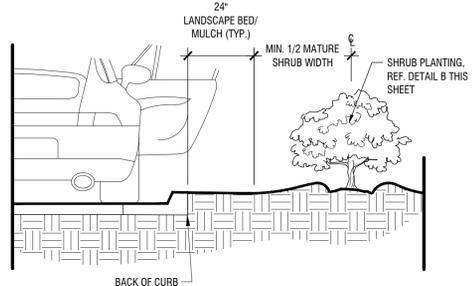
**Shrub Planting at Fire Hydrant**  
 Scale: NTS



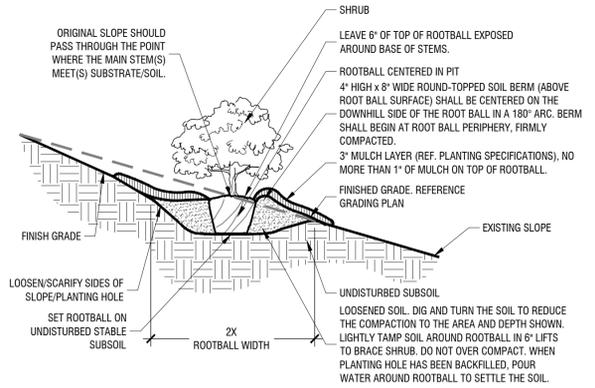
**Typical Shrub Planting**  
 Scale: NTS



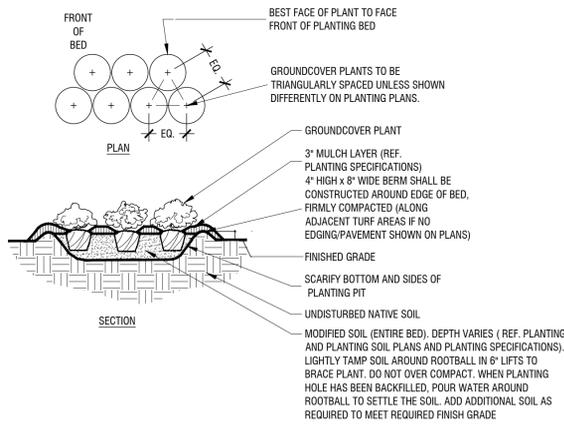
**Shrub Planting at Building Edge**  
 Scale: NTS



**Shrub Planting at Curb**  
 Scale: NTS



**Shrub Planting On 5-50% (20:1 TO 2:1) Slope**  
 Scale: NTS



**Typical Groundcover Planting**  
 Scale: NTS

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.  
 \_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**ROCKWALL TECHNOLOGY PARK PHASE V**  
**PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT NO. SP2024-031  
 SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:  
 KIMLEY-HORN & ASSOCIATES, INC.  
 13455 NOEL ROAD  
 TWO GALLERIA OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PH (469) 301-2599  
 CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:  
 ROCKWALL ECONOMIC DEVELOPMENT COUNCIL  
 2610 OBSERVATION TRAIL, SUITE 104  
 ROCKWALL, TX 75032  
 PH. (972) 772-0025  
 CONTACT: PHIL WAGNER

OWNER:  
 BALLARD US INC.  
 2495 NE 4TH STREET  
 BEND, OR 97701  
 PH. (XXX) XXX-XXXX  
 CONTACT: LEE SWEETLAND

No.	REVISIONS	DATE	BY

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
 SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928 INC.  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY  
 Not for construction or permit purposes

**Kimley-Horn**

P.L.A. Paul D. Freeland  
 L.A. No. 2458 Date: 07/02/2024

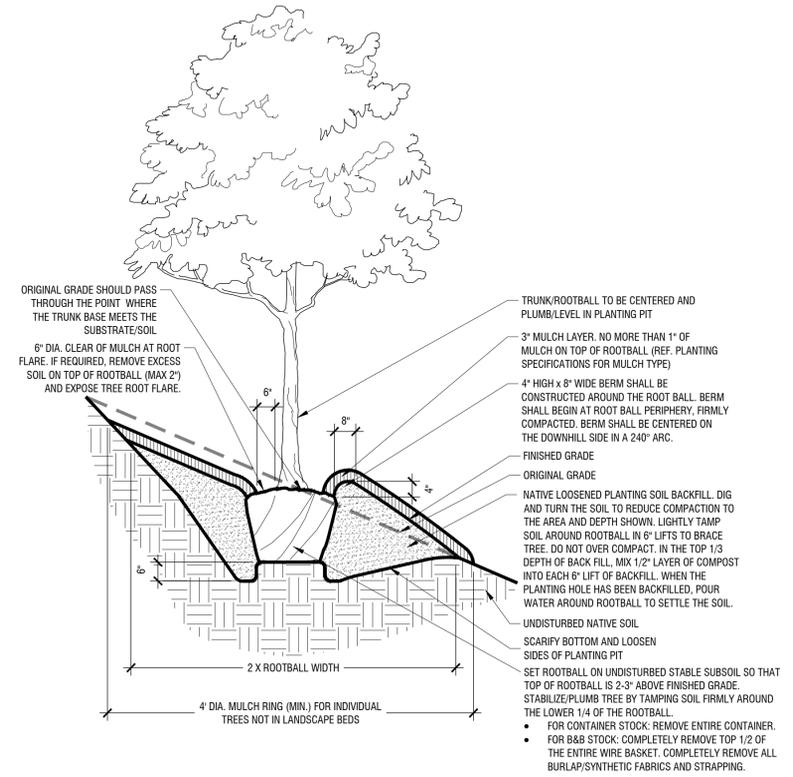
KHA PROJECT	086671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NLF
CHECKED BY	PDF

**PROJECT SATURN**  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

**PLANTING DETAILS**

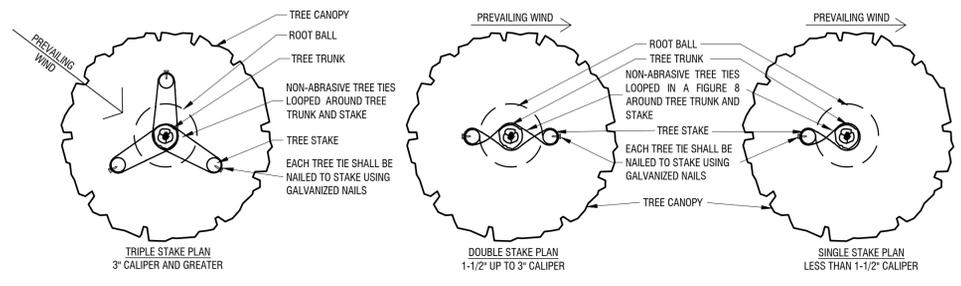
SHEET NUMBER  
 L2.07

Plotted By: Harman, Arnie Date: July 03, 2024 12:50:04pm File Path: \\K:\MKN\_LA\LA\Projects\086671058 - project saturn\CAD\Sheets\DWG\2.07 PLANTING DETAILS.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

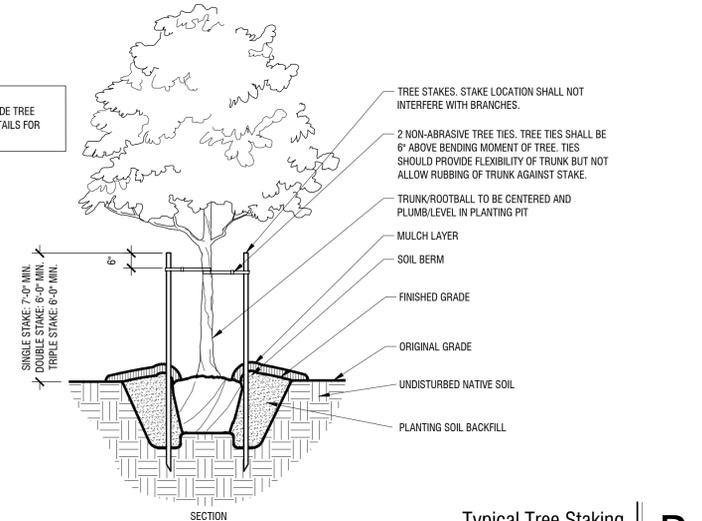


Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)  
Scale: NTS

D

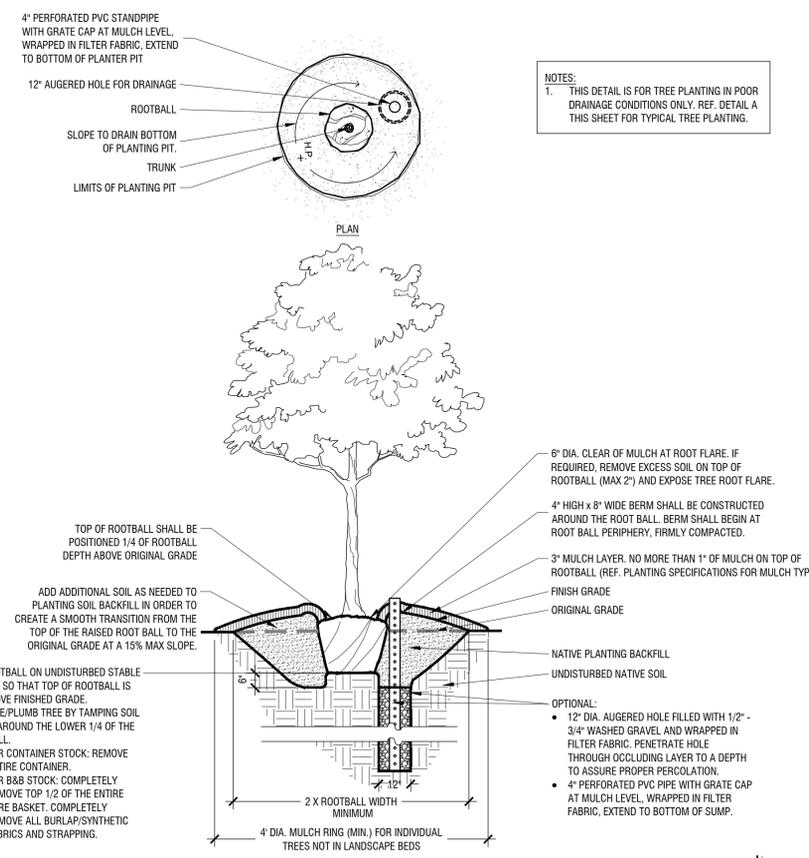


NOTES:  
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



Typical Tree Staking  
Scale: NTS

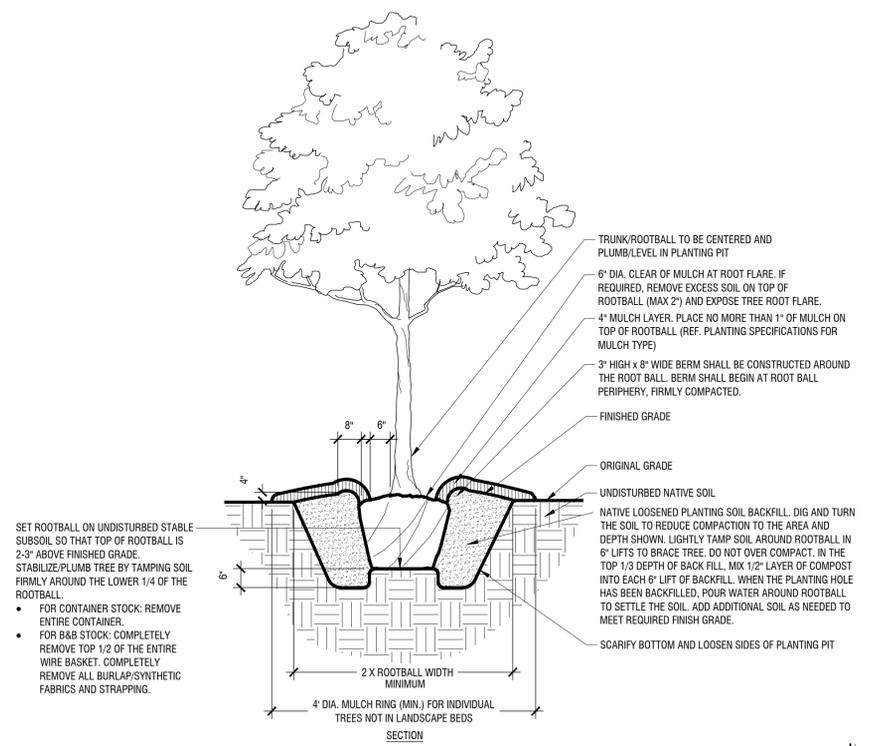
B



NOTES:  
1. THIS DETAIL IS FOR TREE PLANTING IN POOR DRAINAGE CONDITIONS ONLY. REF. DETAIL A THIS SHEET FOR TYPICAL TREE PLANTING.

Tree Planting (Poor Drainage Condition)  
Scale: NTS

C



Typical Tree Planting (Up to 3\"/>

A

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.  
WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.  
PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN  
ROCKWALL TECHNOLOGY  
PARK PHASE V  
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT NO. SP2024-031  
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:  
KIMLEY-HORN & ASSOCIATES, INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PH (469) 301-2599  
CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:  
ROCKWALL ECONOMIC  
DEVELOPMENT COUNCIL  
2610 OBSERVATION TRAIL, SUITE 104  
ROCKWALL, TX 75032  
PH. (972) 772-0025  
CONTACT: PHIL WAGNER

OWNER:  
BALLARD US INC.  
2495 NE 4TH STREET  
BEND, OR 97701  
PH. (XXX) XXX-XXXX  
CONTACT: LEE SWEETLAND

PROJECT SATURN  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

PLANTING DETAILS

SHEET NUMBER  
L2.08

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928 INC.  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY  
Not for construction or permit purposes

**Kimley-Horn**

P.L.A. Paul D. Freeland  
L.A. No. 2458 Date: 07/02/2024

KHA PROJECT 086671058	DATE JULY 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
--------------------------	-------------------	-------------------	--------------------	-----------------	-------------------

Plotted By: Harman, Anne Date: July 03, 2024 12:50:04pm File Path: K:\MKN\LA\F\Projects\086721058 - project saturn\CAD\Sheets\DWG\12.07 PLANTING DETAILS.dwg  
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

## GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

### A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER NECESSARIES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

### B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

### C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING ON OTHER AREAS CAUSED BY CARELESSNESS OR EQUIPMENT STOCKPIPING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPRINGING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH OVER FOUR (4) ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGGREGATED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

### D. MATERIALS

#### 1. GENERAL

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL, SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLES  
MULCH ONE (1) CUBIC FOOT  
TOPSOIL ONE (1) CUBIC YARD  
PLANTS ONE (1) OF EACH VARIETY

#### 2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1946 EDITION, ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRASSES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD PRACTICES FOR THE AMERICAN ASSOCIATION OF NURSERMEN." ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS. INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS. LATENT DEFECTS OR INADEQUATELY SELECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

#### E. TOPSOIL

1. ASTM D2008, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOLUBLE, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1/4 INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.

2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL, AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITH INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. IN ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED.

4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.

5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BODIES OF WATER, OR MARSHES.

6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE.

7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.

#### 8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW:

- a. ORGANIC SOIL AMENDMENTS
  1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS. FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.
  2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
  3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
  4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.
  5. BIOSOLIDUS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
  6. WORM CASTINGS: EARTH WORMS.
- b. INORGANIC SOIL AMENDMENTS
  1. LIME: ASTM C602, CLASS 0 AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 50 PERCENT PASSING NO. 40 SIEVE.
  2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
  3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
  4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
  5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.
- c. PLANTING SOIL MIX
  1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MIXED MATERIALS OR APPROVED EQUIVALENT.
  2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

1. LIME: ASTM C602, CLASS 0 AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 50 PERCENT PASSING NO. 40 SIEVE.
2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

- a. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MIXED MATERIALS OR APPROVED EQUIVALENT.
2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

2. SOD/SEED AREA TOPSOIL  
ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL. PRIOR TO INSTALLATION, TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 85% OF THE TOPSOIL WILL PASS THROUGH A 10" INCH SCREEN, AND 95% MORE SHALL PASS THROUGH A 3/4" INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL. MIN. CONTAINER.

#### I. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN AND SHALL NOT BE CONTAMINATED BY DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

#### J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA. IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES - MLORGANTIC, OR APPROVED EQUIV.
2. ANNUALS AND BIENNIALS - OSMACTOTES/ERBA BLEND 14-14-14
3. SOD - 18-8-8 FERTILIZER

IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

#### K. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

### L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT (WYLTPIRU® OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

### M. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

### N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOTBALL SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

### O. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

### P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

### Q. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERNING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

### R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTOCK AND LIMESTOCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR IMPORTED SOLELY FROM THE SITE. LIMESTOCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK (S1). UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE SECTION H. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR PLANTS THAT DO NOT PERFORM DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLOUSED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STOCK" OR EQUAL, IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT
- THREE (3) TABLETS PER 3 GAL. PLANT
- FOUR (4) TABLETS PER 10 GAL. PLANT
- LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT GROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, AND MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC. SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6"; REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANT LIST TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PROPERTY OR PERSON.

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT.

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE BY THE OWNER. IF DIRECTED BY THE OWNER, "ROUNDS-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

### S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL, PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

#### 4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE JOISTS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

#### 5. SEEDING

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.

B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. MIXTURE VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF.

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

D. SEEDING SHALL BE DISPENSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL, TO SEED AREAS, SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BIONEER FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSION POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO OPERATE SEEDER IN ONE OPERATING AREA ACCESSIBLE TO CULTI-PACKER. LIGHTLY RAKE SEEDER GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDING AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE PER WEEK TO A MINIMUM DEPTH OF 1/2 INCHES WITH FINE SPRAY AND ONE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REEPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS INTENDED.

#### 6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS FOR TWO (2) ADDITIONAL WEEKS). ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO MOISTEN THE ENTIRE SOIL PROFILE TO A DEPTH OF 6 INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/COUNTY PROTOCOL, IF ANY ARE IN PLACE.

#### T. CLEAN-UP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

#### U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

#### V. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

#### W. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

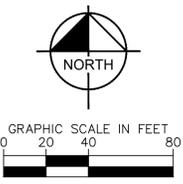
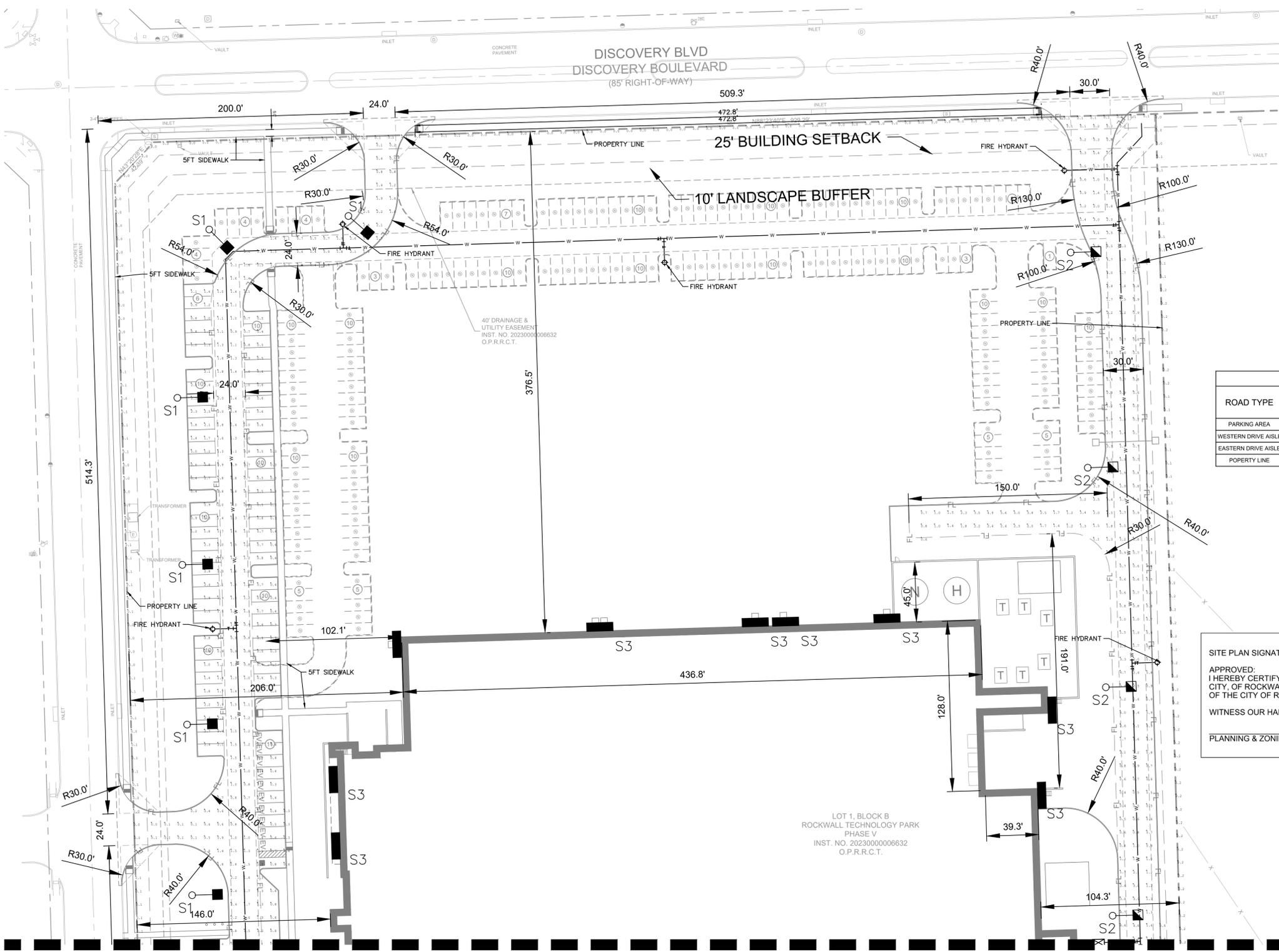
3. REPLACEMENT ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FINISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING"; AT NO ADDITIONAL COST TO THE OWNER.

4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE-YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED





Plotted By: Neilenbach, David Date: July 02, 2024 02:00:18pm File Path: K:\DAL\Civil\068671058-Project Saturn\Cad\PlanSheets\E-Phot.dwg  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PHOTOMETRIC CRITERIA	
PROPERTY LINE	ILLUMINANCE MAXIMUM (FC)
	0.2

PHOTOMETRIC ANALYSIS				
ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.04	0.30	2.90	3.47
WESTERN DRIVE AISLE	1.14	0.40	2.80	2.85
EASTERN DRIVE AISLE	1.47	0.40	5.60	3.68
PROPERTY LINE	0.07	0.00	0.20	N/A

SITE SUMMARY TABLE	
ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	462,384 SF
PROPOSED BUILDING FOOTPRINT	524,272 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

MATCHLINE: SEE SHEET E-102

LUMINAIRE SCHEDULE														
SYMBOL	LABEL	QTY	DESCRIPTION	ARRANGEMENT	LLF	MAKE AND MODEL	WATTS	LUMENS	MOUNT HEIGHT	LAMP	DISTRIBUTION TYPE	VOLTAGE	BUG RATING	LIGHT POLE MODEL
	S1	12	POLE MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX1-LED-P3-40K-T3LG-MVOLT-SPA-PIRH-DOBXD	102	14,687	30'	LED	TYPE 3	120-277	2-0-2	AMERICAN LITE POLE SNS-16-40-11-AB-DB-D28-BC
	S2	8	POLE MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX1-LED-P3-40K-T1S-MVOLT-SPA-PIRH-DOBXD	102	12,294	30'	LED	TYPE 1	120-277	2-0-2	AMERICAN LITE POLE SNS-16-40-11-AB-DB-D28-BC
	S3	12	WALL MOUNTED DOOR LIGHT	SINGLE	0.90	LITHONIA DSXW1-10C-350-40K-T4M MVOLT	13	1,357	8'	LED	TYPE 4	120-277	0-0-1	N/A



NTMWD UTILITIES LOCATED BY NTMWD NOT 811

**CAUTION!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

NO.	REVISIONS	DATE	BY

**Kimley >>> Horn**

13458 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928 INC.  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

**PRELIMINARY**

FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES

**Kimley >>> Horn**

Engineer: DEAN J. BOWEN  
P.E. No. 126074  
Date: 06/25/2024  
06/14/2024

KHA PROJECT	068671058	DATE	06/25/2024	SCALE	AS SHOWN	DESIGNED BY	TAD	DRAWN BY	AMA	CHECKED BY	NWH
-------------	-----------	------	------------	-------	----------	-------------	-----	----------	-----	------------	-----

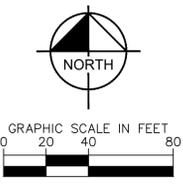
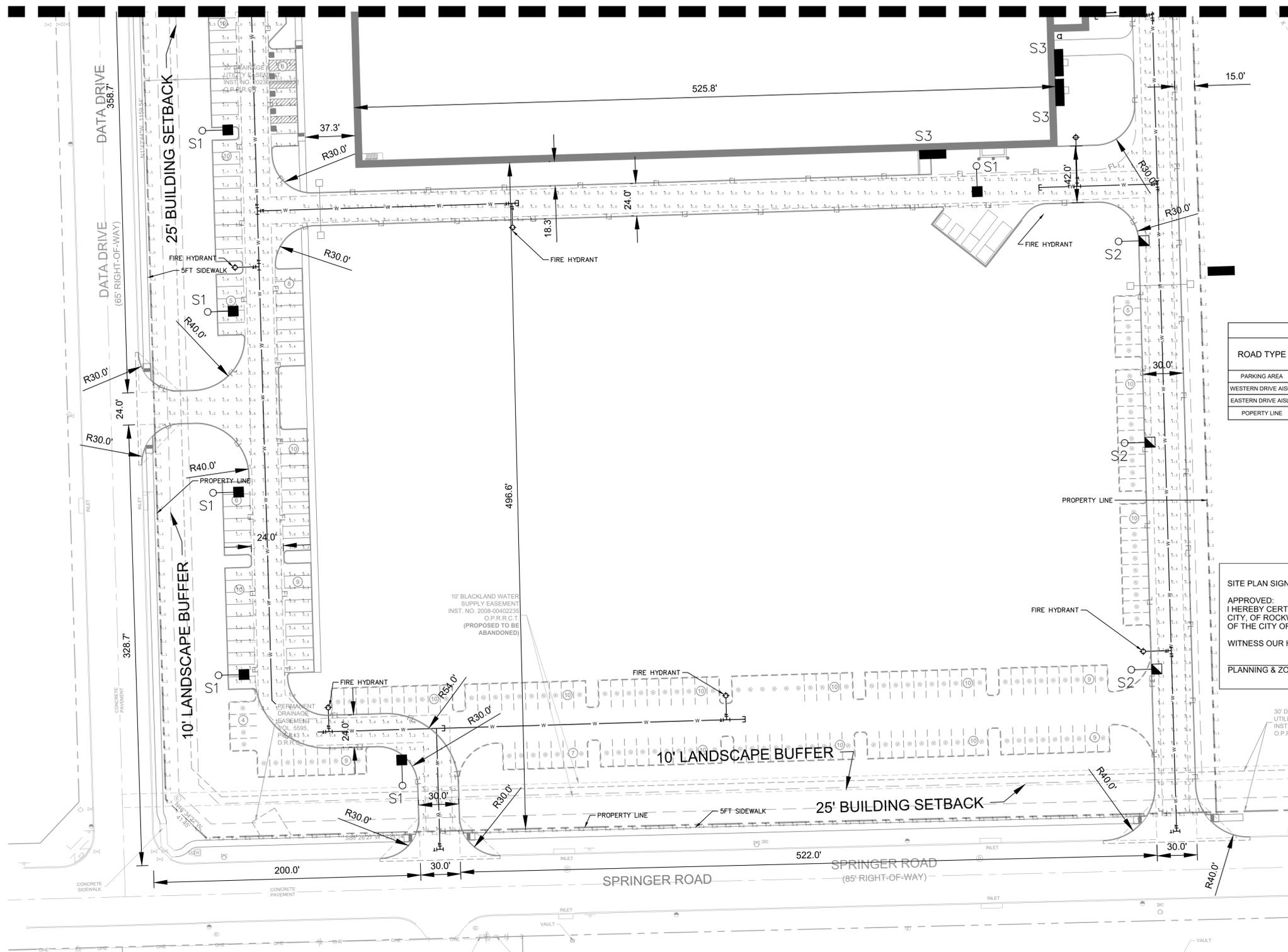
**PROJECT SATURN**  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**PHOTOMETRIC PLAN**

SHEET NUMBER  
**E-101**

Plotted By: Neilenbach, David Date: July 02, 2024 02:00:28pm File Path: \\D:\Civil\068671058-Project Saturn\Coast\PlanSheets\E-Phot.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

MATCHLINE: SEE SHEET E-101



PHOTOMETRIC CRITERIA	
PROPERTY LINE	ILLUMINANCE MAXIMUM (FC)
	0.2

PHOTOMETRIC ANALYSIS				
ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.18	0.30	4.40	3.93
WESTERN DRIVE AISLE	1.50	0.30	4.50	5.00
EASTERN DRIVE AISLE	0.99	0.20	4.30	4.95
PROPERTY LINE	0.06	0.00	0.20	N/A

SITE SUMMARY TABLE	
ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	462,384 SF
PROPOSED BUILDING FOOTPRINT	524,272 SF
TOTAL LAND AREA	958,322 SF/22,000 AC.
BUILDING COVERAGE	25%

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

No.	REVISIONS	DATE	BY

**Kimley & Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
 SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-9820  
 WWW.KIMLEY-HORN.COM TX F-528 INC.  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

**PRELIMINARY**

FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES

**Kimley & Horn**

Engineer: **DESMOND J. BESSINELL**  
 P.E. No. 126074  
 Date: 06/25/2024  
 06/14/2024

KHA PROJECT	068671058
DATE	06/25/2024
SCALE	AS SHOWN
DESIGNED BY	TAD
DRAWN BY	AMA
CHECKED BY	NWH

**PROJECT SATURN**  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

**PHOTOMETRIC PLAN**

SHEET NUMBER  
**E-102**



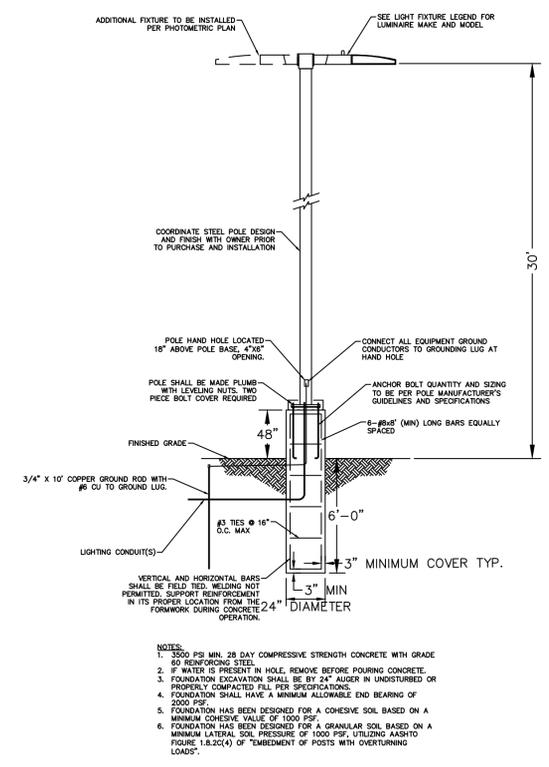
NTMWD UTILITIES LOCATED BY NTMWD NOT 811

**CAUTION!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

Plotted By: Neilenbach, David Date: July 02, 2024 02:00:40pm File Path: \\DAL-Civil-Civil\068671058-Project Saturn\_Cad\PlanSheets\E-PHOT.dwg  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**1 POLE FOUNDATION DETAIL**  
E-103 N.T.S.



- NOTES:**
- 3000 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
  - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
  - FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
  - FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
  - FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COMBINED VALUE OF 1000 PSF.
  - FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.22(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".

**2 PHOTOMETRIC CUTSHEETS**  
E-103 N.T.S.

### D-Series Size 1 LED Area Luminaire

**Specifications**

EPA:	0.49 ft <sup>2</sup> (0.06 m <sup>2</sup> )
Length:	32.71" (831 mm)
Width:	14.26" (362 mm)
Height H1:	7.88" (200 mm)
Height H2:	2.73" (69 mm)
Weight:	34 lbs (15.4 kg)

**Ordering Information**

EXAMPLE: DSK1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color Temp./CRI	Color Rendering Index	Distribution	Voltage	Mounting
DSK1 LED	P1	30K 3000K	70CRI	AIR Automotive head row	MVOLT (120V-277V) <sup>1</sup>	Shipped included
	P2	40K 4000K	70CRI	T15 Type I short	MVOLT (120V-480V) <sup>1,4</sup>	SPA Square pole mounting (#6 drilling)
	P3	50K 5000K	70CRI	T2M Type II medium	MVOLT (120V-480V) <sup>1</sup>	RPA Round pole mounting (#6 drilling)
	P4	50K 5000K	70CRI	T3M Type III medium	120 v.n.s.	SPAS Square pole mounting (#5 drilling)
	P5	(this section BOCR only, extended lead times apply)		T3LG Type III low glare <sup>3</sup>	208 v.n.s.	BRAS Round pole mounting (#5 drilling)
	P6	30K 3000K	80CRI	T4M Type IV medium	277 v.n.s.	SPAR Square narrow pole mounting (#6 drilling)
	P7	40K 4000K	80CRI	T4G Type IV low glare <sup>3</sup>	347 v.n.s.	WBA Wall bracket <sup>5</sup>
	P8	40K 4000K	80CRI	T4G Type IV low glare <sup>3</sup>	347 v.n.s.	MA Mast arm adapter (mounts on 2.38" OD horizontal beam)
	P9	50K 5000K	80CRI	T4G Type IV low glare <sup>3</sup>	480 v.n.s.	

### D-Series Size 1 LED Wall Luminaire

**Specifications**

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)	Back Box (BBW, E20WC) Width:	13-3/4" (34.9 cm)
Height:	6-3/8" (16.2 cm)	Back Box (BBW, E20WC) Depth:	4" (10.2 cm)
		Back Box (BBW, E20WC) Height:	6-3/8" (16.2 cm)

**Ordering Information**

EXAMPLE: DSKW1 LED 20C 1000 40K T3M MVOLT DDBXD

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Control Options
DSKW1 LED	10C	350 350 mA	30K 3000K	T2S Type II short	MVOLT <sup>1</sup>	Shipped included	
	20C	500 500 mA	40K 4000K	T2M Type II medium	120 <sup>1</sup>	PE (blank) Surface mounting bracket	Shipped installed
		700 700 mA	50K 5000K	T2S Type II short	208 <sup>1</sup>	BBW Surface-mounted back box (for condal entry) <sup>1</sup>	DMG 0-10 dimming wires pulled outside fixture (for use with an external control, ordered separately)
		1000 1000 mA (1 A) <sup>1</sup>	AMBPC Amber phosphor converted	T3M Type III medium	240 <sup>1</sup>	PIR 180° motion/ambient light sensor, <15 mg/ft <sup>2</sup>	PIR 180° motion/ambient light sensor, 15-30 mg/ft <sup>2</sup>
				T4M Type IV medium	277 <sup>1,4</sup>	PIRHCY Motion/ambient sensor, 0-12" mounting height, ambient sensor enabled at 16" <sup>1,2</sup>	PIRHCY Motion/ambient sensor, 15-30" mounting height, ambient sensor enabled at 16" <sup>1,2</sup>
				TFM Forward Throw Medium	480 <sup>1,4</sup>	E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant <sup>1,4</sup>	

SITE PLAN SIGNATURE BLOCK

APPROVED: \_\_\_\_\_  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

NTMWD UTILITIES LOCATED BY NTMWD NOT 811

**CAUTION!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

**Kimley-Horn**

13456 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928 INC.  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

**PRELIMINARY**

DESIGNED BY: TAD  
DRAWN BY: AKA  
CHECKED BY: NMH

**PROJECT SATURN**  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**PHOTOMETRIC DETAILS**

SHEET NUMBER  
**E-103**

NO. \_\_\_\_\_ DATE \_\_\_\_\_



d<sup>series</sup>

# D-Series Size 1 LED Wall Luminaire



Catalog  
Number

Notes

Type

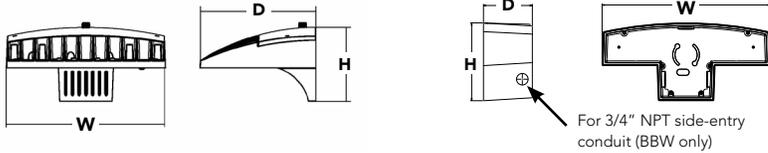
Hit the Tab key or mouse over the page to see all interactive elements.

## Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

## Back Box (BBW, E20WC)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>E20WC Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		



## Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

**EXAMPLE:** DSXW1 LED 20C 1000 40K T3M MVOLT DBBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) <sup>1</sup>	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	<b>Shipped included</b> (blank) Surface mounting bracket <b>BBW</b> Surface-mounted back box (for conduit entry) <sup>5</sup>	<b>Shipped installed</b> <b>PE</b> Photoelectric cell, button type <sup>6</sup> <b>DMG</b> 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <b>PIR</b> 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> <b>PIRH</b> 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> <b>PIR1FC3V</b> Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> <b>PIRH1FC3V</b> Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> <b>E20WC</b> Emergency battery backup (includes external component enclosure), CA Title 20 compliant <sup>8,9</sup>

Other Options	Finish (required)
<b>Shipped installed</b>	<b>Shipped separately</b> <sup>11</sup>
SF Single fuse (120, 277 or 347V) <sup>3,10</sup>	BSW Bird-deterrent spikes
DF Double fuse (208, 240 or 480V) <sup>3,10</sup>	VG Vandal guard
HS House-side shield <sup>11</sup>	DDL Diffused drop lens
SPD Separate surge protection <sup>12</sup>	
	DDBXD Dark bronze
	DBLXD Black
	DNAXD Natural aluminum
	DWHXD White
	DSSXD Sandstone
	DSSTXD Textured sandstone
	DBBTXD Textured dark bronze
	DBLBXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white

## Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1VG U	Vandal guard accessory

## NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.

- Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with E20WC.
- Also available as a separate accessory; see Accessories information.
- Not available with E20WC.



# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
			TFTM	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69
	530 mA	19W	T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
			T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
			TFTM	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66
	700 mA	26W	T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
			T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
			TFTM	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
			T3M	3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56
			T4M	3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55
			TFTM	3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57
20C (20 LEDs)	350mA	23W	T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
			T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
			TFTM	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77
	530 mA	35W	T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
			T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
			TFTM	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71
	700 mA	46W	T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
			T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
			TFTM	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66
	1000 mA	73W	T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
			T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
			T3M	7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59
			T4M	6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58
			TFTM	7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.98

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

### Motion Sensor Default Settings

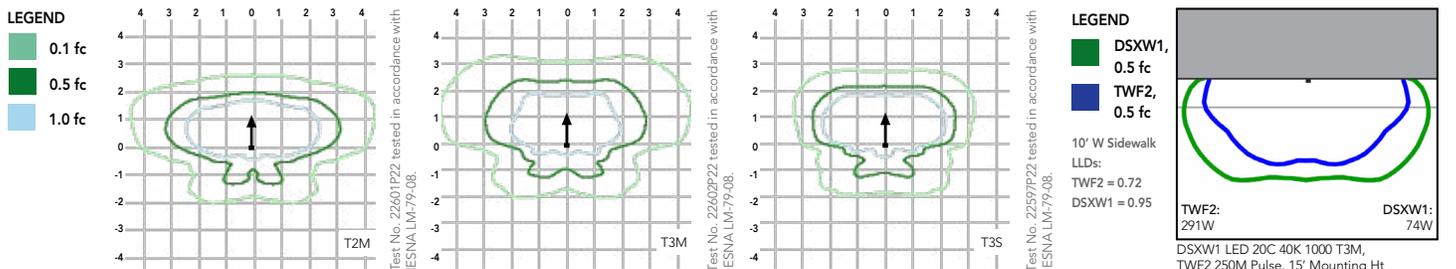
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

\*For use when motion sensor is used as dusk to dawn control

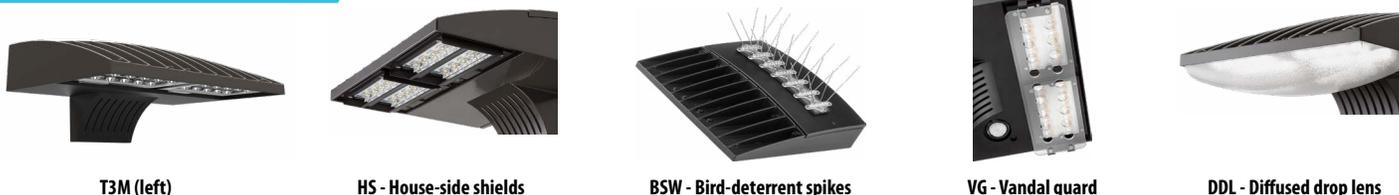
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isofootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



## Options and Accessories



## FEATURES & SPECIFICATIONS

### INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

### CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

### ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

### INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

### LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

### GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.  
BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.  
Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





# D-Series Size 2 LED Wall Luminaire



d<sup>+</sup>series

## Specifications Luminaire

**Width:** 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

**Depth:** 10" (25.4 cm)

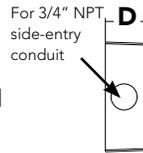
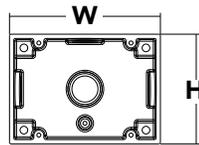
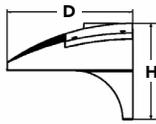
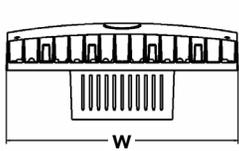
**Height:** 7-5/8" (19.4 cm)

## Back Box (BBW)

**Width:** 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

**Depth:** 1-1/2" (3.8 cm)

**Height:** 4" (10.2 cm)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability<sup>1</sup>
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup>

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

A+ Capable options indicated by this color background.

## Ordering Information

**EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD**

DSXW2 LED										
Series	LEDs	Drive Current		Color temperature		Distribution	Voltage	Mounting	Control Options	
DSXW2 LED	20C	20 LEDs (two engines)	350	350 mA	30K	3000 K	T2S	MVOLT <sup>3</sup>	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type <sup>7</sup>
	30C	30 LEDs (three engines)	530	530 mA	40K	4000 K	T2M			
			700	700 mA	50K	5000 K	T3S	208 <sup>4</sup>	Shipped separately <sup>6</sup> BBW Surface-mounted back box (for conduit entry)	PER NEMA twist-lock receptacle only (control ordered separately) <sup>8</sup>
		1000	1000 mA <sup>1</sup> (1 A)	AMBPC	Amber phosphor converted <sup>2</sup>	T3M	240 <sup>4</sup>	PER5 Five-wire receptacle only (control ordered separately) <sup>8,9</sup>		
						T4M	277 <sup>4</sup>	PER7 Seven-wire receptacle only (control ordered separately) <sup>8,9</sup>		
						TFTM	347 <sup>4,5</sup>	DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)		
							480 <sup>4,5</sup>	PIR 180° motion/ambient light sensor, <15' mtg ht <sup>10,11</sup>	PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>10,11</sup>	
								PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>11,12</sup>	PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>11,12</sup>	

Other Options	Finish (required)
<b>Shipped installed</b> SF Single fuse (120, 277, 347V) <sup>3</sup> DF Double fuse (208, 240, 480V) <sup>3</sup> HS House-side shield <sup>4</sup> SPD Separate surge protection <sup>13</sup>	<b>Shipped separately<sup>13</sup></b> BSW Bird-deterrent spikes VG Vandal guard DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
 © 2012-2024 Acuity Brands Lighting, Inc. All rights reserved.

DSXW2-LED  
 Rev. 03/26/24  
 Page 1 of 4

# Ordering Information

## Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>14</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>14</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>14</sup>
DSHORT SBK U	Shorting cap (Included when ordering PER, PERS or PER7) <sup>14</sup>
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2VG U	Vandal guard accessory
DSXW2BBW	Back box accessory
DBXD U	(specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

## NOTES

- 1000mA is not available with AMBPC.
- AMBPC is not available with 1000mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Reference Motion Sensor table on page 3.
- Reference PER Table on page 3 for functionality.
- PIR and PIR1FC3V specify the [SensorSwitch SBGR-10-ODP](#) control; PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.

# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
(20 LEDs)	350 mA	25W	T2S	2,783	1	0	1	111	2,989	1	0	1	120	3,008	1	0	1	120
			T2M	2,709	1	0	1	108	2,908	1	0	1	116	2,926	1	0	1	117
			T3S	2,748	1	0	1	110	2,951	1	0	1	118	2,969	1	0	1	119
			T3M	2,793	1	0	1	112	2,999	1	0	1	120	3,018	1	0	1	121
			T4M	2,756	1	0	1	110	2,959	1	0	1	118	2,977	1	0	1	119
			TFTM	2,753	1	0	1	110	2,956	1	0	1	118	2,975	1	0	1	119
	530 mA	36W	T2S	4,030	1	0	1	112	4,327	1	0	1	120	4,354	1	0	1	121
			T2M	3,920	1	0	1	109	4,210	1	0	1	117	4,236	1	0	1	118
			T3S	3,978	1	0	1	111	4,272	1	0	1	119	4,299	1	0	1	119
			T3M	4,044	1	0	2	112	4,343	1	0	2	121	4,370	1	0	2	121
			T4M	3,990	1	0	1	111	4,284	1	0	1	119	4,310	1	0	1	120
			TFTM	3,987	1	0	1	111	4,281	1	0	1	119	4,308	1	0	1	120
	700 mA	47W	T2S	5,130	1	0	1	109	5,509	1	0	1	117	5,544	1	0	1	118
			T2M	4,991	1	0	2	106	5,360	1	0	2	114	5,393	1	0	2	115
			T3S	5,066	1	0	1	108	5,440	1	0	1	116	5,474	1	0	1	116
			T3M	5,148	1	0	2	110	5,529	1	0	2	118	5,563	1	0	2	118
			T4M	5,080	1	0	2	108	5,455	1	0	2	116	5,488	1	0	2	117
			TFTM	5,075	1	0	2	108	5,450	1	0	2	116	5,484	1	0	2	117
	1000 mA	73W	T2S	7,147	2	0	2	98	7,675	2	0	2	105	7,723	1	0	1	104
			T2M	6,954	2	0	2	95	7,467	2	0	2	102	7,514	2	0	2	103
			T3S	7,057	1	0	2	97	7,579	1	0	2	104	7,627	1	0	2	104
			T3M	7,172	2	0	3	98	7,702	2	0	3	106	7,751	2	0	3	106
			T4M	7,076	1	0	2	97	7,599	1	0	2	104	7,646	1	0	2	105
			TFTM	7,071	1	0	2	97	7,594	1	0	2	104	7,641	1	0	2	105
(30 LEDs)	350 mA	36W	T2S	4,160	1	0	1	116	4,467	1	0	1	124	4,494	1	0	1	125
			T2M	4,048	1	0	1	112	4,346	1	0	2	121	4,373	1	0	2	121
			T3S	4,108	1	0	1	114	4,411	1	0	1	123	4,438	1	0	1	123
			T3M	4,174	1	0	2	116	4,483	1	0	2	125	4,510	1	0	2	125
			T4M	4,119	1	0	1	114	4,423	1	0	2	123	4,450	1	0	2	124
			TFTM	4,115	1	0	1	114	4,419	1	0	1	123	4,446	1	0	1	124
	530 mA	54W	T2S	6,001	1	0	1	111	6,444	1	0	1	119	6,484	1	0	1	120
			T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
			T3S	5,926	1	0	2	110	6,364	1	0	2	118	6,403	1	0	2	119
			T3M	6,023	1	0	2	112	6,467	1	0	2	120	6,507	1	0	2	121
			T4M	5,942	1	0	2	110	6,380	1	0	2	118	6,420	1	0	2	119
			TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119
	700 mA	71W	T2S	7,403	2	0	2	104	8,170	2	0	2	115	8,221	2	0	2	116
			T2M	7,609	2	0	2	107	7,949	2	0	2	112	7,998	2	0	2	113
			T3S	7,513	1	0	2	106	8,068	1	0	2	114	8,118	1	0	2	114
			T3M	7,635	2	0	3	108	8,199	2	0	3	115	8,250	2	0	3	116
			T4M	7,534	1	0	2	106	8,089	1	0	2	114	8,140	1	0	2	115
			TFTM	7,527	1	0	2	106	8,082	2	0	2	114	8,134	2	0	2	115
	1000 mA	109W	T2S	10,468	2	0	2	96	11,241	2	0	2	103	11,311	2	0	2	104
			T2M	10,184	2	0	3	93	10,936	2	0	3	100	11,005	2	0	3	101
			T3S	10,335	2	0	2	95	11,099	2	0	2	102	11,169	2	0	2	102
			T3M	10,505	2	0	3	96	11,280	2	0	3	103	11,351	2	0	3	104
			T4M	10,365	2	0	2	95	11,129	2	0	2	102	11,198	2	0	2	103
			TFTM	10,356	2	0	2	95	11,121	2	0	3	102	11,190	2	0	3	103

**Note:** Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.98

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	74 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

### Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

\*For use when motion sensor is used as dusk to dawn control

### PER Table

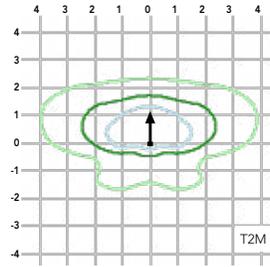
Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

- ✓ Recommended
- ⊘ Will not work
- ⚠ Alternate

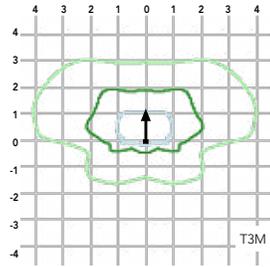
\*Futureproof means: Ability to change controls in the future.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').

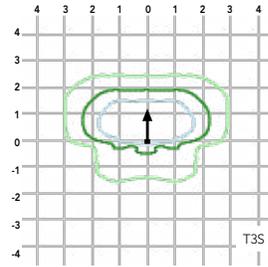
- LEGEND**
- 0.1 fc
  - 0.5 fc
  - 1.0 fc



Test No. 22700P22 tested in accordance with IESNA LM-79-08.



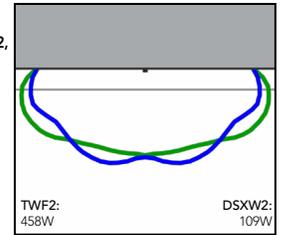
Test No. 22602P22 tested in accordance with IESNA LM-79-08.



Test No. 22597P22 tested in accordance with IESNA LM-79-08.

Distribution overlay comparison to 400W metal halide.

- LEGEND**
- DSXW2, 0.5 fc
  - TWF2, 0.5 fc
- 10' W Sidewalk LLDs:  
TWF2 = 0.72  
DSXW2 = 0.95



## FEATURES & SPECIFICATIONS

### INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

### CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

### ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

### INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

### LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

### GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 9, 2024  
**APPLICANT:** Salvador Salcedo  
**CASE NUMBER:** SP2024-032; *Site Plan for 855 Whitmore Drive*

---

On June 25, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations and made the following recommendations: [1] provide a color rendering of the building, [2] change the awning over the west roll up door to match the awning over the front entry of the building, [3] center the windows and roll up door on their perspective façade, and [4] provide an architectural element or spandrel glass on the left side of the front entrance for the purpose of providing balance with the roll up door on the right side of the building. Since that the site plan was scheduled for action on June 25, 2024, the ARB approved a recommendation to table the case, by a vote of 5-0. Based on the ARB's recommendation and the applicant not being present at the meeting, the Planning and Zoning Commission approved a motion to table the site plan until the July 9, 2024 Planning and Zoning Commission meeting.

On July 3, 2024, the applicant provided staff a rendering and revised building elevations based on the recommendations from the Architectural Review Board (ARB). The revised building elevations address items 1-3 listed above; however, to address item 4 the applicant moved the roll up door on the west side of the building to the front of the building. This does not meet what the ARB was requesting, as they asked for an architectural element or spandrel glass. In addition, this brings the proposed building further out of conformance with the off-street loading dock requirements, as two (2) bay doors now face a public roadway (*i.e. Whitmore Drive*). Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 9, 2024 Planning and Zoning Commission meeting.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** July 9, 2024  
**APPLICANT:** Salvador Salcedo  
**CASE NUMBER:** SP2024-032; *Site Plan for 855 Whitmore Drive*

---

### SUMMARY

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 zoning map the subject property was zoned Light Industrial (LI) District, which remains the zoning designation of the subject property today. In March of 1978, the subject property was platted establishing it as Lot 1, Block A, Municipal Industrial Park Addition. On March 19, 2007, the City Council approved a replat [*Case No. P2007-008*] that establish the subject property as Lot 8, Block A, Municipal Industrial Park Addition. On May 2, 2016, the City Council approved an additional replat [*Case No. P2016-017*] that establish the subject property as Lot 10, Block A, Municipal Industrial Park Addition. On November 14, 2023, the Planning and Zoning Commission denied a site plan request [*Case No. SP2023-032*] for an *Office/Warehouse Building* due to a recommendation of denial from the Architectural Review Board (ARB) and the failure to provide compensatory measures. On March 15, 2024 the applicant submit a site plan request [*Case No. SP2024-006*] for a similar request, which was ultimately withdrawn on May 9, 2024. The subject property has remained vacant since the time of annexation.

### PURPOSE

On June 14, 2024, the applicant -- *Salvador Salcedo*. -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an *Office/Warehouse Building* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 855 Whitmore Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 1.747-acre tract of land (*i.e. Tract 24 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Beyond this is a vacant 1.83-acre tract of land (*i.e. Tract 14 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Following this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. North of this is Phase 3 of the Park Place Subdivision, which consists of 85 residential lots and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 15.7017-acre tract of land (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No. 99*) zoned Light Industrial (LI) District. Following this is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.96-acre parcel of land (i.e. Lot 11, Block A, Municipal Industrial Park Addition) zoned Light Industrial (LI) District. Beyond this is a 3.35-acre parcel of land (i.e. Lot 5, Block A, Municipal Industrial Park Addition) developed with a maintenance building for Rockwall County that is zoned Light Industrial (LI) District. Following this is Whitmore Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.19-acre parcel of land (i.e. Lot 9, Block A, Municipal Industrial Park Addition) developed with a Bail Bond Service that is zoned Light Industrial (LI) District. Beyond this is T. L. Townsend Drive, which is identified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 13.368-acre parcel of land (i.e. Lot 2, Block A, Rockwall County Law Enforcement Center Addition) developed with the Rockwall County Detention Center, which is zoned Commercial (C) District and Light Industrial (LI) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse Building* is a permitted *by-right* land use in a Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=19,737 SF; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 120.95-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=160-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=28.1-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=25.13%; In Conformance
	1 Parking Space/300 SF (Office)	
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/500 SF (Light Manufacturing) Total: 11 Parking Spaces	X=11; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X=44%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=56%; In Conformance

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates a total of 40 caliper inches will be removed from the site during construction. Based on the landscape requirements, the applicant is providing 60 caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

**CONFORMANCE WITH THE CITY’S CODES**

The applicant is requesting to construct an *Office/Warehouse Building* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a "... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ..." In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a "...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use..."

In this case, the applicant's request for an *Office/Warehouse Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ..." and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required landscaping and berm to satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

### (1) Screening.

- (a) Off-Street Loading Docks. According to Subsection 1.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)ff-street loading docks must be screened from all public streets, any residential zoning district or residentially used property, and any parks and open space that abuts or is directly across a public street or alley from the subject property. The screening must be at least six (6) feet in height and shall be provided by using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless integral to the buildings design and otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers." In this case, the proposed building elevations indicate a loading dock facing directly onto Whitmore Drive, and an additional loading dock facing west that will be visible from Whitmore Drive. In addition, the applicant has not proposed any screening methods. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is not proposing any compensatory measures. That being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District "...is composed of a wide range of land uses that vary from single-family to industrial." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing an *Office/Warehouse Building*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that staff should "...encourage high quality and inspiring architecture throughout the City..." The OURHometown Vision 2040 Comprehensive Plan goes on to state that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks - or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is requesting exceptions to building articulation requirements and has failed to incorporate any horizontal articulation or relief to the proposed building. The lack of design appears to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The Architectural Review Board (ARB) reviewed the proposed building elevations on June 25, 2024, and provide a recommendation table the case by a vote of 5-0 to the Planning and Zoning Commission.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *Office/Warehouse Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

855 Whitmore Dr

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Salvador Salcedo

APPLICANT

CONTACT PERSON

Salvador Salcedo

CONTACT PERSON

ADDRESS

210 Cedar Tree Ln

ADDRESS

CITY, STATE & ZIP

Heath, Texas 75032

CITY, STATE & ZIP

PHONE

214-552-2008

PHONE

E-MAIL

salvasalce@novaairac.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF May, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

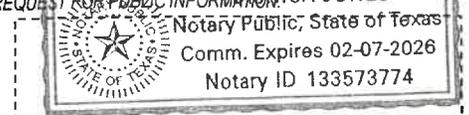
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF May, 2024

OWNER'S SIGNATURE

*Salvador Salcedo*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



MY COMMISSION EXPIRES 02-07-2026

0 25 50 100 150 200 Feet

SP2024-032: Site Plan for 855 Whitmore Drive



Case Location Map = 

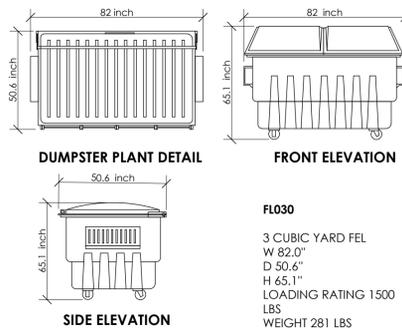


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**NOTE:**  
LOCATION OF THE MOBILE GARBAGE CONTAINER WILL BE INSIDE THE BUILDING. THE GARBAGE CONTAINER WILL BE TAKEN OUTSIDE ONLY ON DAYS WHEN THE GARBAGE TRUCK PASSES BY AND CAN BE ACCESSED.

MOBILE TRASH CONTAINER / DUMPSTER (1,500 LB. CAPACITY)

**MOBILE TRASH CONTAINER / DUMPSTER (1,500 LB. CAPACITY)**

PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
DRIVEWAY	3,259 SQ.FT.
PARKING	2,140 SQ.FT.
WALKING AREA	385 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PARKING REQUIREMENT SCHEDULE	
INDUSTRIAL AND MANUFACTURING LAND USES (LI)	
LAND USE	MINIMUM PARKING REQUIRED
Apparel Manufacturing	1/200 SF
Asphalt or Concrete Batch Plant	As Determined by the Director
Industrial and Manufacturing Other Than Listed	As Determined by the Director
Light Assembly and Fabrication	1/500 SF or 0.75/Employee <sup>1&amp;3</sup>
Heavy Manufacturing	1/500 SF or 0.75/Employee <sup>1&amp;3</sup>
Printing, Engraving, and Related Businesses	1/300 SF or 1/Employee <sup>1</sup>
Welding Repair	1/500 SF or 1/2 Employees <sup>1</sup>

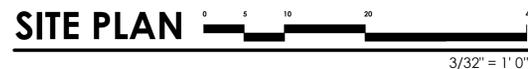
**USE OF STRUCTURE**

CONSTRUCTION TYPE: LI  
 LIGHT INDUSTRIAL  
 NO. STORIES: ONE  
 HEIGHT: 60' 0"  
 SETBACKS  
 FRONT: 25' 0"  
 SIDE: 15' 0"  
 REAR: 20' 0"  
 MAX. LOT COVERAGE: 60%

**1), 2)**

**NOTE:**

- IN THIS PROJECT NO TYPE OF FENCE IS PROPOSED.
- DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT
- AN OFF-STREET LOADING DOCK IS NOT PROPOSED AS THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE.
- THERE WILL BE NO OUTSIDE STORAGE OR ABOVE-GROUND STORAGE TANKS.
- ALL PUBLIC SERVICES ARE UNDERGROUND.



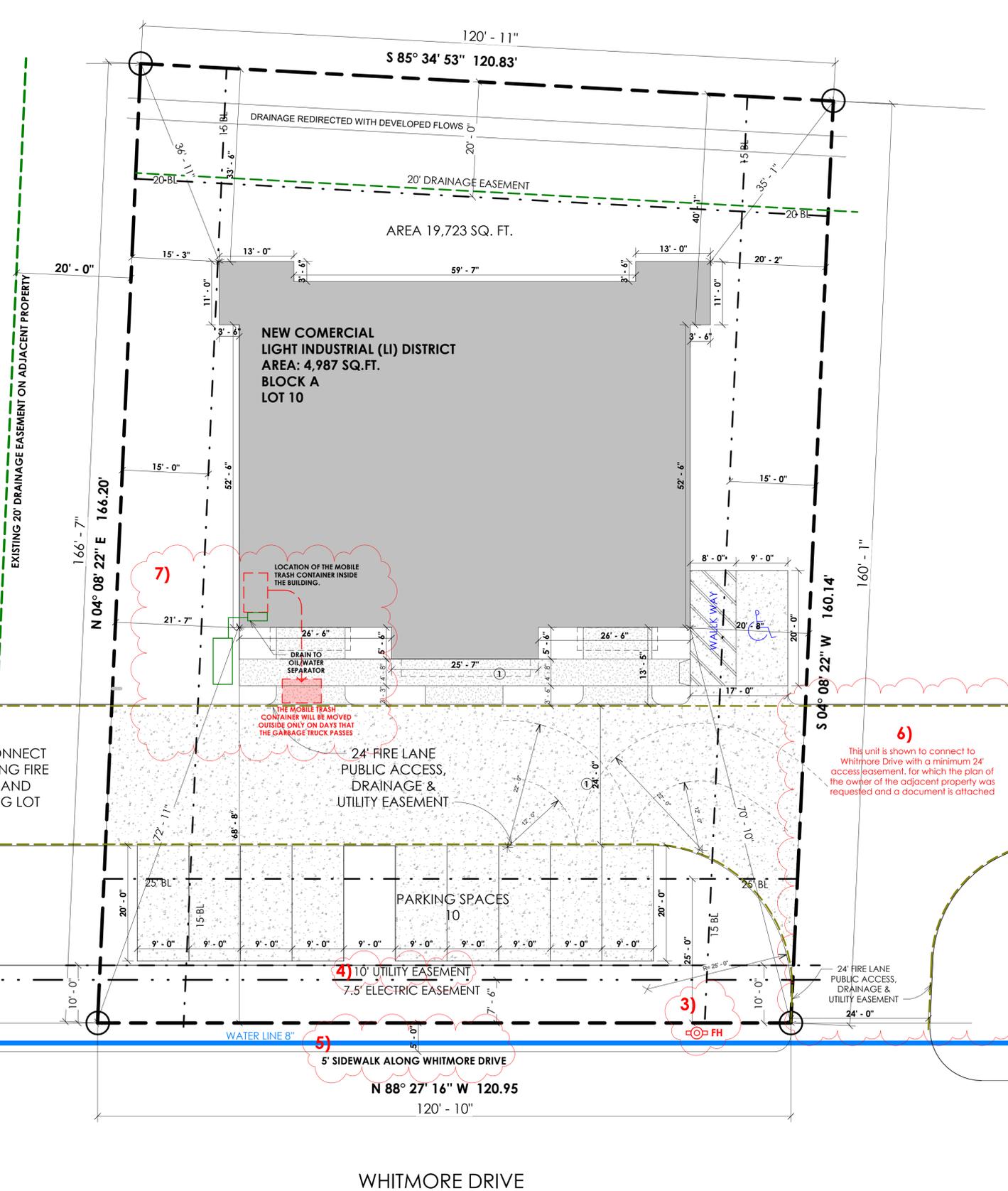
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning



**PROJECT:**  
NEW COMERCIAL

**OWNER:**  
SALVADOR SALCEDO

**LOCATION:**  
855 WHITMORE DRIVE,  
ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**CONTRACTOR NOTES**

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL FIELD CONDITIONS.

**LEGEND**

CM	CONTROLLING MONUMENT	CONCRETE	
○	5/8" IRON ROD FOUND	BUILDING	
⊗	X" FOUND IN CONCRETE	PORCH, DECK, ETC.	
○	POINT FOR CORNER	OHP OVERHEAD ELECTRIC	
⊠	FIBER OPTIC PEDESTAL	OHP OVERHEAD TELEPHONE	
○	POWER POLE	ELECTRIC EASEMENT	
—	FIRE LANE	METAL FENCE	
⊙	WATER METER	WOOD FENCE	
⊕	TELE. MANHOLE	⊕	SANITARY SEWER MANHOLE
⊕	TELE. VAULT	⊕	STORM DRAIN MANHOLE
⊕	VACUUM	♿	HANDICAP PARKING
⊕	LIGHT POLE	E	ELECTRIC BOX
⊕	UNDERGROUND ELECTRIC	⊕	CLEANOUT
⊕	PROPOSAL FIRE HYDRANT	⊕	TELEPHONE PEDESTAL
⊕	GAS METER	⊕	CABLE PEDESTAL
⊕	WATER VALVE	⊕	ASPHALT PAVING/ GRAVEL

**REVISIONS**

REV. NO.	DATE	COMMENTS
1	21/06/2024	1) Please provide a note indicating that there will be no outside storage or above ground storage tanks. 2) An off-street loading dock is not proposed as the building is designed for trucks to load inside the building. 3) Utility Easement along Whitmore Drive. 4) 10' Utility Easement along Whitmore Drive. 5) 5' Sidewalk along Whitmore Drive. 6) This unit is shown to connect to Whitmore Drive with a minimum 24' access easement, for which the plan of the owner of the adjacent property was requested and a document is attached. 7) Dumpster areas to drain to oil/water separator and then to the storm lines.

**EXPIRATION DATE:**  
PAPER SIZE 36X24

**PLAN:**  
**SITE PLAN**

**DATE:** 04/22/2024

**DRAWN BY:** F.G.M

**SHEET 02 OF 10**

**A1**

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas, Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

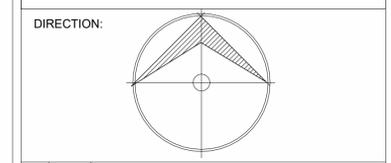
NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN



REV. NO.	DATE	COMMENTS
1	22/03/2024	1) Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade. 2) The location of RTUs is indicated.

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: ELEVATIONS

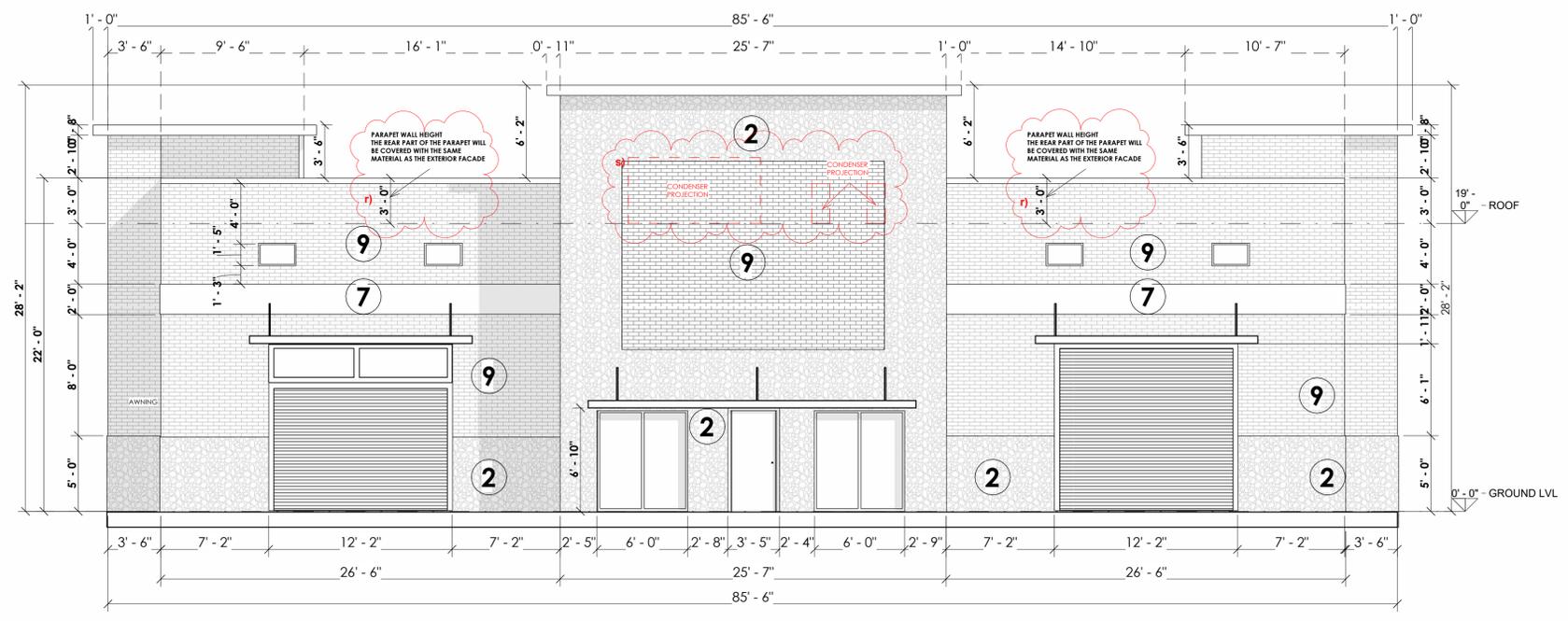
DATE: 04/11/2022  
 DRAW BY: F.G.M SHEET 08 OF 10  
**A2**

AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,312 S.Q. F.T.	100 %
9	BRICKS	2,136 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,510 S.Q. F.T.	64.0 %
7	SECONDARY MATERIAL	616 S.Q. F.T.	30.0 %
	TOTAL	106 S.Q. F.T.	06.0 %
		2,312 S.Q. F.T.	100 %

FRONT ELEVATION

3/16" = 1' 0"

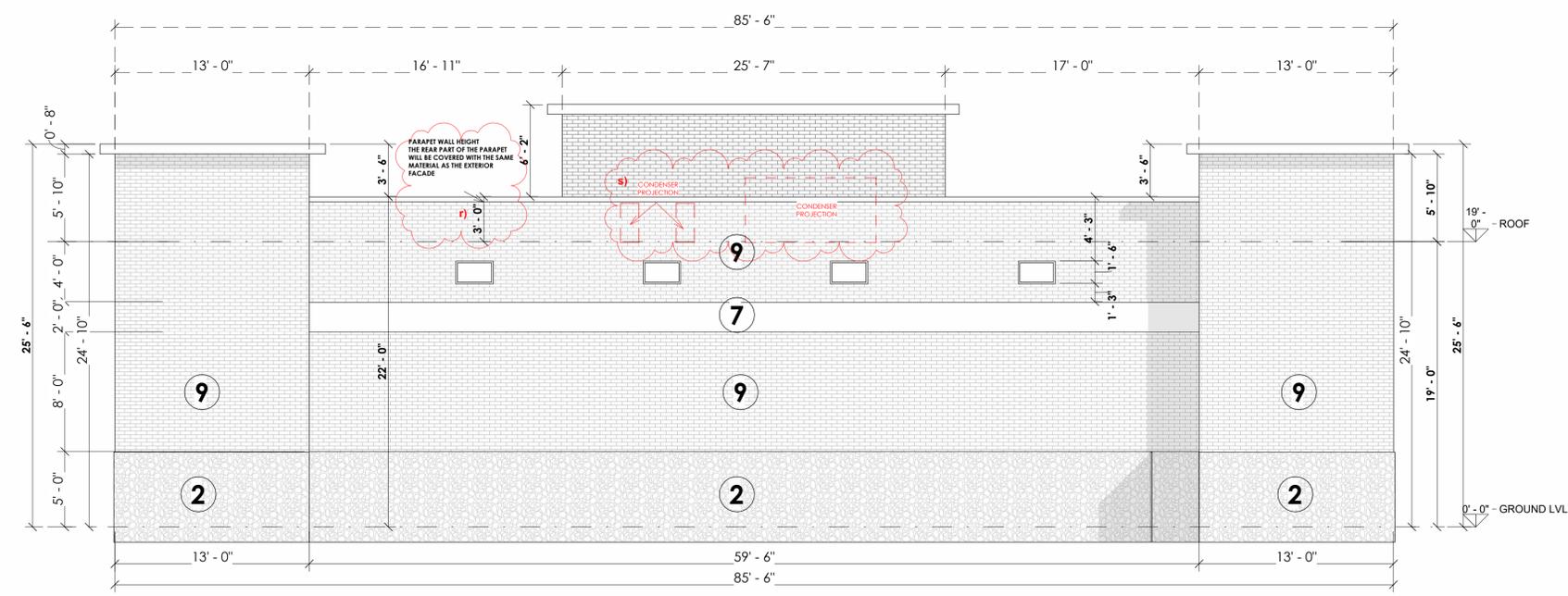


AREA AND PERCENTAGE OF MATERIALS

	FRONT ELEVATION	TOTAL AREA	PERCENTAGE
2 & 9	MASONRY MATERIALS	2,128 S.Q. F.T.	100 %
9	BRICKS	2,116 S.Q. F.T.	94.0 %
2	NATURAL STONE	1,415 S.Q. F.T.	73.0 %
7	SECONDARY MATERIAL	427 S.Q. F.T.	21.0 %
	TOTAL	159 S.Q. F.T.	06.0 %
		2,128 S.Q. F.T.	100 %

REAR ELEVATION

3/16" = 1' 0"



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.  
 WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
 Planning & Zoning Commission, chairman

\_\_\_\_\_  
 Director of Planning and Zoning

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 Elm ST # 250 Dallas, Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGNER CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THESE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

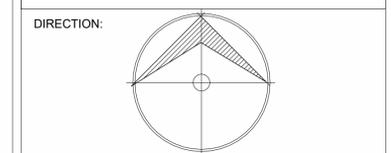
NOTE:  
 GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 13- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

MATERIALS	
SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN

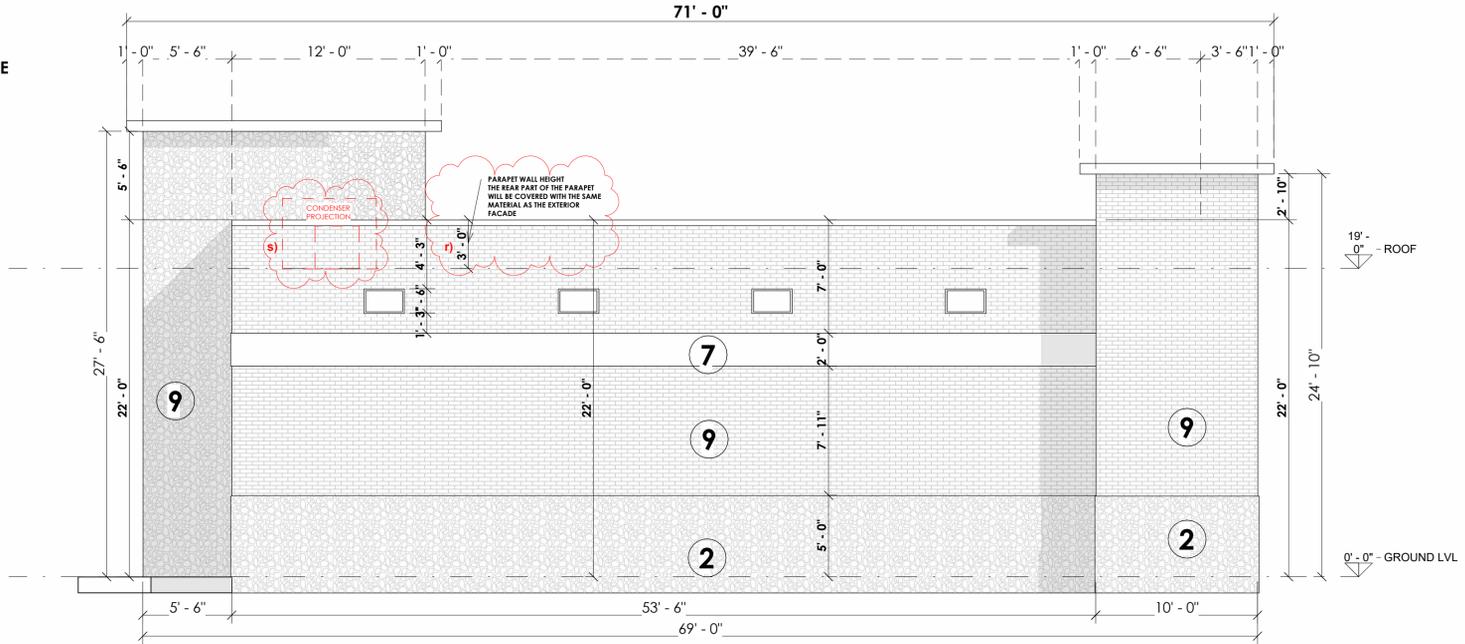


REV. NO.	DATE	COMMENTS
1	22/03/2024	1- Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade. 2- the location of RTUs is indicated

EXPIRATION DATE: PAPER SIZE 36X24  
 PLAN: ELEVATIONS  
 DATE: 04/11/2022  
 DRAW BY: F.G.M  
 SHEET 09 OF 10

**AREA AND PERCENTAGE OF MATERIALS**

	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0%
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0%
TOTAL	1,801 S.Q. F.T.	100 %

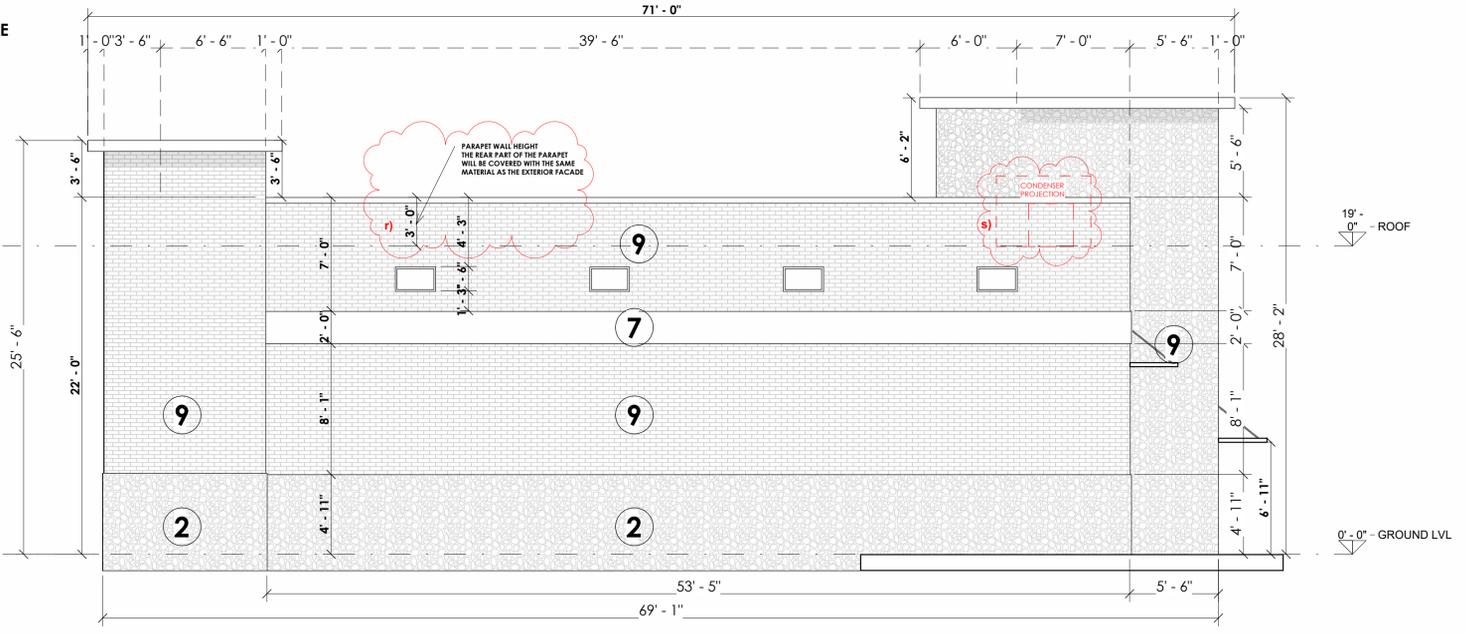


**RIGHT ELEVATION**

3/16" = 1' 0"

**AREA AND PERCENTAGE OF MATERIALS**

	TOTAL AREA	PERCENTAGE
LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9 MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9 BRICKS	1,217 S.Q. F.T.	63.0%
2 NATURAL STONE	476 S.Q. F.T.	30.0 %
7 SECONDARY MATERIAL	106 S.Q. F.T.	07.0%
TOTAL	1,801 S.Q. F.T.	100 %

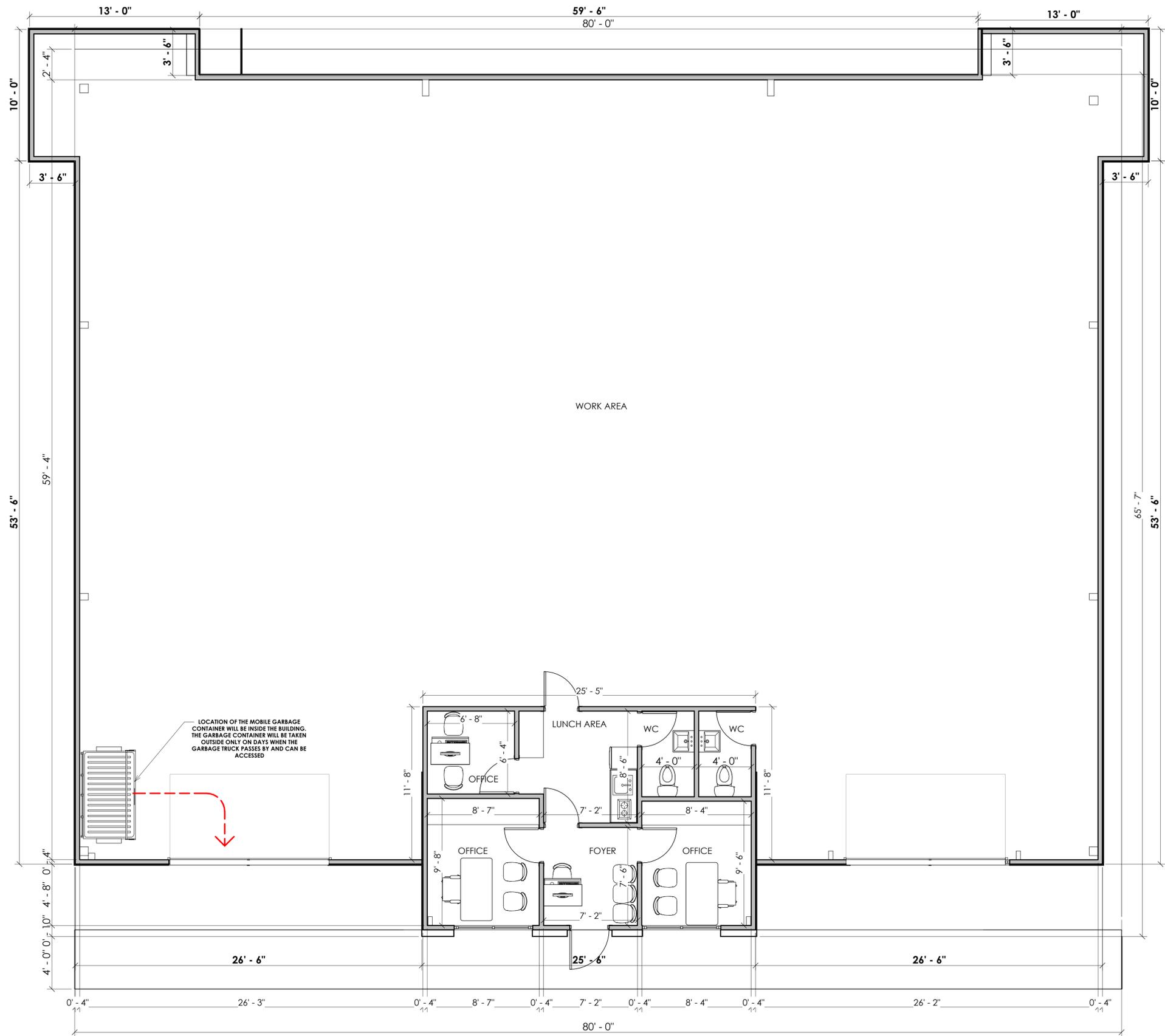


**LEFT ELEVATION**

3/16" = 1' 0"

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.  
 WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman      Director of Planning and Zoning



# FLOOR PLAN

1/4" = 1' 0"

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



**Gamma Group, Design & Construction LLC**  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

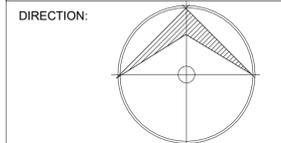
THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**  
 GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**NOTE:**  
 GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.  
 THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:  
 1- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.  
 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 3- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**  
 THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

TABULATION AREA	
WORK AREA	4,656 SQ.FT.
OFFICE	432 SQ.FT.
<b>TOTAL</b>	<b>4,960 SQ.FT.</b>



REV. NO.	DATE	COMMENTS
1	21/06/2024	ep- Location of the Mobile Garbage Container will be inside the building. The garbage container will be taken outside only on days when the garbage truck passes by and can be accessed.

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **FLOOR PLAN**

DATE: 04/11/2022  
 DRAW BY: F.G.M  
**A1**  
 SHEET 07 OF 10

**GENERAL GRADING AND PLANTING NOTES**

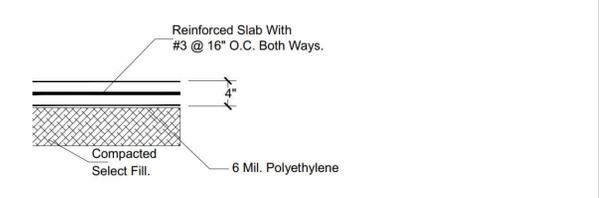
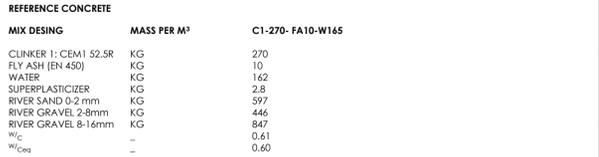
- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN) IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS. "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +1.0' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION:
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
  - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALIS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALES.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 18" BELOW THE FINISH SURFACE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 19" FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.)
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT FOR GROUND COVER PATTERNS SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 30 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

- MULCHES**  
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).
- ROOT BARRIERS**  
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.
- IRRIGATION CONCEPT**  
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.  
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.  
3. ALL NON-TURF PLANTED AREAS, SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.  
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.  
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.  
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC, (SUBSECTION 05.04, OF ARTICLE 08)

- CONCRETE**  
(A) PORTLAND CEMENT SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.2  
(B) UP-TO 20% (BY WEIGHT) OF THE CEMENT CONTENT MAY BE REPLACED WITH TYPE C FLY ASH. FLY ASH REPLACEMENT SHALL BE 1.25 POUNDS PER 1.0 POUND OF CEMENT REDUCTION. ALSO REFER TO N.C.T.C.O.G. ITEM 303  
(C) AGGREGATES SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.1. RIVER ROCK OR BLENDED AGGREGATES SHALL NOT BE ALLOWED.  
(D) MANUFACTURED SAND SHALL NOT EXCEED 20% OF THE TOTAL SAND CONTENT IN THE CONCRETE MIX DESIGN.  
(E) CONCRETE FOR ALL PAVING AND CURBS WITHIN THE RIGHT-OF-WAY SHALL HAVE A MINIMUM 5 1/2 SACK/CUBIC YARD OF CEMENT CONTENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI WHEN TESTED AT THE AGE OF 28 DAYS. HAND PLACED CONCRETE SHALL HAVE A MINIMUM 6 1/2 SACK/CUBIC YARD OF CEMENT CONTENT AND MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI.  
(F) THE DESIGN ENGINEER SHALL APPROVE THE CONCRETE MIX DESIGN IN WRITING PRIOR TO USE.  
(G) PAVEMENT CURBS SHALL BE POURED MONOLITHICALLY. PLEASE REFER TO N.C.T.C.O.G. ITEM, 303.5.2.4.  
(H) STAMP OR DIE PROJECT PAVING LIMITS INCLUDING ALL STREET INTERSECTIONS TO N.C.T.C.O.G. ITEM, 303.4.2.3 AND DETAIL ON THIS SHEET.  
(I) THERE SHALL BE ZERO TOLERANCES FOR CONCRETE STRENGTH AND DEPTH. NO VARIANCES ARE ALLOWED. ANY AREAS OF (I) DEFICIENCY SHALL BE PROVIDED, REMOVED AND REPLACED. ALL CURBS AND GUTTERS SHALL BE POURED IN ONE COURSE.  
(J) CONSTRUCTION CONCRETE SHALL BE PLACED IN FORMS ON COMPACTED, WETTED SUBGRADE AND SHALL BE TAMPED AND SPADED UNTIL MORTAR COVERS THE ENTIRE SURFACE. TAMPING AND SPADED OF NEWLY POURED CONCRETE SHALL BE GIVEN SPECIAL ATTENTION TO ENSURE ADEQUATE COMPACTION AND SURFACES FREE OF HONEYCOMBS.
- CURING:**  
(A) PLEASE REFER TO ITEM 303.5.8 AND 303.2.12.1.1 OF THE N.C.T.C.O.G. SPECIFICATIONS  
(B) THE CONTRACTOR SHALL USE A WHITE PIGMENTED LIQUID CURING COMPOUND AS PER N.C.T.C.O.G. ITEM 303.5.8. AND 303.2.12.1.1

**REFERENCE CONCRETE**

MIX DESIGN	MASS PER M <sup>3</sup>	C1-270-FA10-W165
CLINKER 1: CEM1 52.5R	KG	270
FLY ASH (EN 450)	KG	10
WATER	KG	162
SUPERPLASTICIZER	KG	2.8
RIVER SAND 0.2 mm	KG	997
RIVER GRAVEL 2-8mm	KG	446
RIVER GRAVEL 8-16mm	KG	847
w/c <sub>req</sub>	-	0.61
	-	0.60



**1 CONCRETE DETAIL UNSCALED**

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman      Director of Planning and Zoning

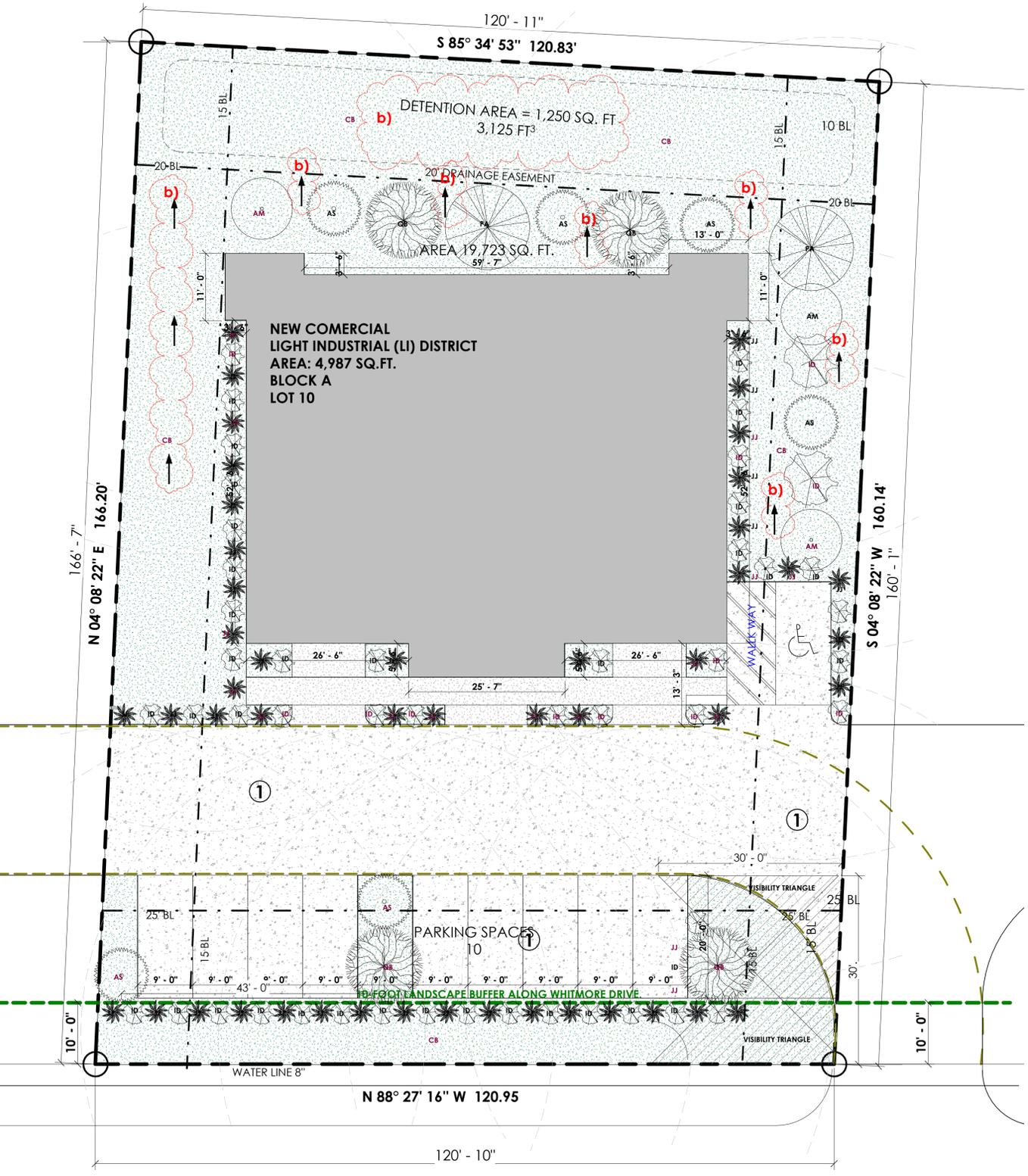
**LANDSCAPE STANDARDS**

**05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.**

TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±19,737 SQ.FT. 2,960 SQ.FT. (15%) 8,516 SQ.FT. (43%)
LOCATION OF LANDSCAPING:	A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES 2,960 SQ.FT. X 100% = 2,960 SQ.FT.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	3,960 SQ.FT. (46%)
MIN. SIZE OF AREAS	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.
DETENTION BASIN:	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.
PROPOSED DETENTION BASIN: CANOPY TREES REQUIRED: CANOPY TREES PROVIDED: ACCENT TREES REQUIRED: ACCENT TREES PROVIDED:	1,500 SQ. FT. 2,960 SQ. FT. / 750 SQ. FT. = 2 CANOPY TREE 3 CANOPY TREE 2,960 SQ. FT. / 1,500 SQ. FT. = 2 ACCENT TREE 2 ACCENT TREE
PARKING LOT LANDSCAPING	PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE) SHALL HAVE A MINIMUM FOR FIVE (5%) PERCENT OR 200 SF OF LANDSCAPING WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA, SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	2,140 SQ. FT. 60 SQ. FT. OR 200 SQ. FT. 1,400 SQ. FT.
PARKING SPACES:	(1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT
TREES REQUIRED: TREES PROVIDED:	1 LARGE CANOPY TREE 2 LARGE CANOPY TREE
05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL	INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FOOT ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION, TWO (1) CANOPY TREES FOUR (2) ACCENT TREES SHALL BE PLANTED PER 100-FOET OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.
4207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	
BASED ON CITY OF ROCKWALL   UNIFIED DEVELOPMENT CODE	

**PLANT SCHEDULE**

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
QB		4	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14' MIN
AM		3	ACER SACCHARUM 'CADD0' / CADD0 MAPLE	4" CAL	CONT.	12' MIN
PA		2	PINUS ELDARICA / AFGHAN PINE	4" CAL	CONT.	12' MIN
AS		5	ACER TRUNCATUM/ SHANTUNG MAPLE	4" CAL	CONT.	12' MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		49	ILEX VOMITORIA 'NANA' / DWARF YAUPOH HOLLY	5 GAL.	36" OC	24" MIN
JJ		48	JUNIPERUS SP. / JUNIPER	5 GAL.	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CB		8,516 SQ.FT	CYNODON DACTYLON / BERMUDA GRASS	SOND		



**LANDSCAPE PLAN**

**NOTE:** THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC. WATER SHALL NOT BE DIRECTED TO DRAIN ONTO ADJOINING PROPERTY

**Equation for the calculation and sizing of wet ponds**

For North Central Texas, the average 85th percentile annual rainfall event is 1.5 inches. Therefore, WQv is calculated using the following formula:  
 $WQv = 1.5 Rv A (1.2)$

where:  
 WQv = water quality protection volume (acre-feet)  
 Rv = volumetric runoff coefficient  
 A = total drainage area (acres)

IA = 200/CN - 2  
 where:  
 IA = initial abstraction  
 CN = curve number

where:  
 VS = required storage volume (acre-feet)  
 Vr = runoff volume (acre-feet)  
 Q0 = peak outflow discharge (cfs)  
 q1 = peak inflow discharge (cfs)  
 The required storage volume can then be calculated by:  
 $VS = (VS/Vr)(Q0/q1) (3.2)$

where:  
 VS and Vr are defined above  
 Q0 = the developed runoff for the design storm (inches)  
 A = total drainage area (acres)

**SITE PLANE DATE**

SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (43%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250 Dallas, Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS, THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**  
 GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY FOR REVISIONS TO STRUCTURAL FRAMING, WINDBRACING, AND FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER'S SEAL SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**CONTRACTOR NOTES**  
 THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

REVISIONS:

REV.	DATE	COMMENTS
1	21/06/2024	a- Existing flow patterns are maintained b- Existing flow patterns are maintained c- Landscape calculations are provided for the detention pond area.

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: **LANDSCAPE PLANTING PLAN**

DATE: 05/01/2023

DRAW BY: F.G.M

**LP1**

SHEET 03 OF 10

**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND, THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (OR EQUAL TO FROM THE TRUNK FOR EVERY 1" OF DEH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 5 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ.

- DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
- DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
- DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, FAINTING OR LUMBER CUTTING).
- DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- DO NOT PERTURB RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

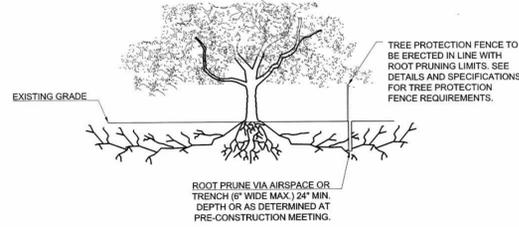
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

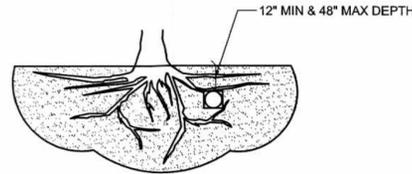
Director of Planning and Zoning



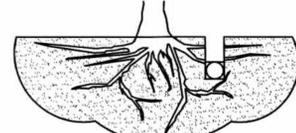
**ROOT PRUNING DETAIL**

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**BORING THROUGH ROOT PROTECTION ZONE**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

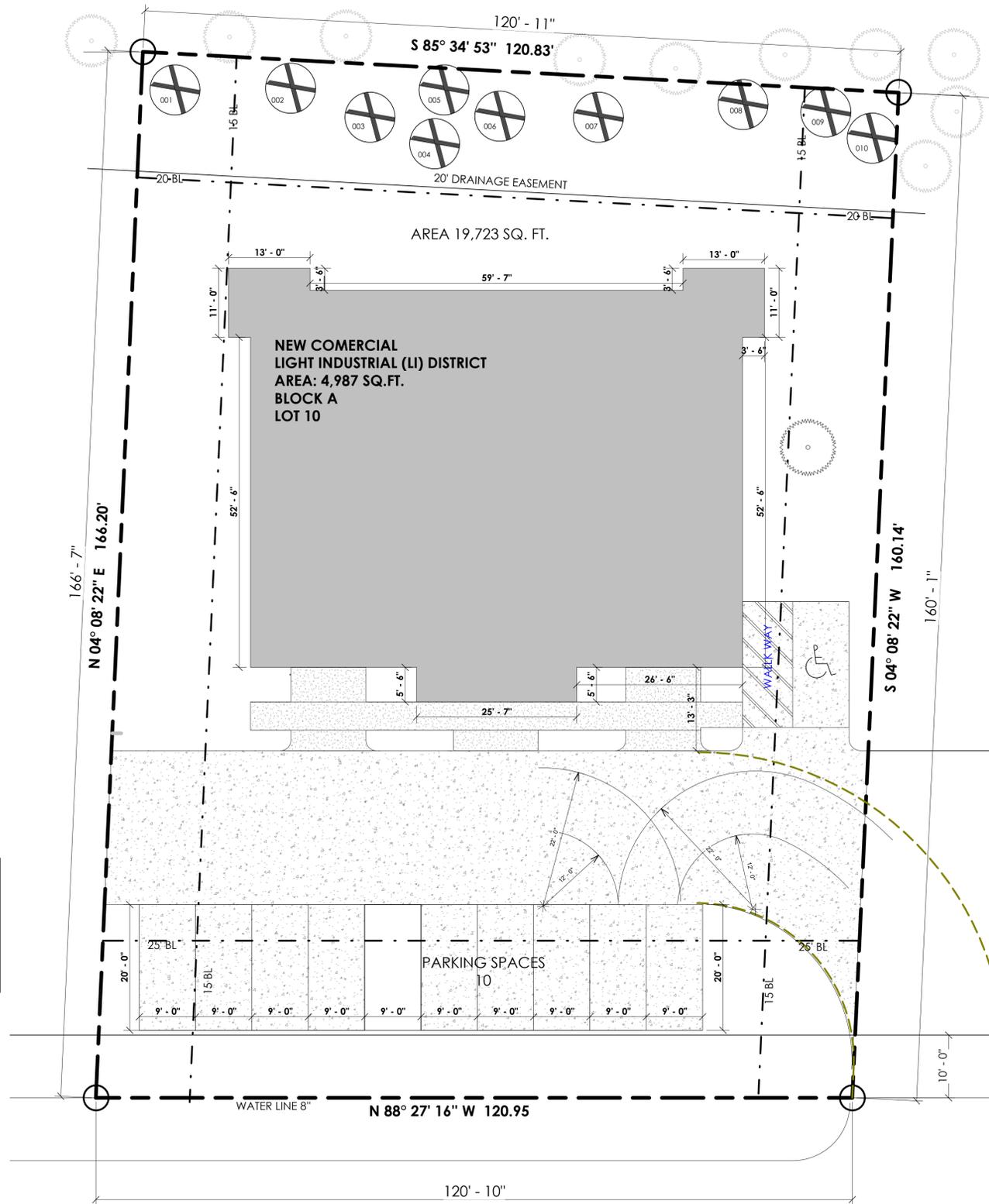
**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE 10
- EXISTING TREE TO BE REMOVED 10

**TREE MIGRATION SUMMARY**

TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL. MITIGATION TREES (5) ON SITE	21"

TREESCAPE PLAN SPRADSHEET								
#	SPECIES	CALIPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
10	RED OAK	4"	REMOVE	1	N	N	N	40"
<b>TOTAL:</b>								<b>40"</b>



**LANDSCAPE PLAN**

WHITMORE DRIVE

3/32" = 1' 0"

SITE PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (38%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX

Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250 Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAW IS SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION, LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSIBILITY OF PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE
- EXISTING TREE TO BE REMOVED

DIRECTION:

REV. NO.	DATE	COMMENTS

EXPIRATION DATE: \_\_\_\_\_

PAPER SIZE 36X24

PLAN: **TRESCAPE PLAN DETAILS & SPECIFICATIONS**

DATE: 05/01/2023

DRAW BY: F.G.M

**TD1**  
SHEET 04 OF 10

Performance Data					
Electrical Load					
LED Setting	Input Power (W)	100%	20%	10%	5%
AB4	118	8.11	0.98	0.85	0.60
AB3	92	6.08	0.94	0.84	0.60
AB2	73	4.57	0.94	0.82	0.60
AB1	64	3.62	0.93	0.82	0.60

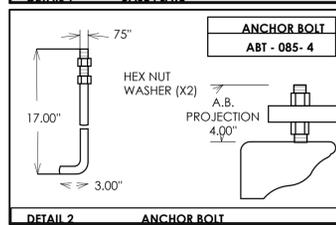
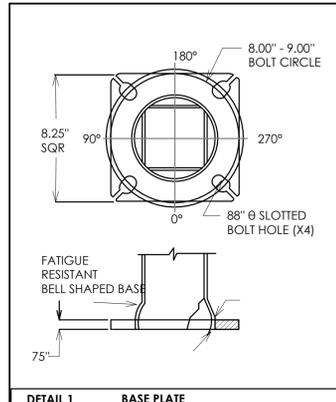
Lumen Output		
LED Setting	Color Temperature	Lumen Output
AB4	4000K	1,581
AB3	4000K	1,244
AB2	4000K	1,047
AB1	4000K	1,164

Lumen Ambient Temperature (LAT) Multipliers		
Temperature	Multiplier	Lumen Output
95°F	0.97	1.02
90°F	0.97	1.01
85°F	0.97	1.01
80°F	0.97	1.00
75°F	0.97	0.99
70°F	0.97	0.98
65°F	0.97	0.97
60°F	0.97	0.97



LITHONIA LIGHTING  
 One Lithonia Way • Gwynn, Georgia 30087 • Phone 1-800-365-5200 (5276) • www.lithonia.com  
 © 2024 Lithonia Lighting, Inc. All rights reserved.



- 1) HARDWARE TO BE GALVANIZED TO ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153
- 3) ALL WELDING TO CONFORM TO: AWS D11 MOST RECENT EDITION
- 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- 5) PROVISIONS FOR CROWDING LOCATED AT BASE HAND HOLE.

LOADING DATA		MATERIAL DATA	
DESIGN CRITERIA:	COMMERCIAL STANDARD	COMPONENT	ASTM
SPEED (mph)	80 90 100 120 130 140 150	POLE SHAFT	A500 GR. B
EPA FT.	9.6 6.7 4.5 3.5 2.0 0.8 ---	BASE PLATE	A36
WEIGHT (lbs)	240 167 150 88 50 20 ---	ANCHOR BOLTS	F1554 GR.55
FINISH		MISC. STEEL	A38

POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA (IN)	TOP DIA (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-20-40-11-AB	20	4.00	4.00	11-GA (1192)	140

**GENERAL NOTES**

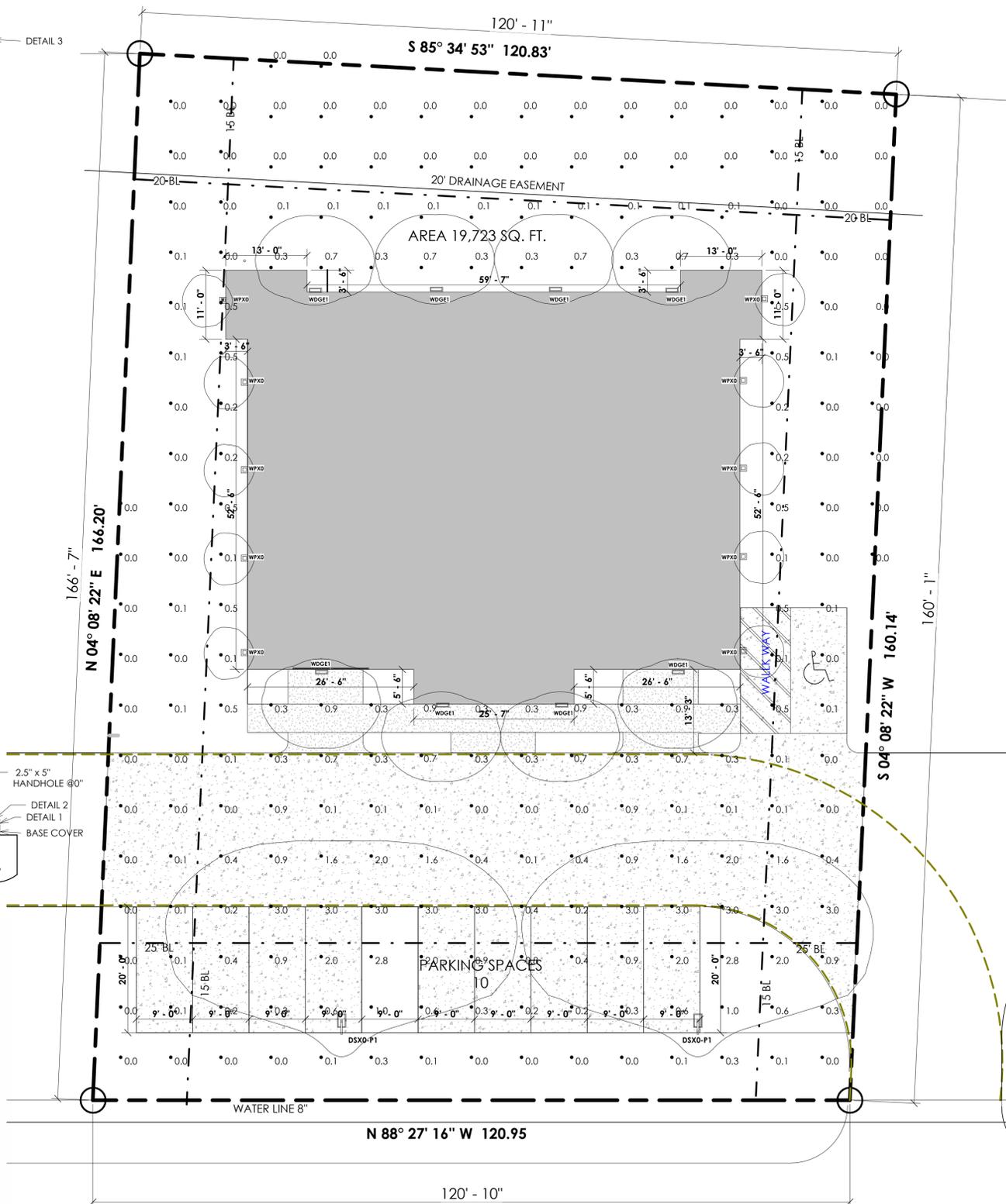


Ordering Information		EXAMPLE: WPXO LED ALO SSW2 MVOLT PE DDBXD	
Series	Lumen Temperature	Ballast	Mount
WPXO-P1	3000K / 4000K / 5000K	0VOLT / 120V / 277V	PE / Natural (Dry) / DDBXD

**INTRODUCTION**  
 The WPXO LED wall packs are designed to provide a cost-effective, energy-efficient solution for both HID wall pack replacement and new construction opportunities. Available in four sizes, the WPXO family delivers 850 to 2,200 lumens with a wide, uniform distribution.

**CONSTRUCTION**  
 WPXO features a user-adjustable, non-toxic thermal management that both reduces LED off-gassing and extends component life. The luminaires are IP66-rated, and sealed against moisture and environmental contaminants.

**INSTALLATION**  
 WPXO can be mounted directly over a standard electrical junction box. A cutout in the back surface of the luminaire allows for easy installation. The luminaire is designed to be installed on a wall or ceiling. The luminaire can be made to fit irregularly shaped surfaces by using the WPXO-ADJ. The luminaire is designed to be installed on a wall or ceiling. The luminaire can be made to fit irregularly shaped surfaces by using the WPXO-ADJ.



**SITE PHOTOMETRICS PLAN**

3/32\"/>

LUMINAIRE SCHEDULE								
SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSXO-P1	P	2	2 DSXO LED P6 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD / D-SERIES SIZE 0 LED AREA LUMINAIRE (LITHONIALIGHTING)	8,800	68.11	1.000	0.850	1.000
WDGE1	W	8	WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD / WDGE1 LED ARCHITECTURAL WALL SCONCE (LITHONIALIGHTING)	7,200	24	1.000	0.800	1.000
WPXO	W	10	WPXO LED ALO SSW2 MVOLT PE DDBXD / WPXO LED WALL PACK (LITHONIALIGHTING)	6,940	20	1.000	0.850	1.000

**PROJECT:**  
 NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

**OWNER:**  
 SALVADOR SALCEDO

**LOCATION:**  
 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
 33 09 ELM ST # 250, Dallas, Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPYING OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S OWN. THE DESIGNER RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS IN THEM, INCLUDING COPYRIGHTS. THE DESIGNER WILL NOT BE HELD RESPONSIBLE FOR ANY VIOLATION OF THE DESIGNER'S RIGHTS, INCLUDING, WITHOUT LIMITATIONS, THOSE OF CONFIDENTIALITY AND OF THE COPYRIGHT LAWS SUBJECT TO LEGAL ACTION.

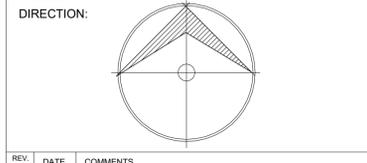
**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. NO PART OF THESE DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK. ORDERING OF MATERIALS BY THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

- NOTES:**
1. SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
  2. MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
  3. LUMINAIRE DESCRIPTION DOES NOT NECESSARILY REFLECTS SPECIFICATION MODEL NUMBER. CONTACT SALES/PERSON FOR VERIFICATION.
  4. LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY.
  5. FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR. CALCULATION VALUES ARE AT HEIGHT INDICATED IN SUMMARY TABLE
  - 6.



REV. NO.	DATE	COMMENTS

**EXPIRATION DATE:**  
 PAPER SIZE 36X24

**PLAN:**  
 SITE PHOTOMETRICS & DETAILS

**DATE:** 05/01/2023

**DRAW BY:** F.G.M

**SHEET 05 OF 10**

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman      Director of Planning and Zoning

LITHONIA LIGHTING  
 One Lithonia Way • Gwynn, Georgia 30087 • Phone 1-800-365-5200 (5276) • www.lithonia.com  
 © 2024 Lithonia Lighting, Inc. All rights reserved.





July 02, 2024,

Henry Lee, AICP  
Senior Planner  
Planning and Zoning Department  
385 S Goliad Street  
Rockwall, TX 75087  
HLee@rockwall.com  
972.7726434

RE: Gamma Group, Design and Construction | Site plan presentation | Site Plan Variations

Henry,

As stated in the comment letter on Nova air (Project SP2024-032),  
We are looking for variations of the following:

Variation request for unprotected loading docks.

An off-street loading dock is not proposed as the building is designed for trucks to load inside.

Regarding compensatory measures, we consider that we have met the objective of the following measures:

Greater landscaping:

All decorative trees are proposed at a height of 10 feet (6 feet higher than required)

All bushes are proposed in 5 gallons (more than the 3 gallons where allowed).

Landscaping percentage: 15% is required and we are calculating 45% landscaping.

We have improved the landscaping around the front of the building by more than requirements to add a natural element to the site/building connection.

Site Design: Although not a written compensatory measure, to create a visually attractive project, the Civil Engineer, Landscape Architect and Architect.

Together they created a more attractive approach from Whitmore drive (the dominant "vision" of the This design intention linked to the compensatory measure of the previous landscape design creates a more cohesive and aesthetic environment.

nice project.

Our sincere hope is that with all the above and attention to the aesthetics of the site design,

The landscape design and building design culminate with the approval of the requested variances and the exception for the tilting panel, and that this will create another great building for the city of Rockwall and for use of our client.

Sincerely,

---